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Farmhouse Collective

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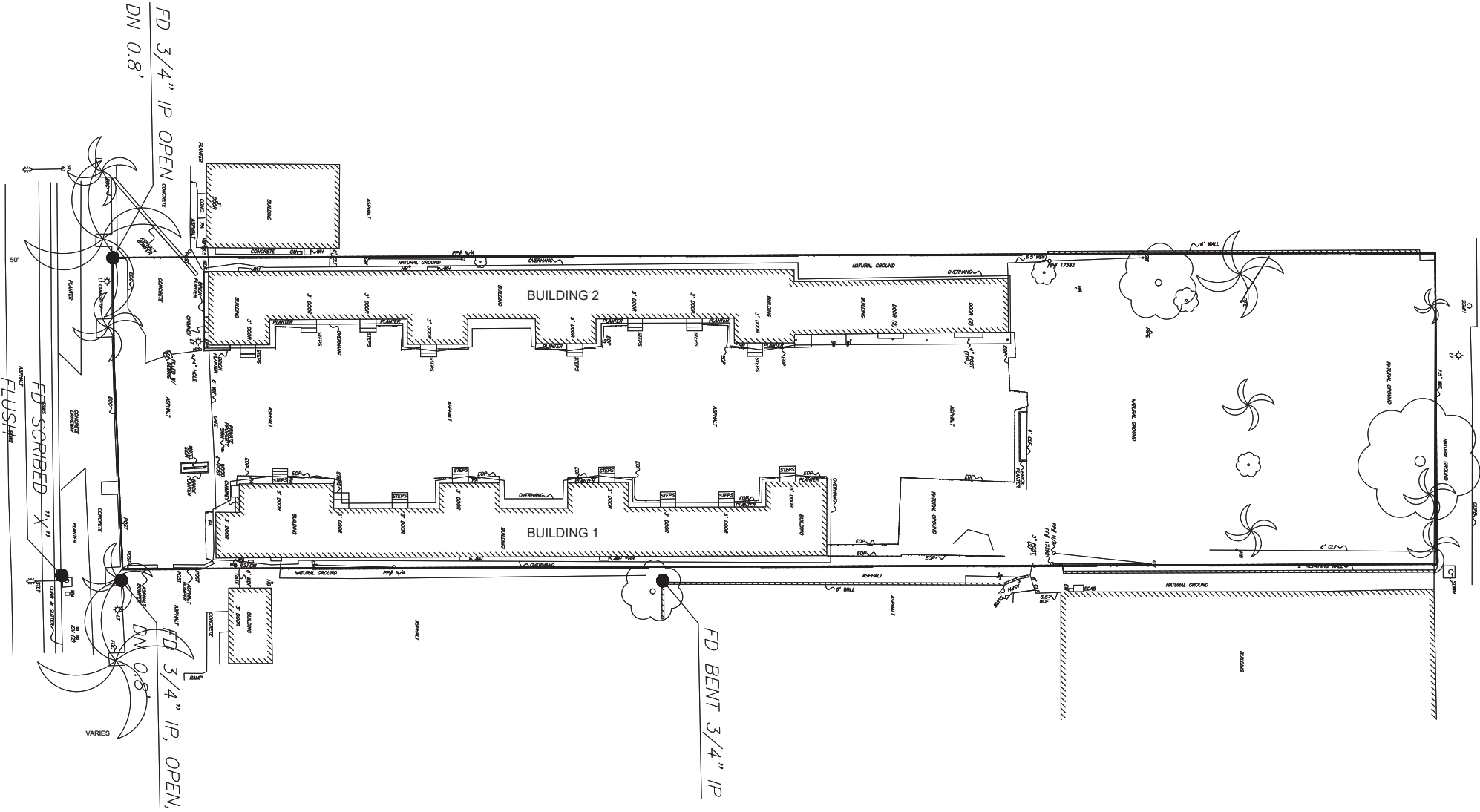
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TITLE SHEET

