

DEVELOPMENT PLAN

EMPIRE PHARMACY

KHALID ALI

OVERALL CENTER ANALYSIS TABLE

RETAIL USES	
SHOPPING CENTER	
VEHICLE ,LOADING ,AND BICYCLE PARKING	
parking spaces required	parking spaces provided
73 spaces required	55 spaces provided
area of building A,B,C&D	17,955 sq ft
required parking =18294/250= 73 parking spaces required	
PARKING LOT LANDSCAPE	
% of total parking area to be landscaped	
10% required	
landscaping required 4992. sq ft	
landscaping provided 3517 sq.ft.+2565 hardscape =6082/49923=12%	
AREA OF LOT APPROXIMATELY 49,923 SQ FT approximately 1.15 acres	
area of parcel	1.15 ACRE
OVERALL PROPERTY 1.15 acres approximately	
TOTAL CENTER PARKING PROVIDED	55 SPACES
TOTAL CENTER PARKING REQUIRED	73 SPACES
BUILDING AREA	18,294 SQ.FT.
TOTAL ADA VAN ACCESSIBLE PARKING: 1 VAN ACCESSIBLE +2 accessible spaces	

FLOOR AREA RATIO TO AREA OF PROPERTY = 18,294/49,923=36.6%
OCCUPANCY USE:
PROPOSED ZONING: FUTURE DOWNTOWN COMMERCIAL
NUMBER OF STORIES : 1

Observation	Area in Sq. Ft.	Parking Requirements	Number of parking required
Unit A-1 Convenience Store	2651	250	11
Unit A-2 Petrol Annex	7300	250	5
Unit B-1-B-2 Kiosk in Entrance	2266	100	20
Unit B-3 Dry cleaner	1189	250	5
Unit B-4 Bakery	982	250	5
Unit B-5 Beverly Mobile	1029	250	5
Unit C-1 Doughnut shop	1651	250	7
Unit C-2 PIZZA LITTLE CEASERS	1472	250	5
Unit C-3 Smoked Shop	1305	250	5
Building D EMPIRE PHARMACY	1318	250	17
TOTAL BUILDING SQ. FT.	18294		65
TOTAL PARKING PROVIDED BY BUILDING			65
TOTAL PARKING PROVIDED BY VAN ACCESSIBLE			1
TOTAL PARKING PROVIDED			66

PROPOSED DEVELOPMENT OF 17,955 SQ. FT. SHOPPING CENTER THAT HAS 4 BUILDINGS:
BUILDING A= 3,851 SQ. FT. SINGLE TENANT TO BE USED AS A RESTAURANT OR A CONVENIENCE STORE

BUILDING B= 5,277 SQ. FT. PROPOSED 5 UNITS B-1+B-2+B-3+B-4+B-5=1189+982+1029+982+1029 SQ. FT.
USERS WILL BE SUCH AS: PIZZA,CELL PHONE STORE, DRY CLEANER, POSTAL ANNEX, AND DOUGHNUT SHOP

BUILDING C= 4,539 SQ. FT. PROPOSED 3 UNITS C-1+1,465 SQ. FT. C-2+1,470 SQ. FT. C-3+1,651 SQ. FT.
USERS WILL BE SUCH AS: SMOKE SHOP, SUBWAY AND SMALL RESTAURANT.

BUILDING D= 4,318 SQ. FT. TO BE USED FULLY FOR A PHARMACY BY DEVELOPMENT OWNER.
THE PROJECT WILL BE CONSTRUCTED AT THE SAME TIME THERE WILL BE NO PHASING

(1) TRASH /LOADING /STORAGE AREAS

ALL TRASH AND GARBAGE BINS SHALL BE STORED IN APPROVED ENCLOSURES IN COMPLIANCE WITH THE CITY OF HEMET MUNICIPAL CODE

BUILDING FLOOR AREA	REFUSE AREA PROVIDE
18,294 sq.ft	330 sq.ft

(2) all mechanical equipment (compressors air conditioners, Heating, and ventilating Equipment, chillers stand pipes, solar collectors,etc.) shall be concealed from View

(screening and buffering) screening devices shall be compatible with the building architecture, and color

(3) all building-mounted and ground Mounted mechanical equipment and Utility Services (air conditioning, heating ,cooling, ventilation ducts and exhaust equipment panels , etc) shall be adequately screened from View in all horizontal directions :

(a)The screening method Shall be architecturally compatible and integrated with the site development in terms of design materials color form architectural style and Landscaping .

(b) At a minimum adequate screening Shall be based on a line of sight in all directions from a point (5) feet above the grade of the building finish floor at a distance of 660 feet as illustrated by figure 18.120 - 1 on the

LIGHTING MOUNT PALOMAR

• when lighting is allowed by this section ,it shall be fully shielded and shall be focused to minimize the spill light in to the light into the night sky and into adjacent properties.

• light sources shall be shielded to direct light rays in to the subject parcel only , the light source whether bulb or tube,shall not be visible from adjacent property, this is a standard requirement and will be part of conditions of approval.

the selected outdoor light fixtures shall be designed or constructed so that ninety (100%) percent pf the light rays emitted by fixture are projected below the horizontal plane passing through the lowest point of the shield.

(LAMP TYPE)	
CLASS II - PARKING LOTS, WALKWAYS, SECURITY,	PALOMAR LIGHTING ZONE
LOW PRESSURE SODIUM	ALLOWED
other above 4050 lumens	not allowed
others 4050 lumens and below	allowed

LEGAL DESCRIPTION

PARCEL A: (APN: 210-043-002-01)
THAT PORTION OF LOT 9 IN BLOCK 2 OF LANSOWNE DIVISION, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8 OF MAPS, PAGE 82, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS: BEGINNING AT A POINT IN THE EASTERLY LINE OF SAID LOT , DISTANT ALONG SAID EASTERLY LINE, SOUTH 0° 48' 09" WEST, 20.93 FEET FROM THE NORTHEASTLY CORNER OF SAID LOT ; THENCE ALONG SAID EASTERLY LINE, SOUTH 0° 48' 09" WEST, 113.68 FEET TO THE SOUTHEASTLY CORNER OF SAID LOT ; THENCE ALONG THE SOUTHERLY LINE OF SAID LOT , NORTH BY 14° 25' 25" E, 15.38 FEET ; THENCE PARALLEL WITH SAID EASTERLY LINE , NORTH 0° 48' 09" EAST, 90.62 FEET TO THE BEGINNING OF A TANGENT CURVE, CONCAVE SOUTHEASTERLY, HAVING A RADIUS OF 25 FEET, AND WHICH INTERSECTS SAID EASTERLY LINE AT THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE NORTHEASTERLY ALONG SAID CURVE, AN ARC DISTANCE OF 29.40 FEET TO SAID POINT OF BEGINNING.

	BUILDING A	BUILDING B	BUILDING C	BUILDING D
BUILDING HEIGHT	29'-0"	34'-0"	29'-0"	29'-0"
BUILDING AREA	3851 SQ FT	5277 SQ FT	4509 SQ FT	4318 SQ FT
BUILDING A,B,C,D BUILDING AREA 17,955 SQ. FT				

EASEMENTS

1- An easement for erection, maintenance, repair, replacement and/or removal of freeway directional sign and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land, The location of said easements set forth therein.

Said matter affects Parcel A.

2- An easement for the construction, maintenance, operation, inspection, repair, replacement, and removal of electric and telephone lines and cables and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land, The location of said easements set forth therein .

Said matter affects Parcel A.

3- An easement for installing, maintaining and repairing said poles, lines, cables, wires and equipment and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land, The location of said easements set forth therein.

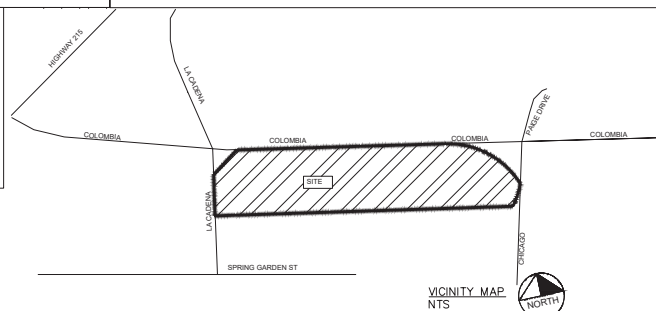
Said matter affects Parcel A.

4- An easement for the construction and maintenance of all water ditches that may be required for irrigation and other purposes and incidental purposes as reserved by Harold T. Nordstrom and Elizabeth Nordstrom, husband and wife, as joint tenants in the deed recorded 5/10/1965, as Instrument No. 1965-54195, Official Records, along a portion of said land, The location of said easements set forth therein .

Said matter affects Parcel A.

5- An easement for purposes herein stated, and rights incidental thereto as provided in an instrument Recorded: 6/3/1999, as Instrument No. 1999-243322, of Official Records. For : private water service facilities and incidental purposes in favor of : Dorothy E. Peterson Affects : the Westerly 10.00 feet of the Southerly 50.00 feet of Lot 18 in block 2 of the landsowne division, as shown by map on file in Book 8 of Maps, at Page 82 thereof, records of Riverside County, California, together with the Westerly 3.00 feet of the Northerly 83.20 feet of said Lot 18.

Excepting therefrom that portion of said Lot 18 lying Northerly of the Southerly line of that certain parcel of land conveyed to the City of Riverside, by deeds recorded June 3, 1977 as Instrument No. 102150 and 102151 Official Records of Riverside County, California



VICINITY MAP
NTS

"AS BUILT"
The receipt of As-Built Plans and City's acceptance thereof does not absolve the Subdivider/Developer of any responsibility for their accuracy.

Engine of work _____ Date _____
RCE No. _____ EXP. _____



APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

PREPARED BY _____ DATE _____
ENGR. NAME TYPED _____
R.C.E. NO. C7969 EXP. DATE 06/30/2019

BENCH MARK

SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK J7413
PK NAIL AND CITY ENGINEER TAG IN THE STREET LIGHT BASE
AT THE NORTHWEST CURB RETURN OF LAUREL AVENUE AND
MARLBOROUGH AVENUE (NAV008)

APPROVED FOR SIGNATURE

PLAN CHECK ENGR. NAME TYPED _____ DATE _____
PLAN CHECK FIRM R.C.E. NO. _____



Call: TOL FREE
1-800
422-4133

OWNER : Khalid Ali
1340 Massachusetts avenue
Riverside ca 92507

INDEX TO DRAWINGS

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TRASH-1 TRASH ENCLOSURE

SHEET _____ CITY OF MURRIETA ENGINEERING DEPARTMENT SHEETS T-1

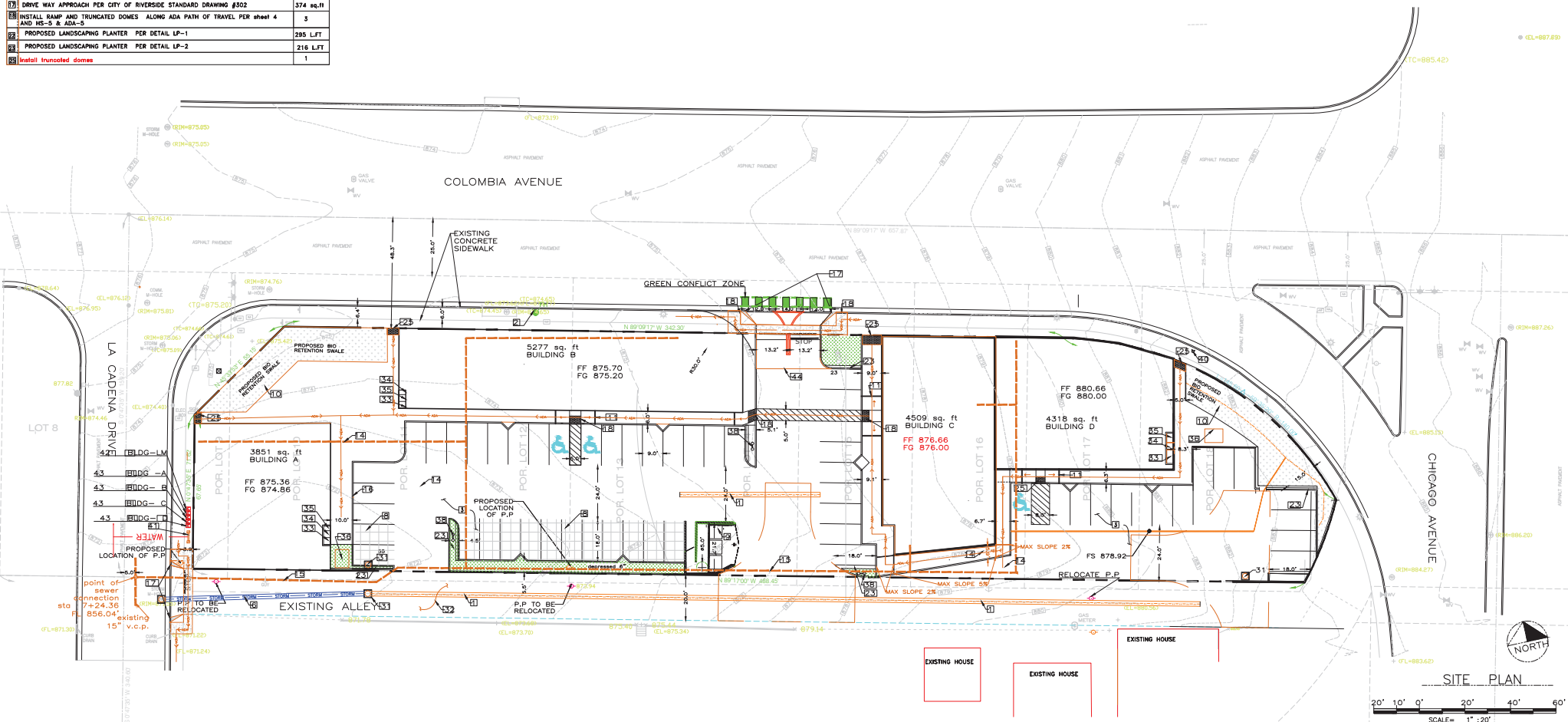
Assessor's Parcel Numbers 210-043-002, 210-043-003, 210-043-004, 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-010, 210-043-011, 210-043-012, 210-043-013, 210-043-014, 210-043-015, 210-043-016, 210-043-017, 210-043-018, 210-043-019, 210-043-020, 210-043-021, 210-043-022, 210-043-023, 210-043-024, 210-043-025, 210-043-026, 210-043-027, 210-043-028, 210-043-029, 210-043-030, 210-043-031, 210-043-032, 210-043-033, 210-043-034, 210-043-035, 210-043-036, 210-043-037, 210-043-038, 210-043-039, 210-043-040, 210-043-041, 210-043-042, Lots 9 through 18 in Block 2 of Landsowne Division, Located on the Southwest Corner of Columbia Avenue and Chicago Avenue, City of Riverside, Riverside County, California

APPROVED _____ DATE _____
PRINCIPAL ENGINEER

OWN BY: _____ PROJECT NO. _____ DRAWING NO. T-1
CHKD BY: _____
FIELD BNC: _____

DESCRIPTION	QUANTITY
1. CONSTRUCT 24" CONCRETE RIBBON PER DETAIL G-1 ON SHEET 4	2411'F
2. EXISTING FIRE HYDRANT	1 EACH
3. 3000 PSI 6" CONCRETE OVER 95% MIN. COMPACTED NATIVE SOIL (MINIMUM WIDTH 20' TO SUPPORT THE IMPOSED LOADS OF 40,000 POUND LIVE LOAD (GROSS VEHICLE WEIGHT DISTRIBUTED OVER TWO AXLES)	20,205 SQ.FT.
4. DRIVEWAYS = 3920 SQ. FT. PARKING (CONCRETE) 32170 SQ. FT.	
5. INSTALL 18" (R.C.P.) REINFORCED CONCRETE PIPE 244 LFT TYPE-4 B-LADING =1481 Class V (D-Load (6/11/1)) for Type 4 Bedding	753 LFT
6. REMOVABLE PHOSPHORUS 99"X18" =1182 SQ. FT. PER DETAIL	1782 FT-2
7. TRASH ENCLOSURE QUANTITY 1 REFER TO BUILDING PLANS SHEET 5 OF 5 UNDER A SEPARATE PERMIT	1
8. SURFACE BIO RETENTION SWALE 80'X13' PER SECTION A-4, A-6, A-6.1 ON SHEET 4	1
9. ADA RAMP PER CITY OF RIVERSIDE STANDARD DRAWING #304 TYPE 3	2
10. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LFT
11. SEWER LINE PROPOSED PVT 6" PVC SDR-35 SWR	xx LFT
12. CURB PER CITY OF RIVERSIDE STANDARD DRAWING #200 TYPE 2	1235 LFT
13. DRIVE WAY APPROACH PER CITY OF RIVERSIDE STANDARD DRAWING #302	374 sq.ft
14. INSTALL RAMP AND TRUNCATED DOMES ALONG ADA PATH OF TRAVEL PER sheet 4 AND HS-5 & ADA-5	5
15. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-1	295 LFT
16. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-2	216 LFT
17. Install truncated domes	1

DESCRIPTION	QUANTITY
1. BROOKS BOX 24"X24" SEE DETAIL ON SHEET 3	1
2. ALLY PER CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2	8880 sq.ft
3. ELECTRIC PANEL ROOM	4
4. FIRE RISER ROOM	4
5. DATA ROOM	4
6. ELECTRIC TRANSFORMER UNDERGROUND	3
7. 6" PVC storm drain pipe	2
8. INSTALL PLV & PDC W/TAMPER SWITCH ASSEMBLY	3
9. PROPOSED FIRE HYDRANT ON CHICAGO	1
10. INSTALL 8" DOUBLE DETECTOR CHECK PER WWDW STANDARD DETAIL (Master Series 870v double check valve assemblies 2-1/2"-10")	1
11. 2" WATER METER LANDSCAPING	1
12. 2" WATER METER	4
13. DECORATIVE DRIVE WAY ENTRANCE STAMP CONCRETE COLOR (BIA RED)	432 SQ. FT.



"AS BUILT" THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN.		SEAL:		APECO ENGINEERING 328 N. STATE ST HEMET, CA 92543 1-760-497-3795 JIV@APECOENGINEERING.COM		11/15/2018	
ENGINEER OF WORK: JALAL I. RAHMAN RCE NO. C77969 EXPIRATION DATE: 06/30/2019		PREPARED BY: JALAL IBRAHIM RAHMAN DATE: 04/17/2018		DATE: 06/30/2019		SHEET: SP-1 CITY OF RIVERSIDE ENGINEERING DEPARTMENT GRADING PLAN Assessor's Parcel Numbers: 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-040, 210-043-041, 210-043-042, Lot 3 through Lot 8, Block 2 of Landowners' Tract, located on the Southwest Corner of Colombia Avenue and Chicago Avenue, City of Riverside, Riverside County, California.	
Underground Service Alert Call: TOLL FREE 1-800-422-4133		BENCH MARK: SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK 27-43 IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER OF LAUREL AVENUE AND MARLBOROUGH AVENUE (N.00088).		APPROVED: _____ CITY ENGINEER: _____ DATE: _____		DWN BY: _____ CHD BY: _____ FIELD BY: _____	
ENGINEER OF WORK: JALAL I. RAHMAN RCE NO. C77969 EXP. DATE: 06/30/2019		REVISION DESCRIPTION: _____		SHEET NO.: _____ DATE: _____ CITY APPROVAL: _____		PROJECT NO.: _____ DRAWING NO.: _____	

FIRE DEPARTMENT NOTES

- This development shall conform to Title 19 and Title 24 of the California Code of Regulations, 2016 CBC, CEC, CMC, CPC, and 2016 California Fire Code.
- Fire Access roads and driveways shall be designed and constructed to support the weight of imposed loads of fire apparatus. All roads shall have the ability to support the weight of a 70,000 lb imposed load.
- Approved fire lanes shall be determined by Murrieta Fire & Rescue, fire lanes shall be painted and/or posted in an approved manner prior to final occupancy.
- Turn radii for fire department access shall be a minimum of 28' per City of Murrieta Municipal Code 16.34.080. An approved fire lane shall be maintained at all times.
- Plans and specifications for on-site water system and fire hydrants shall be submitted to the Fire Department for review and approval prior to construction. Fire hydrant location and spacing shall comply with CFC, Appendix C and fire flow requirements shall comply with CFC, Appendix BB. Fire flow shall comply with the Fire Code requirements, but shall not be less than 3000 gpm at 20psr for commercial projects for a three hour duration. CFC,section 507.4).
- New public and/or on-site fire hydrants shall be required. Maximum spacing is 300 feet or 150 feet from the end of a cul-de-sac or dead-end.
- All hydrants shall have two -2 1/2" outlets and one 4" outlet and private hydrants shall be painted red.
- An approved water supply system shall be designed and installed, capable of providing the minimum fire flow as required by the Fire Code and verified by the water company. All required on-site fire hydrants shall be installed and fully operational prior to the construction phase of the development.
- Fire sprinkler system plans for fire suppression systems are permitted separately by the Fire Department; plans shall comply with NFPA 13 and must be approved prior to commencement of work.
- Fire alarm plans are permitted separately by the fire department; plans shall comply with the current NFPA 72 Standard and shall be approved prior to commencement of work.
- All applicable Fire Code permits shall be obtained from Murrieta Fire & Rescue prior to final approval of the project.

architectural drawings submitted
through the Building Department.

PAVING NOTES

- MINIMUM PARKING LOT GRADE SHALL BE 1%.
- MINIMUM GRADE FOR RIBBON DRAINS SHALL BE 0.5%.
- AN APPROVED SOIL STABILIZER SHALL BE USED ON ALL SUBGRADE SURFACES PRIOR TO PLACEMENT OF PAVING.
- ASPHALTIC EMULSION (FOG SEAL) SHALL BE APPLIED NO LESS THAN FOURTEEN DAYS FOLLOWING PLACEMENT OF THE ASPHALT SURFACING AND SHALL BE APPLIED AT A RATE OF 0.05 GALLONS PER SQUARE YARD. ASPHALT EMULSION SHALL CONFORM TO SECTION 37, 39 AND 94 OF THE STATE STANDARD SPECIFICATIONS.
- THE SUBDIVIDER OR CONTRACTOR SHALL APPLY TO THE CITY ENGINEERING DEPARTMENT FOR AN ENCROACHMENT PERMIT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
- TWO SPECIAL INSPECTIONS ARE REQUIRED BY THE CITY ENGINEERING DEPARTMENT: ONE INSPECTION AT THE TIME THE BASE IS PLACED AND THE SECOND WHEN THE A.C. HAS BEEN PLACED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA, AND RELOCATION AND COST OF ALL EXISTING UTILITIES. THE CITY SHALL BE INFORMED 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION AT (951)304-2489.
- A COMPACTION REPORT BY A SOIL ENGINEER SHALL CERTIFY 95% COMPACTION OF BASE PRIOR TO CALLING FOR SECOND INSPECTION AND PLACEMENT OF ASPHALT PAVING.