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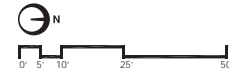




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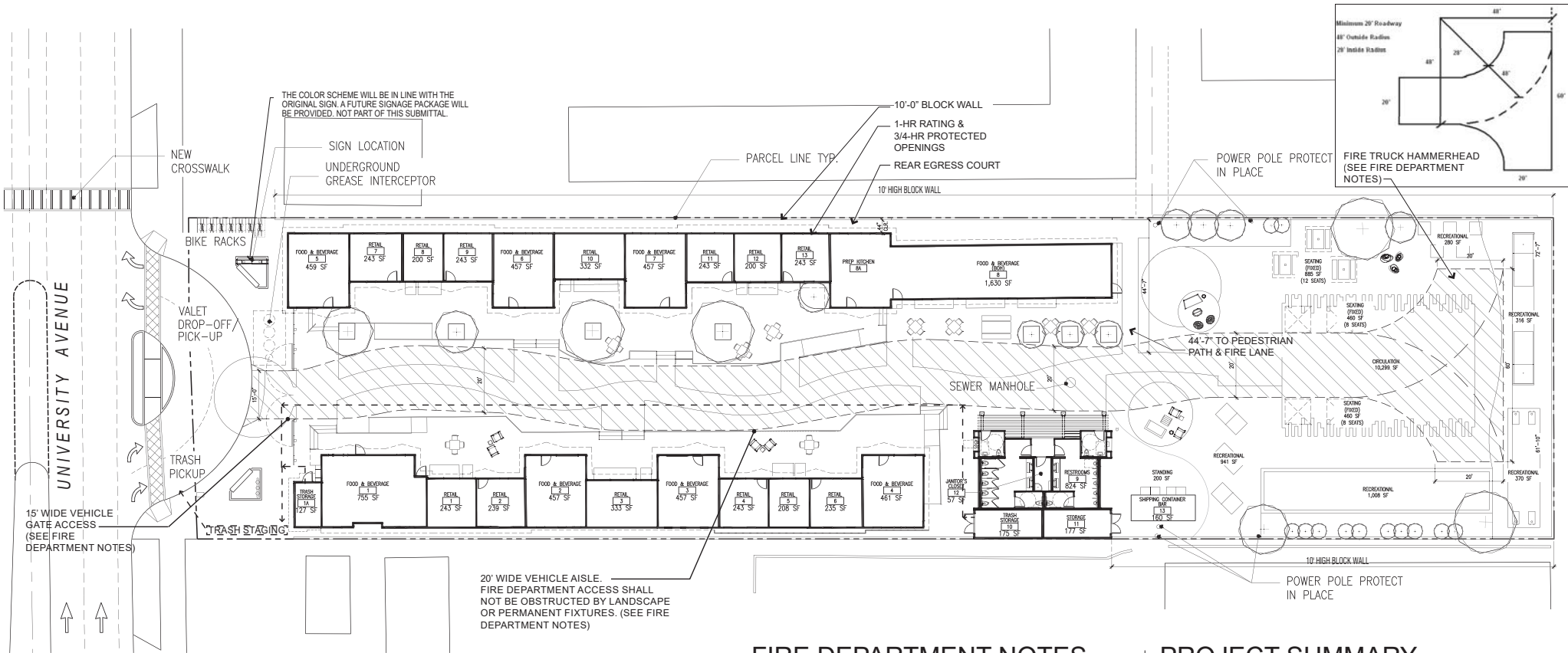
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SITE PLAN
Existing



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FIRE DEPARTMENT NOTES

2016 California Fire Code Section 503 - Fire Apparatus Access Roads

Sec. 503.1.1 Buildings and facilities.

Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

Sec. 503.2.1 Dimensions

Fire apparatus access roads shall have an unobstructed width of not less than 20 feet except for approved security gates in accordance with Section 503.6, and unobstructed vertical clearance of not less than 13 feet 6 inches.

Sec. 503.2.3 Surface

Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus of 80,000 pounds and shall be surfaced so as to provide all-weather driving capabilities. Roadways shall have a minimum 48 foot outside turning radius. Dead end access road shall not exceed 150 feet in length.

Sec. 506.1 Key Boxes

All new commercial and multi-family residential buildings and any existing buildings where the fire department deems access is restricted shall be required to install a key box or key switch in an approved location.

Electric gates for emergency vehicle access shall include an "Infrared Automatic Gate System" that opens the gate automatically. These devices shall be installed on all electric fire access gates.

Contact the Fire Department for approval prior to installation.

PROJECT SUMMARY

PROPOSED AND EXISTING BUILDING AREA:

EXISTING	OCC. R-1	PROPOSED	OCC. A-2
BUILDING 1	3,758 SF	RETAIL	3,205 SF
BUILDING 2	4,707 SF	FOOD AND BEVERAGE	5,133 SF
TOTAL:	8,465 SF	SHIPPING CONTAINER/BAR	160 SF
		STORAGE	531 SF
		UNOCCUPIED ACCESSORY:	824 SF
		BLDG. AREA TOTAL:	9,891 SF
		SUB TOTAL (BLDG. AREA)	9,891 SF
		OUTDOOR SPACE	26,830 SF
		LANDSCAPE	5,532 SF
APN:	250-190-009		
LOT AREA (NET)	Parcel 60 42,253 SF. 0.97 Acre		
LAND COVERAGE	9,891/42,253x100 = 23.4%		
FLOOR AREA RATIO	9,891/42,253 = 0.23 F.A.R.		
LANDSCAPE COVERAGE	5,532 SF/42,253 = 13.1%		
BUILDING HEIGHT: Allowable Stories:	1 story		
Allowable Height:	25'		
Existing Stories:	1 story		
Existing Height:	15'-0 11/16"		

SEE EXITING ANALYSIS - PAGE 5 FOR OCCUPANCY CHART



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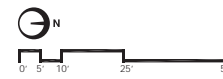
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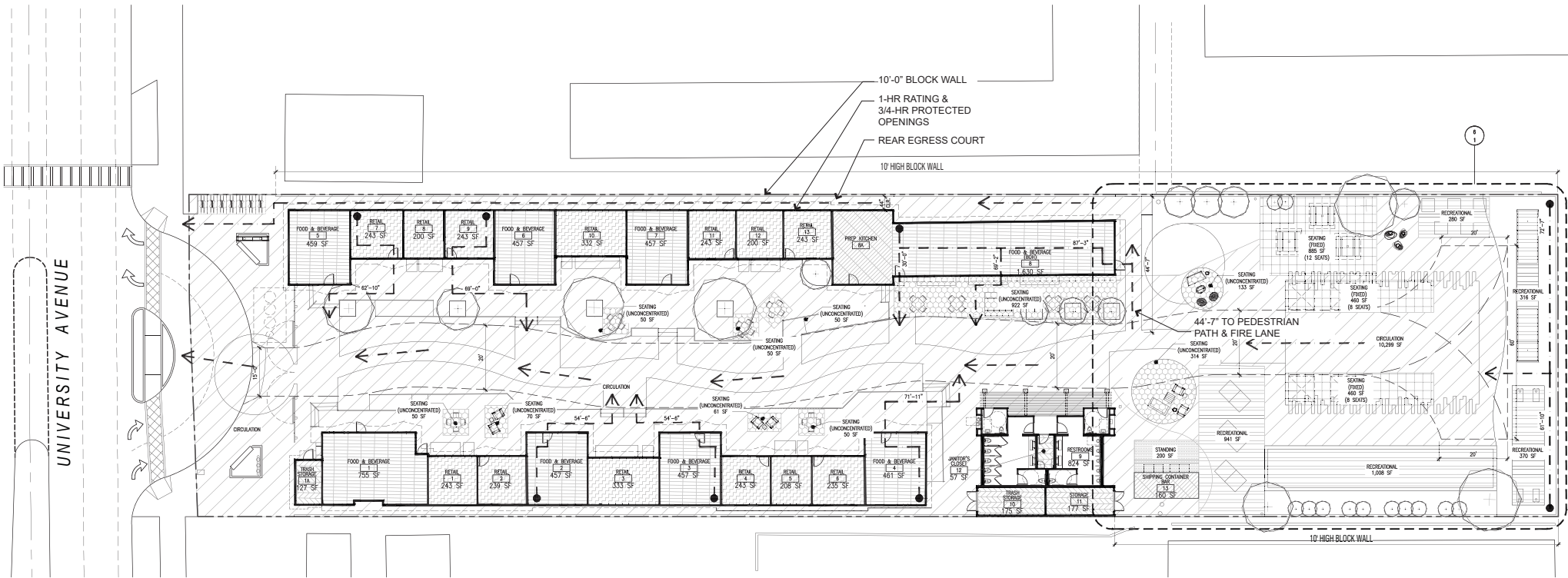
SITE PLAN