"DECLARATION OF RESPONSIBLE CHARGE"

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE. AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATION BY THE CITY OF MURRIETA IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

ENGINEER COMPANY NAME/APECO ENGINEERING
ADDRESS: 328 NORTH STATE ST, HEMET CA 92543
PHONE NO.: 1-760-497-3795
FAX NO.: 1-760-842-6786

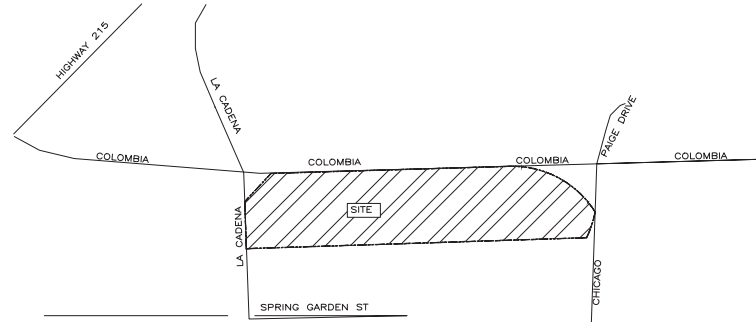
DATE
ENGINEER'S NAME: JALAL RAHMAN
RCE NO. C77969 EXP. DATE 06/30/2019

EROSION CONTROL NOTES

- IN CASE OF EMERGENCY, CALL:
APPLICANTS NAME : KHALID HASAN ALI
PHONE NUMBER 714-553-0959
WORK: 714-553-0959
HOME: 714-553-0959
- EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE ENGINEERING DEPARTMENT.
- ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
- AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND DESILTING BASINS, AND THE BASINS PUMPED DRY.
- GRADED AREAS AROUND THE TRACT PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
- GRAVEL BAG LAYOUT SHALL BE INSTALLED AS SHOWN PER PLAN OR AS DIRECTED BY THE CITY INSPECTOR.

EARTH QUANTITIES		
FILL	1,444	C.Y.
CUT	1,444	C.Y.
EXPORT	0.0	C.Y.

ITEM	LEGEND	SYMBOL	ABBREVIATIONS
CUT SLOPE (1:1 MAX.)			FG FINISH GRADE
FILL SLOPE (2:1 MAX.)			FL FLOW LINE
			GB GRADE BREAK
			HP HIGH POINT
WATERCOURSE			LP LOW POINT
EXISTING CONTOUR			NG NATURAL GROUND
PROPOSED GRADE			PAD PAD ELEVATION
APPROXIMATE CUT/FILL LINE			TB TOP OF AC BERM
EARTHEN BROW DITCH (PER DETAIL THIS SHEET)			G GROUND ELEVATION
POC BROW DITCH (PER CITY OF MURRIETA STANDARDS#432)			[] FUTURE ITEM
			F.F FINISH FLOOR
PROPERTY LINE			TC TOP OF CURB
EASEMENT LINE			BC BOTTOM OF CURB
RETAINING WALL			TW TOP OF WALL
24" V-DITCH			BW BOTTOM OF WALL
			EG EXISTING GRADE
			FS FINISHED SURFACE

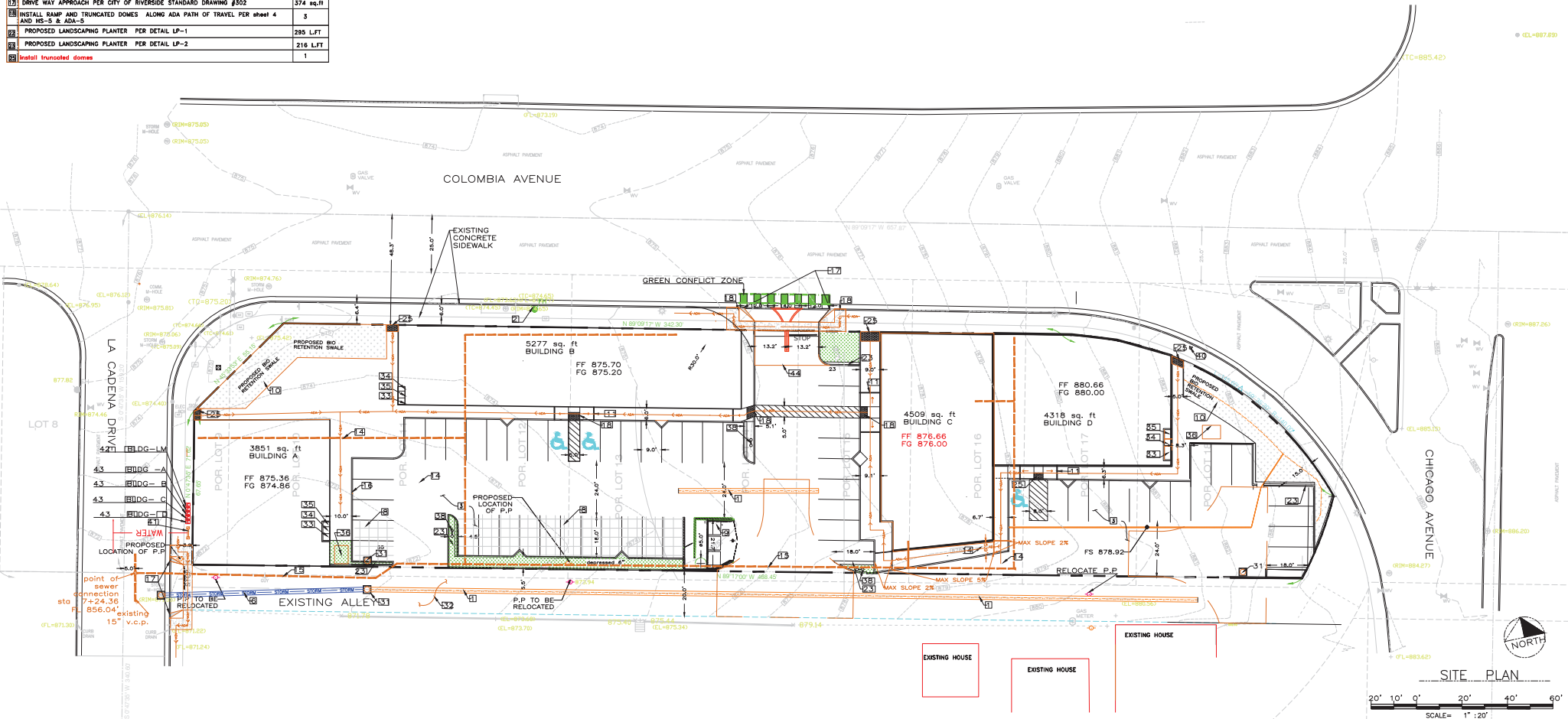


VICINITY MAP
NTS

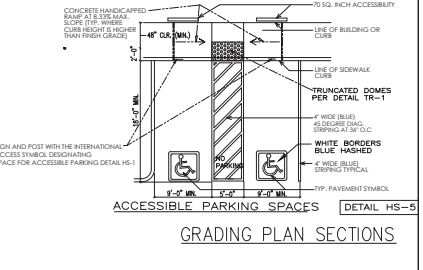
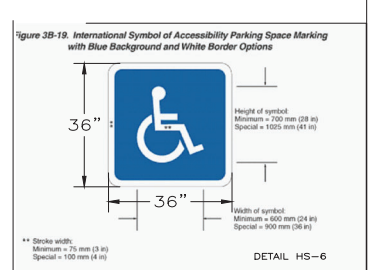
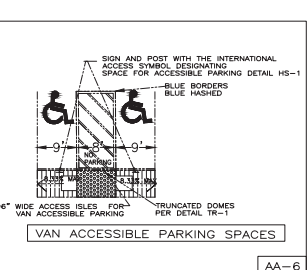
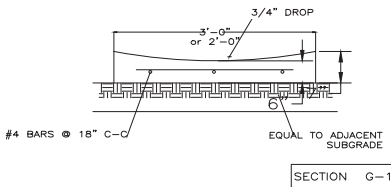
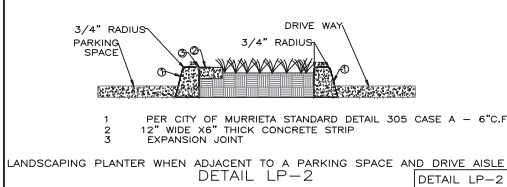
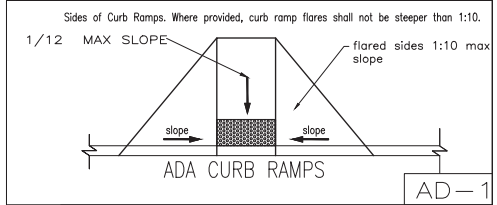
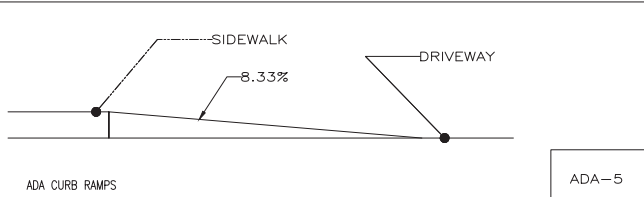
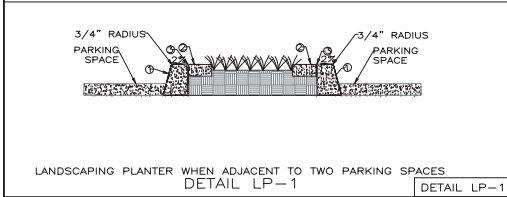
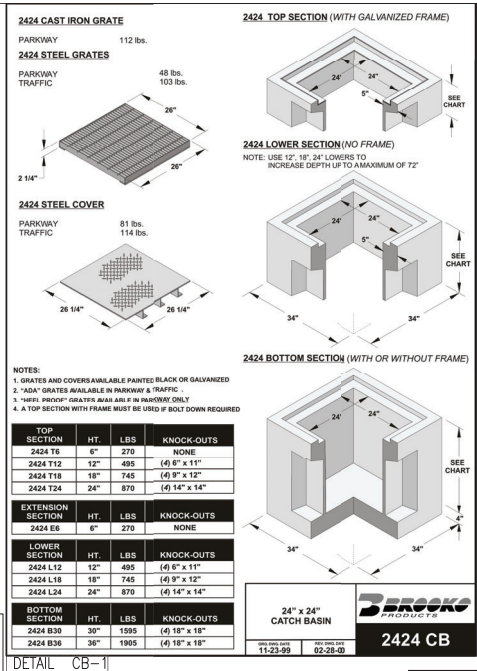
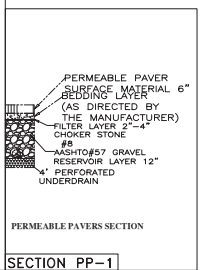
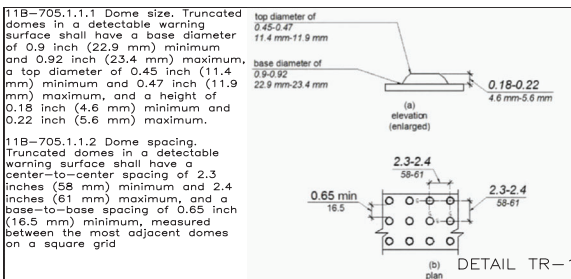
"AS BUILT"		SEAL:		11/25/2018	
THE RECEIPT BY ALL PLAN PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN		CITY OF RIVERSIDE ENGINEERING DEPARTMENT		SHEET 1	
ENGINEER OF WORK: JALAL I RAHMAN DATE: 01/17/2019		SCALE: HORIZONTAL		SHEETS 5	
RCE NO. C77969 EXPIRATION DATE: 06/30/2019		AS NOTED		CITY OF RIVERSIDE ENGINEERING DEPARTMENT	
Underground Service Alert		AS NOTED		GRADING PLAN	
Call: TOLL FREE 1-800-422-4133		VERTICAL		Assessor's Permit Numbers 210-043-002, 210-043-005, 210-043-041, 210-043-042, 210-043-043, 210-043-044, 210-043-045, 210-043-046, 210-043-047, 210-043-048, 210-043-049, 210-043-050, 210-043-051, 210-043-052, 210-043-053, 210-043-054, 210-043-055, 210-043-056, 210-043-057, 210-043-058, 210-043-059, 210-043-060, 210-043-061, 210-043-062, 210-043-063, 210-043-064, 210-043-065, 210-043-066, 210-043-067, 210-043-068, 210-043-069, 210-043-070, 210-043-071, 210-043-072, 210-043-073, 210-043-074, 210-043-075, 210-043-076, 210-043-077, 210-043-078, 210-043-079, 210-043-080, 210-043-081, 210-043-082, 210-043-083, 210-043-084, 210-043-085, 210-043-086, 210-043-087, 210-043-088, 210-043-089, 210-043-090, 210-043-091, 210-043-092, 210-043-093, 210-043-094, 210-043-095, 210-043-096, 210-043-097, 210-043-098, 210-043-099, 210-043-100, 210-043-101, 210-043-102, 210-043-103, 210-043-104, 210-043-105, 210-043-106, 210-043-107, 210-043-108, 210-043-109, 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DESCRIPTION	QUANTITY
1. CONSTRUCT 24" CONCRETE RIBBON PER DETAIL G-1 ON SHEET 4	2411'F
2. EXISTING FIRE HYDRANT	1 EACH
3. 3000 PSI 6" CONCRETE OVER 95% MIN. COMPACTED NATIVE SOIL (MINIMUM WIDTH 20' TO SUPPORT THE IMPOSED LOADS OF 40,000 POUND LIVE LOAD (GROSS VEHICLE WEIGHT DISTRIBUTED OVER TWO AXLES)	20,205 SQ.FT.
4. DRIVEWAYS = 3920 SQ. FT. PARKING (CONCRETE) 32170 SQ. FT.	
5. INSTALL 18" (R.C.P.) REINFORCED CONCRETE PIPE 244 LFT TYPE-4 B-LADING =1481 Class V (D-Load (6/11/1)) for Type 4 Bedding	753 LFT
6. REMOVABLE PHOSPHORUS 99"X18" =1182 SQ. FT. PER DETAIL	1782 FT-2
7. TRASH ENCLOSURE QUANTITY 1 REFER TO BUILDING PLANS SHEET 5 OF 5 UNDER A SEPARATE PERMIT	1
8. SURFACE BIO RETENTION SWALE 80'X13' PER SECTION A-4, A-6, A-6.1 ON SHEET 4	1
9. ADA RAMP PER CITY OF RIVERSIDE STANDARD DRAWING #304 TYPE 3	2
10. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LFT
11. SEWER LINE PROPOSED PVT 6" PVC SDR-35 SWR	xx LFT
12. CURB PER CITY OF RIVERSIDE STANDARD DRAWING #200 TYPE 2	1235 LFT
13. DRIVE WAY APPROACH PER CITY OF RIVERSIDE STANDARD DRAWING #302	374 sq.ft.
14. INSTALL RAMP AND TRUNCATED DOMES ALONG ADA PATH OF TRAVEL PER sheet 4 AND HS-5 & ADA-5	5
15. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-1	295 LFT
16. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-2	216 LFT
17. Install truncated domes	1

DESCRIPTION	QUANTITY
1. BROOKS BOX 24"X24" SEE DETAIL ON SHEET 3	1
2. ALLY PER CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2	8880 sq.ft.
3. ELECTRIC PANEL ROOM	4
4. FIRE RISER ROOM	4
5. DATA ROOM	4
6. ELECTRIC TRANSFORMER UNDERGROUND	3
7. 6" PVC storm drain pipe	2
8. INSTALL PLV & PDC W/TAMPER SWITCH ASSEMBLY	3
9. PROPOSED FIRE HYDRANT ON CHICAGO	1
10. INSTALL 8" DOUBLE DETECTOR CHECK PER WWDW STANDARD DETAIL (Master Series 870v double check valve assemblies 2-1/2"-10")	1
11. 2" WATER METER LANDSCAPING	1
12. 2" WATER METER	4
13. DECORATIVE DRIVE WAY ENTRANCE STAMP CONCRETE COLOR (BIA RED)	432 SQ. FT.



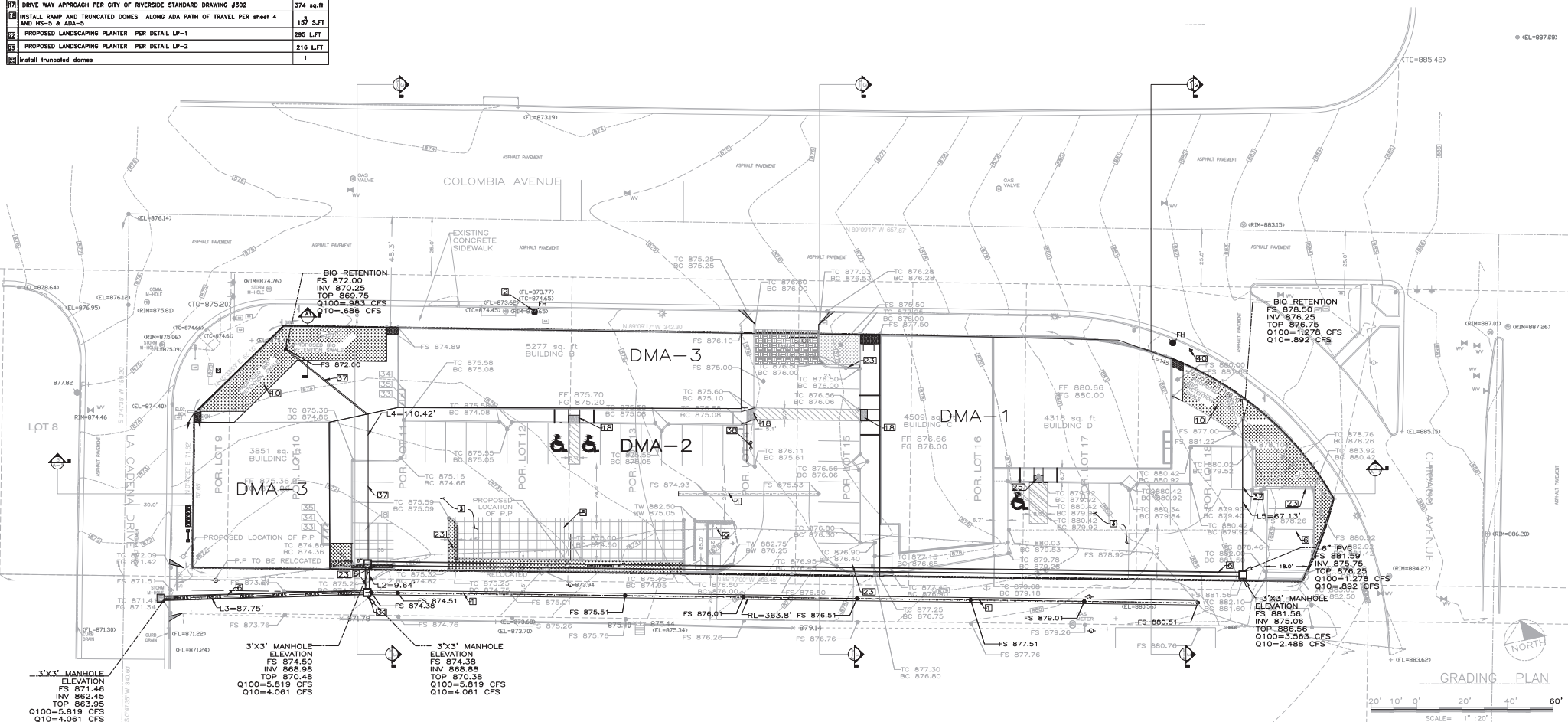
"AS BUILT" THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN.		SEAL:		APECO ENGINEERING 328 N. STATE ST HEMET, CA 92543 1-760-497-3795 JIV@APECOENGINEERING.COM		11/15/2018	
ENGINEER OF WORK: JALAL I. RAHMAN RCE NO. C77969 EXPIRATION DATE: 06/30/2019		SCALE: HORIZONTAL AS NOTED VERTICAL AS NOTED		PREPARED BY: JALAL IBRAHIM RAHMAN DATE: 04/17/2018		CITY ENGINEER: _____ DATE: _____	
Underground Service Alert Call: TOLL FREE 1-800-422-4133		BENCH MARK: SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK J7-43 PRIVATE AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER RETURN OF LAUREL AVENUE AND MARLBOROUGH AVENUE (N/WSR)		ENGR. NAME: JALAL IBRAHIM RAHMAN RCE NO. C77969 EXP. DATE: 06/30/2019		REVISION DESCRIPTION DATE: _____ INITIAL: _____ ENGINEER OF WORK	
SHEET SP-1 CITY OF RIVERSIDE ENGINEERING DEPARTMENT GRADING PLAN Assessor's Parcel Numbers 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-040, 210-043-041, 210-043-042, Lot 3 through Lot 8, Block 2 of Landowners' Tract, located on the Southwest Corner of Colombia Avenue and Chicago Avenue, City of Riverside, Riverside County, California.		APPROVED: _____ CITY ENGINEER: _____ DATE: _____		DWN BY: _____ CHD BY: _____ FIELD BY: _____		PROJECT NO. _____ DRAWING NO. _____	



<p>"AS BUILT"</p> <p>THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN</p> <p>ENGINEER OF WORK: JALAL I RAHMAN DATE: 01/17/2019</p> <p>RCE NO. C77969 EXPIRATION DATE: 06/30/2019</p> <p>Underground Service Alert</p> <p>Call: TOLL FREE 1-800-422-4133</p> <p>Two working days before you dig</p>		<p>SEAL: [Stamp]</p> <p>SCALE: HORIZONTAL</p> <p>AS NOTED</p> <p>VERTICAL</p> <p>AS NOTED</p>		<p>APECO ENGINEERING</p> <p>328 N. STATE ST HEMET, CA 92543</p> <p>1-760-487-3789 WWW.APECOENGINEERING.COM</p> <p>PREPARED BY: JALAL IBRAHIM RAHMAN DATE: 04/17/2018</p> <p>DWR NAME: JALAL IBRAHIM RAHMAN DATE: INITIAL</p> <p>RCE NO. C77969 EXP. DATE: 06/30/2019</p>		<p>11/15/2018</p> <p>SHEET 4 CITY OF RIVERSIDE ENGINEERING DEPARTMENT SHEETS 5</p> <p>GRADING PLAN</p> <p>Assessor's Parcel Numbers: 210-043-002, 210-043-005, 210-043-041, 210-043-042, 210-043-043, 210-043-044, 210-043-045, 210-043-046, 210-043-047, 210-043-048, 210-043-049, 210-043-050, 210-043-051, 210-043-052, 210-043-053, 210-043-054, 210-043-055, 210-043-056, 210-043-057, 210-043-058, 210-043-059, 210-043-060, 210-043-061, 210-043-062, 210-043-063, 210-043-064, 210-043-065, 210-043-066, 210-043-067, 210-043-068, 210-043-069, 210-043-070, 210-043-071, 210-043-072, 210-043-073, 210-043-074, 210-043-075, 210-043-076, 210-043-077, 210-043-078, 210-043-079, 210-043-080, 210-043-081, 210-043-082, 210-043-083, 210-043-084, 210-043-085, 210-043-086, 210-043-087, 210-043-088, 210-043-089, 210-043-090, 210-043-091, 210-043-092, 210-043-093, 210-043-094, 210-043-095, 210-043-096, 210-043-097, 210-043-098, 210-043-099, 210-043-100, 210-043-101, 210-043-102, 210-043-103, 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DESCRIPTION	QUANTITY
1) CONSTRUCT 24" CONCRETE RIBBON PER DETAIL G-1 ON SHEET 4	2415' L
2) EXISTING FIRE HYDRANT 1	1 EACH
3) 3000 PSI 6" CONCRETE OVER 95% MIN. COMPACTED NATIVE SOIL (MINIMUM WIDTH 20') TO SUPPORT THE IMPOSED LOADS OF 40,000 POUND LIVE LOAD (GROSS VEHICLE WEIGHT DISTRIBUTED OVER TWO AXLES)	20,205 SQ.FT.
4) DRIVEWAYS = 3920 SQ. FT. PARKING (CONCRETE) 32170 SQ. FT.	
5) INSTALL 18" (R.C.P.) REINFORCED CONCRETE PIPE 244 LFT TYPE-4 D-DRAINING =1481 Class V D-Load (60/11/1) for Type 4 Bedding	470 LFT
6) REMOVABLE FENCE 99'x15' =1182 SQ. FT. PER SECTION PP-1	1782 FT ²
7) TRASH ENCLOSURE QUANTITY 1 REFER TO BUILDING PLANS SHEET 5 OF 5 UNDER A SEPARATE PERMIT	1
8) SURFACE BIO RETENTION SWALE 80'X13' PER SECTION A-4, A-5, A-6, A-6.1 ON SHEET 4	1
9) ADA RAMP PER CITY OF RIVERSIDE STANDARD DRAWING #304 TYPE 3	2
10) SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xxx LF
11) SEWER LINE PROPOSED PVT 6" PVC SDR-35 SWR	xxx LF
12) CURB PER CITY OF RIVERSIDE STANDARD DRAWING #200 TYPE 2	1235 LFT
13) DRIVE WAY APPROACH PER CITY OF RIVERSIDE STANDARD DRAWING #302	374 sq.ft
14) INSTALL RAMP AND TRUNCATED DOMES ALONG ADA PATH OF TRAVEL PER sheet 4 AND HS-5 & ADA-5	157 S.FT
15) PROPOSED LANDSCAPING PLANTER PER DETAIL LP-1	295 LFT
16) PROPOSED LANDSCAPING PLANTER PER DETAIL LP-2	216 LFT
17) Install truncated domes	1

DESCRIPTION	QUANTITY
1) BROOKS BOX 24"X24" SEE DETAIL ON SHEET 3	8880 sq.ft
2) ALLY PER CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2	4
3) ELECTRIC PANEL ROOM	4
4) FIRE RISER ROOM	4
5) DATA ROOM	4
6) ELECTRIC TRANSFORMER UNDERGROUND	3
7) 12" PVC storm drain pipe	3
8) INSTALL PLV & POC WITH RAMP SWITCH ASSEMBLY (SEE DETAIL ON SHEET 3)	3
9) PROPOSED FIRE HYDRANT ON CHICAGO	1
10) INSTALL 8" DOUBLE DETECTOR CHECK PER MWWD STANDARD DETAIL (Master Series 870v double check valve assemblies 2-1/2"-10")	1
11) 12" WATER METER LANDSCAPING	4
12) 12" WATER METER	4
13) DECORATIVE DRIVE WAY ENTRANCE STAMP CONCRETE COLOR (BIA RED)	432 SQ. FT.



"AS BUILT"

THE RECEIPT OF APPROVAL PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN.

ENGINEER OF WORK: JALAL I. BRAHMAN DATE: 01/17/2019

RCE NO.: C77969 EXPIRATION DATE: 06/30/2019

Underground Service Alert

Call: TOLL FREE 1-800-422-4133

BENCH MARK

SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK 77-43

BY: JALAL I. BRAHMAN AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER RETURN OF LAUREL AVENUE AND MARLBOROUGH AVENUE (UNUSUAL)

SEAL: [Professional Engineer Seal]

APECO ENGINEERING

328 N. STATE ST
HEMET, CA 92543

1-760-497-3795
JIBRAHMAN@APECOENGINEERING.COM

PREPARED BY: JALAL I. BRAHMAN DATE: 04/17/2018

ENGR. NAME: JALAL I. BRAHMAN RCE NO.: C77969 EXP. DATE: 06/30/2019

11/15/2018

DATE	INITIAL	REVISION	DESCRIPTION

DATE: 11/15/2018

DATE: 11/15/2018

DATE: 11/15/2018

DATE: 11/15/2018

SHEET 5

CITY OF RIVERSIDE
ENGINEERING DEPARTMENT

SHEETS 5

GRADING PLAN

APPROVED: [Signature]

CITY ENGINEER: [Signature]

DATE: [Date]

DWN BY: [Signature]

CHD BY: [Signature]

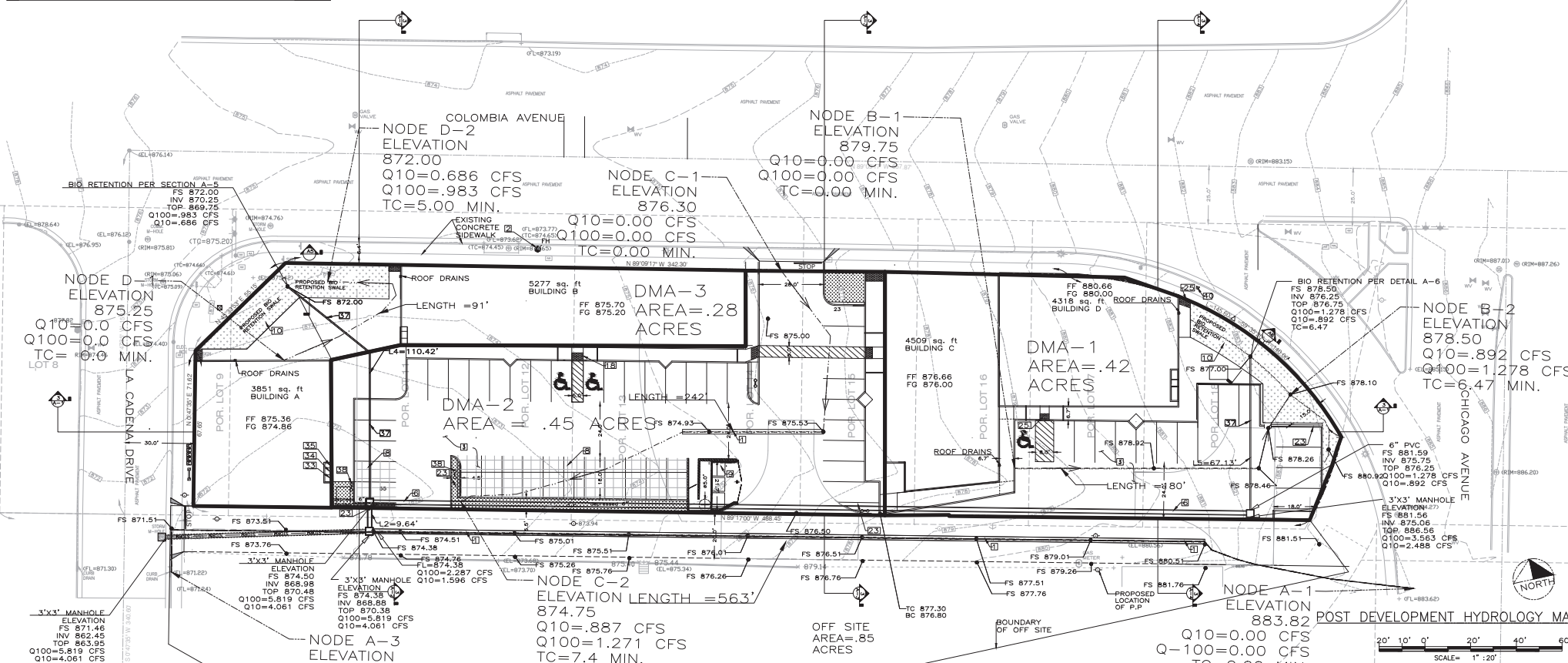
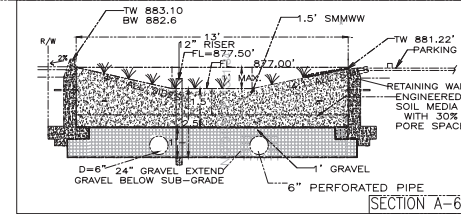
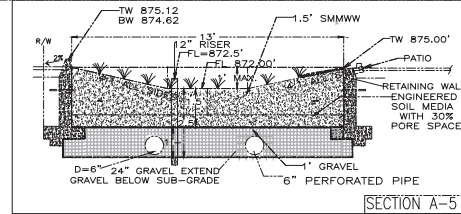
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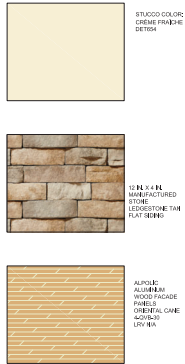
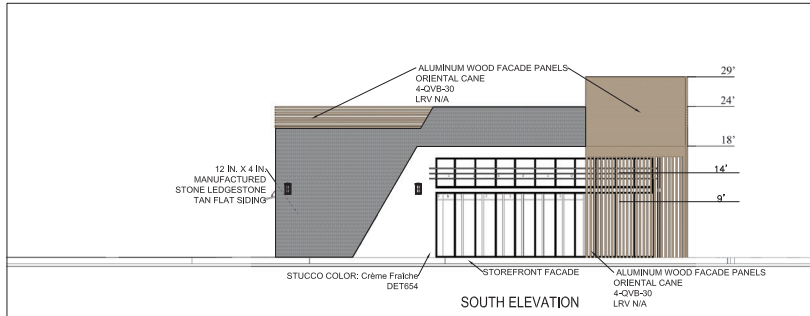
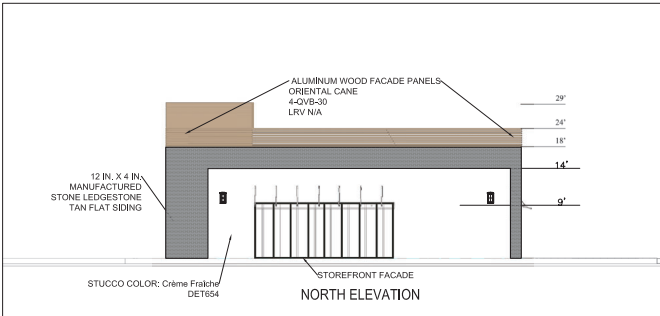
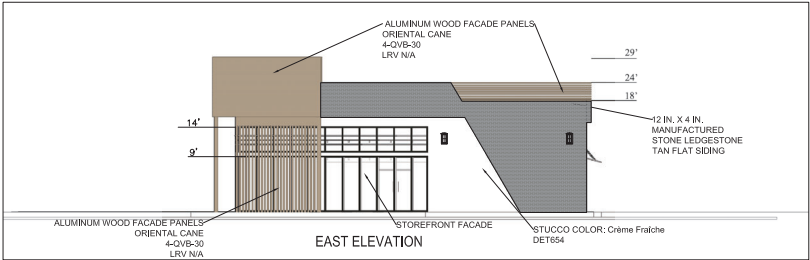
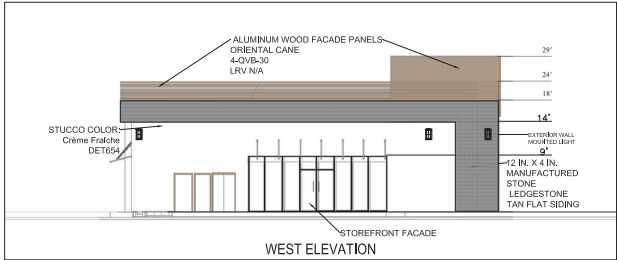
DRAWING NO. [Number]

DESCRIPTION	QUANTITY
1. CONSTRUCT 24" CONCRETE RIBBON PER DETAIL G-1 ON SHEET 4	241 LF
2. DISTINGE REINBAR 1	1 EACH
3. 3000 PSI 6" CONCRETE OVER 95% MIN. COMPACTED NATIVE SOIL (MINIMUM WIDTH 20") TO SUPPORT THE IMPOSED LOADS OF 40,000 POUND LINE LOAD (GROSS VEHICLE WEIGHT DISTRIBUTED OVER TWO AXLES) OVER TWO AXLES	20,205 SQ.FT.
4. DRIVEWAYS = 3920 SQ. FT. PARKING (CONCRETE) 32170 SQ. FT.	
5. INSTALL 18" (R/LP) REINFORCED CONCRETE PIPE 244 LFT TYPE-4 B-LADING #1481 Class V D-load (6/11/1) for Types Bedding	753 LFT
6. FINISH FLOOR 8"X12" AT 182 SQ FT PER DETAIL PER SECTION PP-1	1782 SQ.FT.
7. FINISH ENCLOSURE QUANTITY 1 REFER TO BUILDING PLANS SHEET 5 OF 5 UNDER A SEPARATE PERMIT	1
8. SURFACE BIO RETENTION SWALE 80'X13' PER SECTION A-4, A-5, A-6, A-6.1 ON SHEET 4	1
9. ADA RAMP PER CITY OF RIVERSIDE STANDARD DRAWING #304 TYPE 3	2
10. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LF
11. SEWER LINE PROPOSED PVT 4" PVC SDR-35 SWR	xx LF
12. CURB PER CITY OF RIVERSIDE STANDARD DRAWING #200 TYPE 2	1235 LFT
13. DRIVE WAY APPROACH PER CITY OF RIVERSIDE STANDARD DRAWING #302	374 sq.ft.
14. INSTALL RAMP AND TRUNCATED DOMES ALONG ADA PATH OF TRAVEL PER sheet 4 AND HS-5 & ADA-5	157 S.FT
15. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-1	295 LFT
16. PROPOSED LANDSCAPING PLANTER PER DETAIL LP-2	216 LFT
17. Install truncated domes	1

DESCRIPTION	QUANTITY
1. BROOKS BOX 24"X24" SEE DETAIL ON SHEET 5	9860 sq.ft.
2. ELEV. PER CITY OF RIVERSIDE STANDARD DRAWING #110 TYPE 2	4
3. ELECTRIC PANEL ROOM	4
4. FIRE RISER ROOM	4
5. DATA ROOM	4
6. ELECTRIC TRANSFORMER UNDERGROUND	3
7. 4" PVC storm drain along	3
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100. 4" PVC storm drain along	3



<p>"AS BUILT"</p> <p>THE RECEIPT OF AS-BUILT PLANS AND CITY'S ACCEPTANCE THEREOF DOES NOT ABSOLVE THE ENGINEER OF WORK OF ANY RESPONSIBILITY FOR THE PROJECT DESIGN</p>		<p>SEAL:</p> <p>APCO ENGINEERING</p> <p>328 N. STATE ST</p> <p>HEMET, CA 92543</p> <p>1-760-497-3795</p> <p>JM@APCOENGINEERING.COM</p>		<p>ENGINEER OF WORK: JALAL I. RAHMAN</p> <p>DATE: 01/17/2019</p> <p>RCE NO: C77969</p> <p>EXPIRATION DATE: 06/30/2019</p>		<p>SCALE:</p> <p>HORIZONTAL:</p> <p>AS NOTED</p> <p>VERTICAL:</p> <p>AS NOTED</p>		<p>PREPARED BY: JALAL I. RAHMAN</p> <p>DATE: 04/17/2018</p> <p>ENGR. NAME: JALAL I. RAHMAN</p> <p>RCE NO: C77969</p> <p>EXP. DATE: 06/30/2019</p>		<p>DATE: 01/17/2018</p> <p>INITIAL: [Signature]</p> <p>ENGINEER OF WORK:</p>		<p>REVISION DESCRIPTION:</p>		<p>SHT. NO.:</p> <p>DATE: 01/17/2018</p> <p>INITIAL: [Signature]</p> <p>CITY APPROVAL:</p>	
<p>Underground Service Alert</p> <p>Call: TOLL FREE 1-800-422-4133</p>		<p>BENCH MARK</p> <p>SOURCE BENCHMARK: CITY OF RIVERSIDE BENCHMARK J7-43</p> <p>PR. NAIL AND CITY ENGINEER TAG IN THE STREET LIGHT BASE AT THE NORTHWEST CORNER RETURN OF LAUREL AVENUE AND MARLBOROUGH AVENUE (NORTHWEST)</p>		<p>APPROVED:</p> <p>CITY ENGINEER:</p> <p>DATE:</p>		<p>OWN BY:</p> <p>CHRD BY:</p> <p>FIELD BY:</p>		<p>PROJECT NO.:</p> <p>DRAWING NO.:</p>		<p>SHEETS 1</p> <p>CITY OF RIVERSIDE</p> <p>ENGINEERING DEPARTMENT</p> <p>GRADING PLAN</p> <p>Assessor's Parcel Numbers 210-043-002, 210-043-005, 210-043-006, 210-043-007, 210-043-008, 210-043-009, 210-043-040, 210-043-041, 210-043-042, Lot 3 through Lot 8, Block 2 of Landowners' Subdivision on the Southeast Corner of Laurel Avenue and Chicago Avenue, City of Riverside, Riverside County, California</p>		<p>SHEETS 1</p>			



OWNER:
KHALID ALI
RIVERSIDE, CA

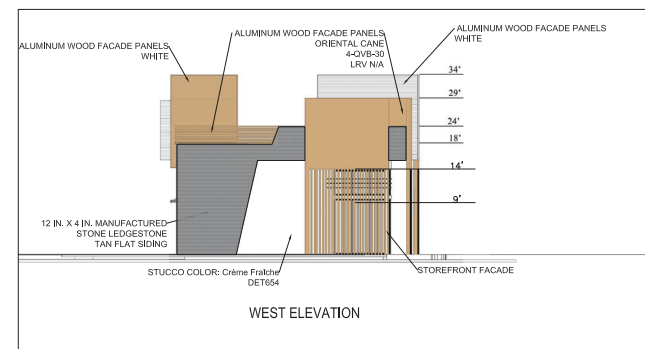
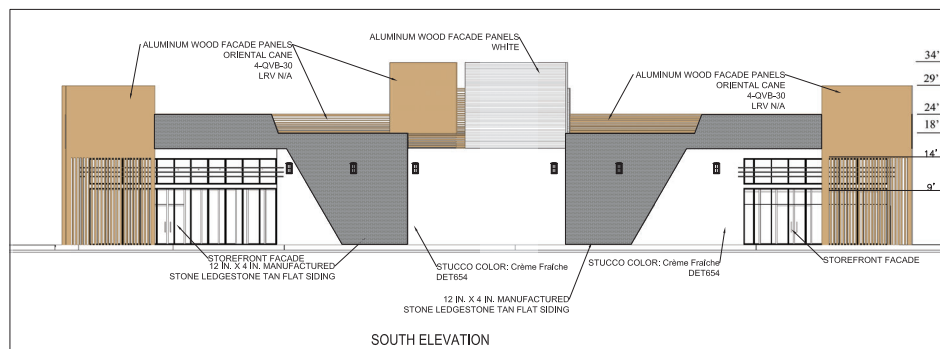
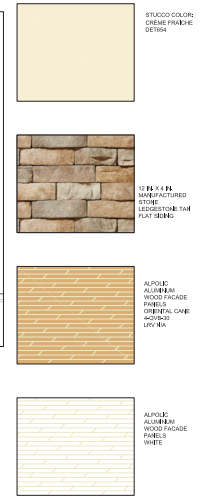
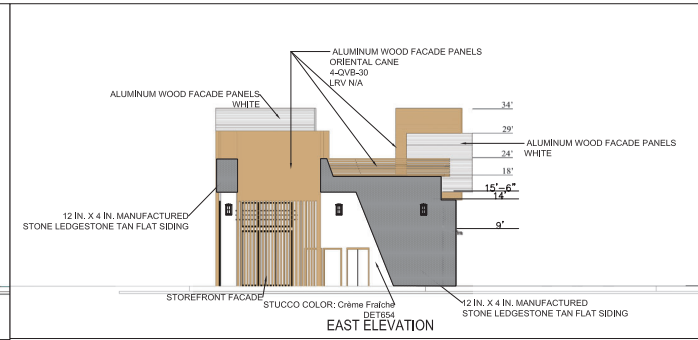
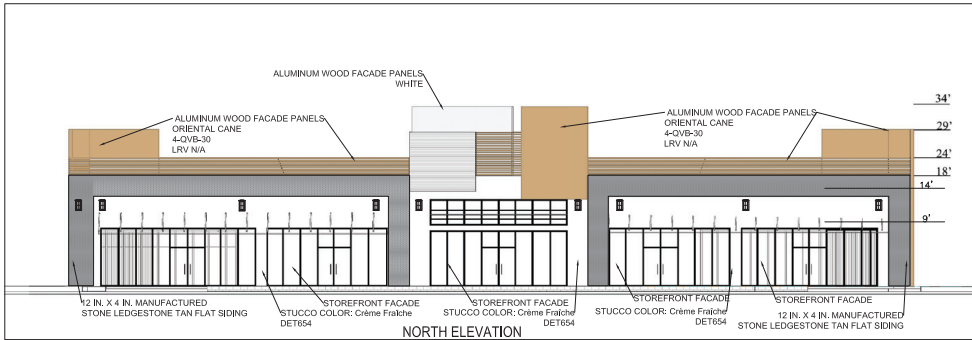
Project DESIGNER :
APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

Agency Stamp

Drawing Status	Date
Schematics	
Design Dev.	
Agencies	
Estimating	
Bidding	
For Const.	

Revisions	Date

Job No.	
Client No.	
Drawn	
Checked	
Scale	
Sheet Title	
ELEVATION PLAN BUILDING A	
Sheet No.	
A-1	



OWNER:
KHALID ALI
RIVERSIDE, CA

Project DESIGNER :
APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

Agency Stamp

Drawing Status	Date
Schematics	
Design Dev.	
Agencies	
Estimating	
Bidding	
For Const.	

Revisions	Date

Job No.	
Client No.	
Drawn	
Checked	
Scale	
Sheet Title	
ELEVATION PLAN BUILDING B	
Sheet No.	
A-2	

OWNER:
KHALID ALI
RIVERSIDE, CA

Project DESIGNER :
APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

Agency Stamp

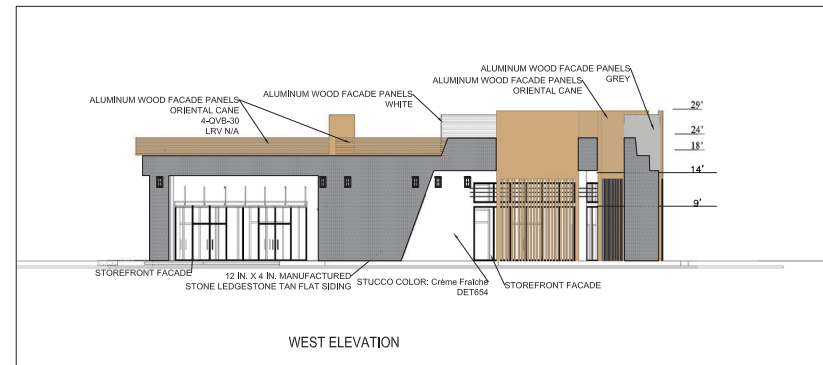
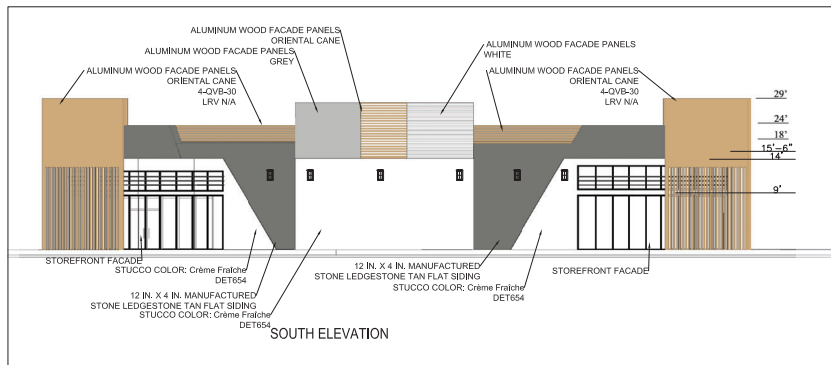
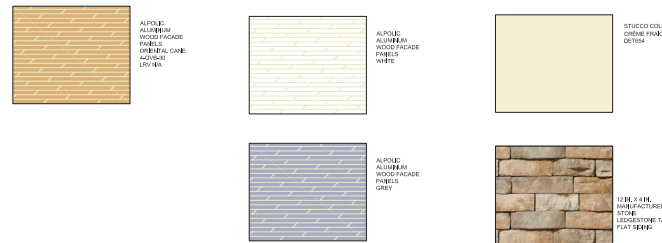
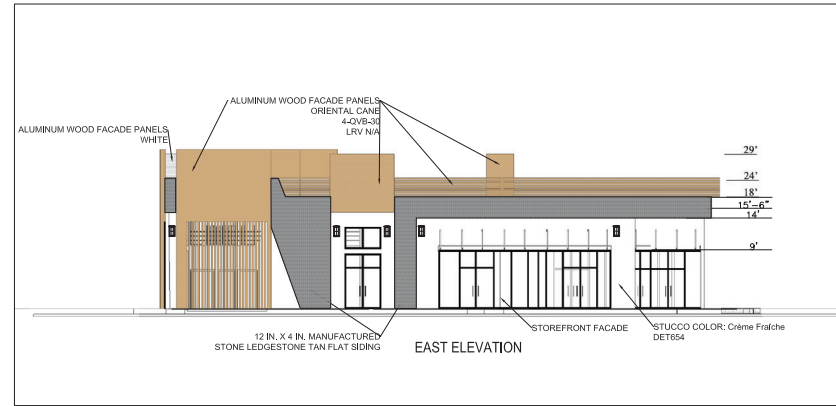
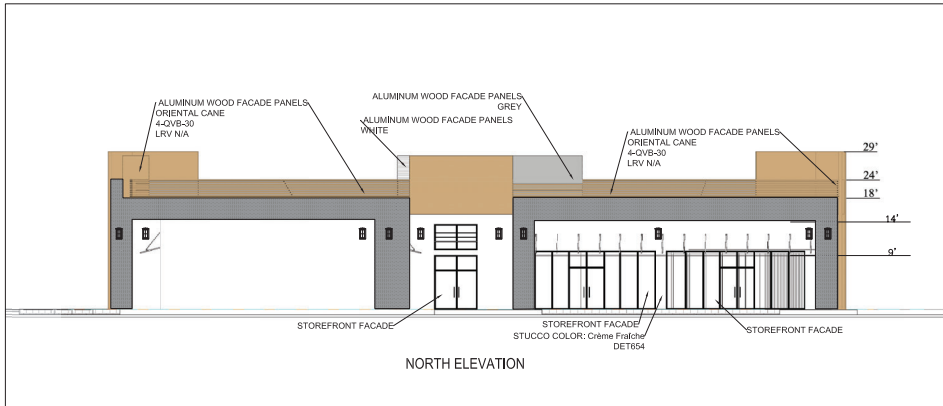
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Schematics	
Design Dev.	
Agencies	
Estimating	
Bidding	
For Const.	
Revisions	Date

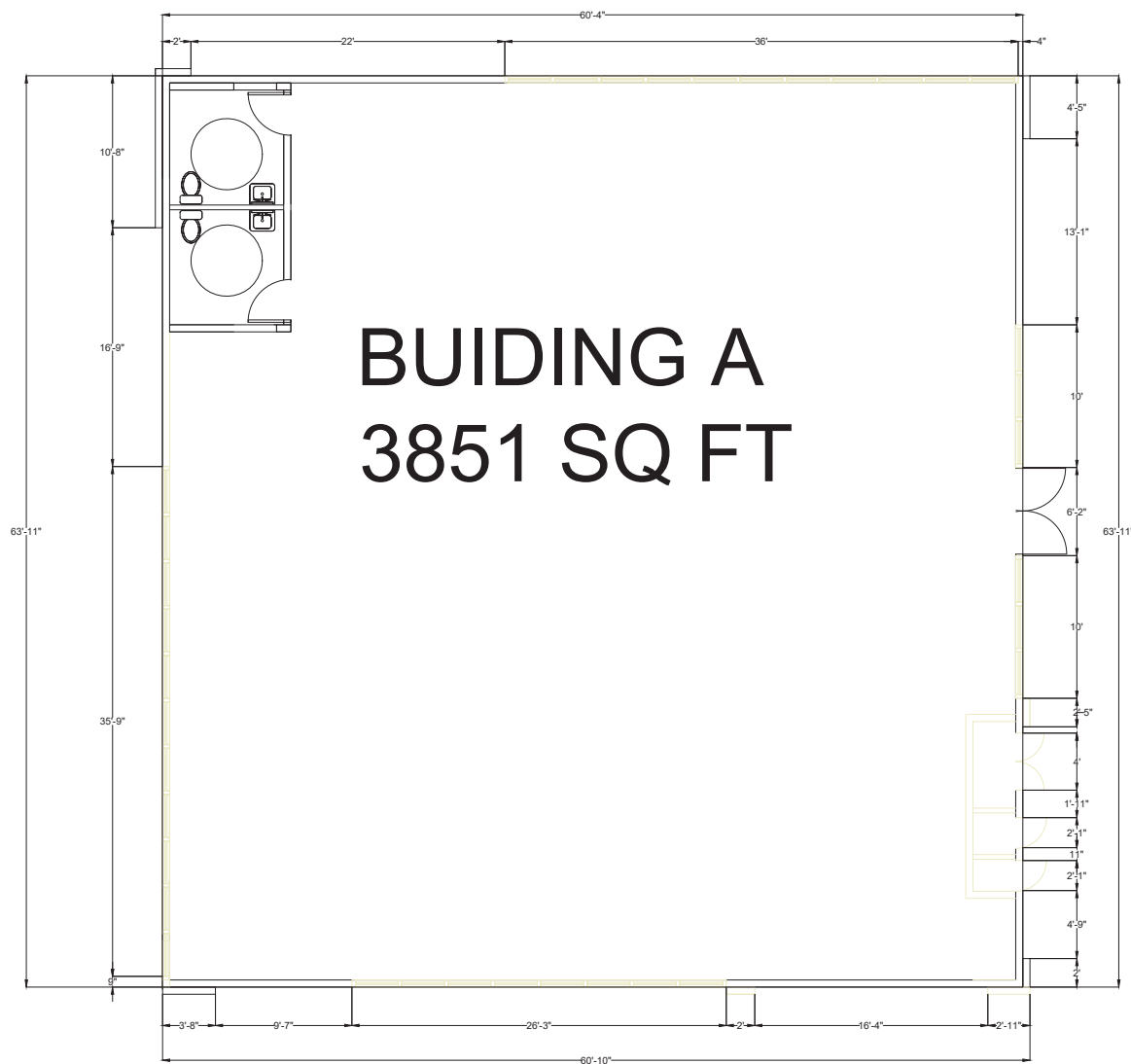
Job No.	
Client No.	
Drawn	
Checked	
Scale	

Sheet Title

**ELEVATION PLAN
BUILDING C**

Sheet No.
A-3





OWNER NAME
STREET ADDRESS
RIVERSIDE, CA
TELEPHONE

PROJECT DESIGNER:

APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

AGENCY STAMP



DRAWING STATUS DATE

SCHEMATICS	
DESIGN DEV.	
AGENCIES	
ESTIMATING	
BIDDING	
FOR CONST.	

REVISIONS DATE

JOB NO.

CLIENT NO.

DRAWN

CHECKED

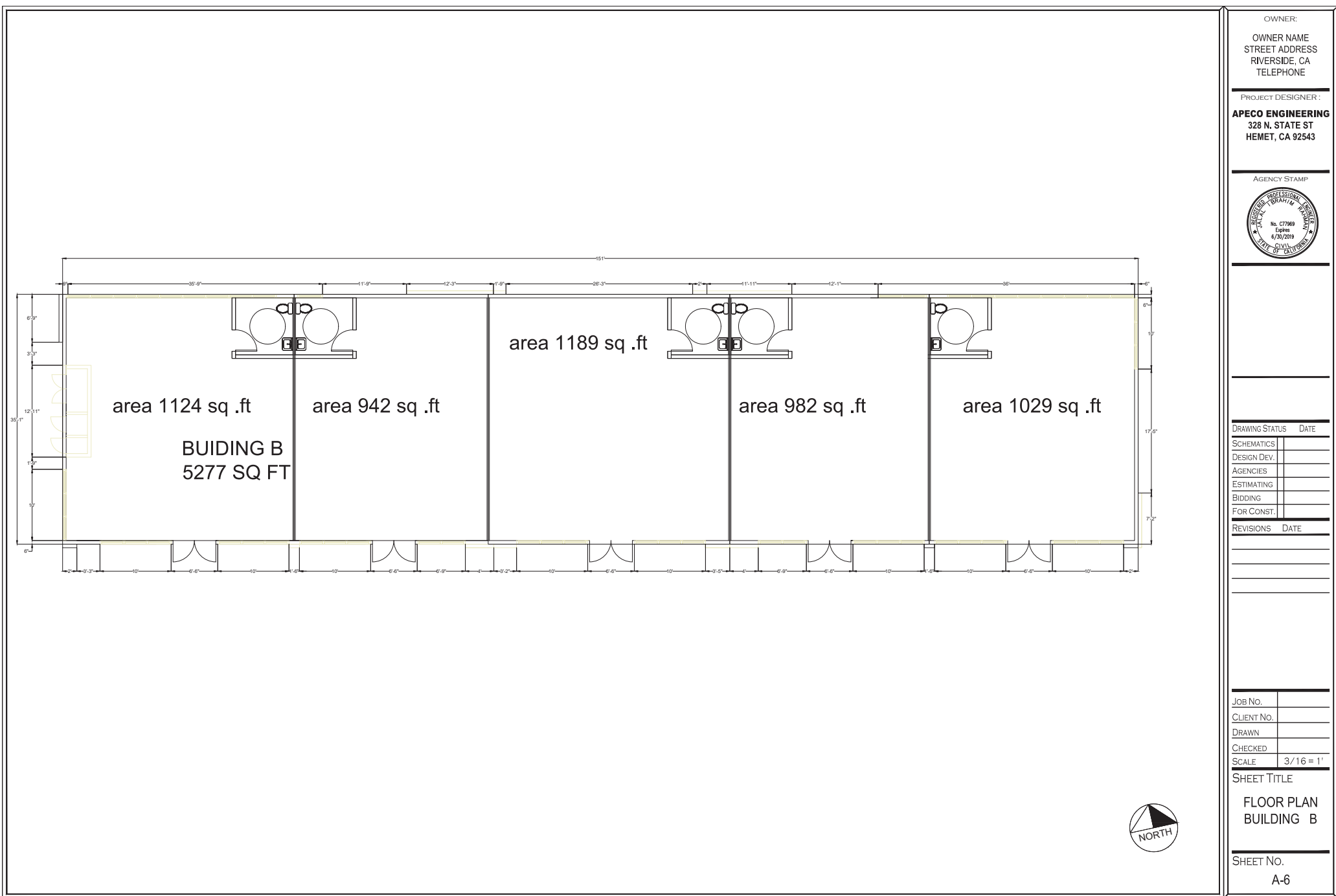
SCALE 1/4" = 1'

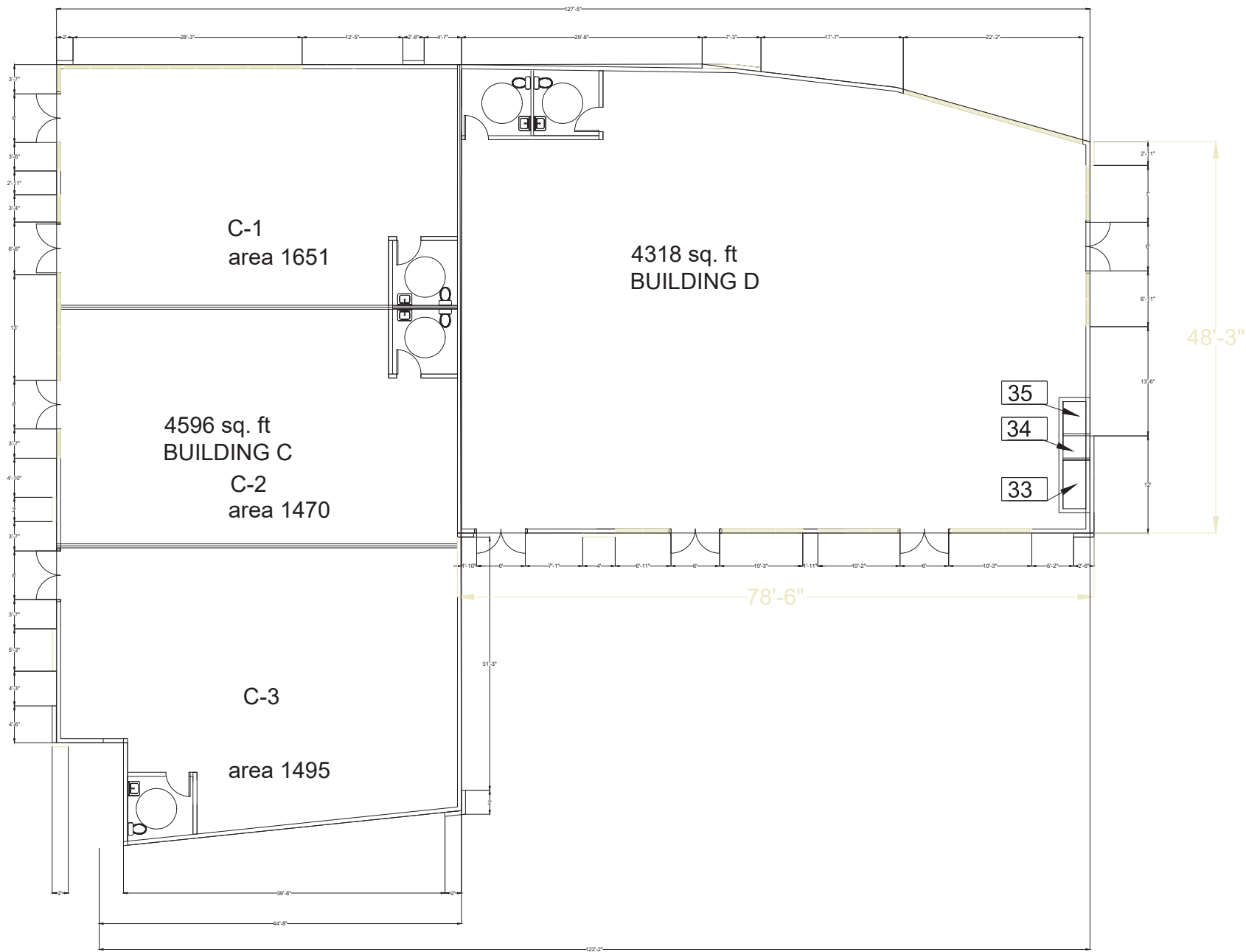
SHEET TITLE

FLOOR PLAN
BUILDING A

SHEET NO.

A-5





OWNER:

OWNER NAME
STREET ADDRESS
RIVERSIDE, CA
TELEPHONE

PROJECT DESIGNER:

APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

AGENCY STAMP



DRAWING STATUS DATE

SCHEMATICS	
DESIGN DEV.	
AGENCIES	
ESTIMATING	
BIDDING	
FOR CONST.	

REVISIONS DATE

JOB NO.

CLIENT NO.

DRAWN

CHECKED

SCALE 3/16" = 1'

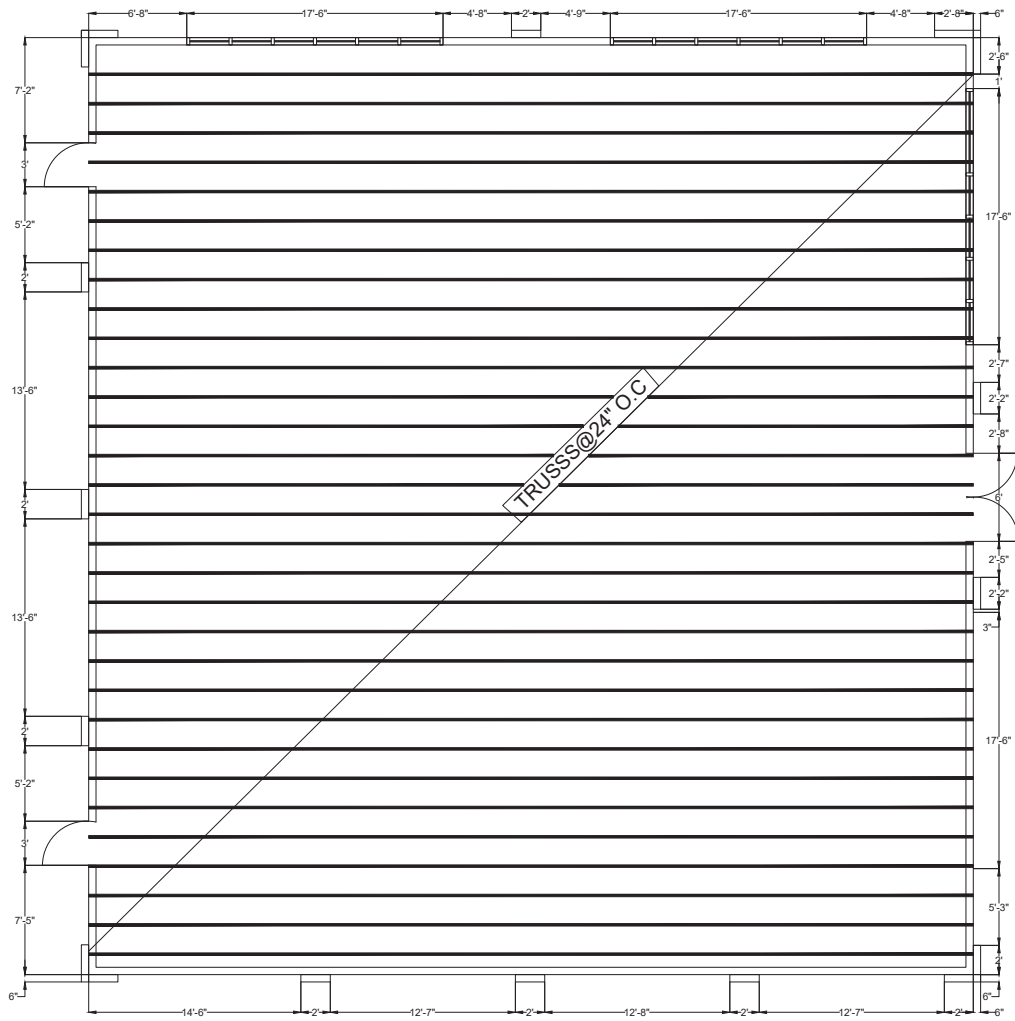
SHEET TITLE

FLOOR PLAN
BUILDING C&D

SHEET NO.

A-8

BUIDING A
3851 SQ FT



Roof Membrane: Single ply membrane composed of thermoplastic polyolefin (TPO) sheet as specified for the specific product hereinbefore and reinforced with polyester scrim conforming to ASTM D 6878.

1. Membrane Type: Reinforced, 60 mil thickness, white, 10 ft. maximum sheet width.

B. Flashing Membrane: Reinforced and non-reinforced TPO membrane and pressure-sensitive flashing by Roofing System manufacturer, thickness to match roofing membrane, specifically designed for use in flashing at perimeters and around projections through roofing system. PER SPECS ON SHEET A-11



OWNER:

OWNER NAME
STREET ADDRESS
RIVERSIDE, CA
TELEPHONE

PROJECT DESIGNER:

APECO ENGINEERING
328 N. STATE ST
HEMET, CA 92543

AGENCY STAMP

DRAWING STATUS

DATE

SCHEMATICS

DESIGN DEV.

AGENCIES

ESTIMATING

BIDDING

FOR CONST.

REVISIONS

DATE

JOB NO.

CLIENT NO.

DRAWN

CHECKED

SCALE

1/4" = 1'

SHEET TITLE

ROOF FRAMING
PLAN BUILDING
A

SHEET NO.

A-9