Proposed



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FRONT OCCUPANCY LOAD:

	AREA/SEATS	OCC. FACTOR	TOTAL	OCC. TYPE
CIRCULATION	4,712 SF	--	--	--
FOOD & BEVERAGE				
BOH	1,630 SF	200	8	ASSEMBLY
DINING	3,503 SF	15	234	ASSEMBLY
RESTROOMS	824 SF	--	--	--
RETAIL	3,205 SF	60	53	MERCANTILE
SEATING				
UNCONCENTRATED	1,303 SF	15	87	ASSEMBLY
STORAGE, JANITOR,	531 SF	300	2	MERCANTILE
TRASH				
TOTAL:	15,708 SF		384	

BACK OCCUPANCY LOAD:

	AREA/SEATS	OCC. FACTOR	TOTAL	OCC. TYPE
CIRCULATION	5,687 SF	--	--	--
RECREATIONAL	2,915 SF	50	58	--
SEATING				
FIXED	1,805 SF	--	28	ASSEMBLY
UNCONCENTRATED	447 SF	15	30	ASSEMBLY
SHIPPING CONTAINER	160 SF	200	1	ASSEMBLY
BAR				
UNCONCENTRATED	200 SF	5	40	ASSEMBLY
TOTAL:	11,214 SF		157	

GRAND TOTAL OCCUPANTS: 541

NOTES:

- CENTRAL & REAR EGRESS COURT TO HAVE DIRECT ACCESS TO PUBLIC WAY ON UNIVERSITY AVE. & WILL NOT BE OBSTRUCTED BY SEATING, KIOSK, STORAGE, ETC.
- REAR EGRESS COURT TO BE OPEN, UNCOVERED, & UNOBSTRUCTED TO THE SKY.

TOTAL OCCUPANCY LOAD

SPACES	AREA	OCCUPANT LOAD FACTOR	TOTAL
Retail	3,205 SF	60	53
Food & Beverage (B.O.H.)	1,630 SF	200	8
Food & Beverage (DINING)	3,503 SF	15	234
Shipping Container Bar	160 SF	200	1
Restrooms	824 SF	--	--
Outdoor Seating (FIXED)	1,805 SF	--	28
Outdoor Seating (Unconcentrated)	1,750 SF	15	117
Storage	531 SF	300	2
Standing	200 SF	5	40
Recreational	2,915 SF	50	58
Circulation	5,687 SF	--	--
GRAND TOTAL:			541

MAX OCCUPANCY 366 PERSONS

LEGEND

CIRCULATION	
KITCHEN	
RECREATIONAL	
SEATING	
FIXED	
UNCONCENTRATED	
SHIPPING CONTAINER BAR	
STANDING	



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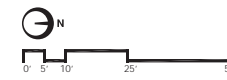
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EXITING ANALYSIS

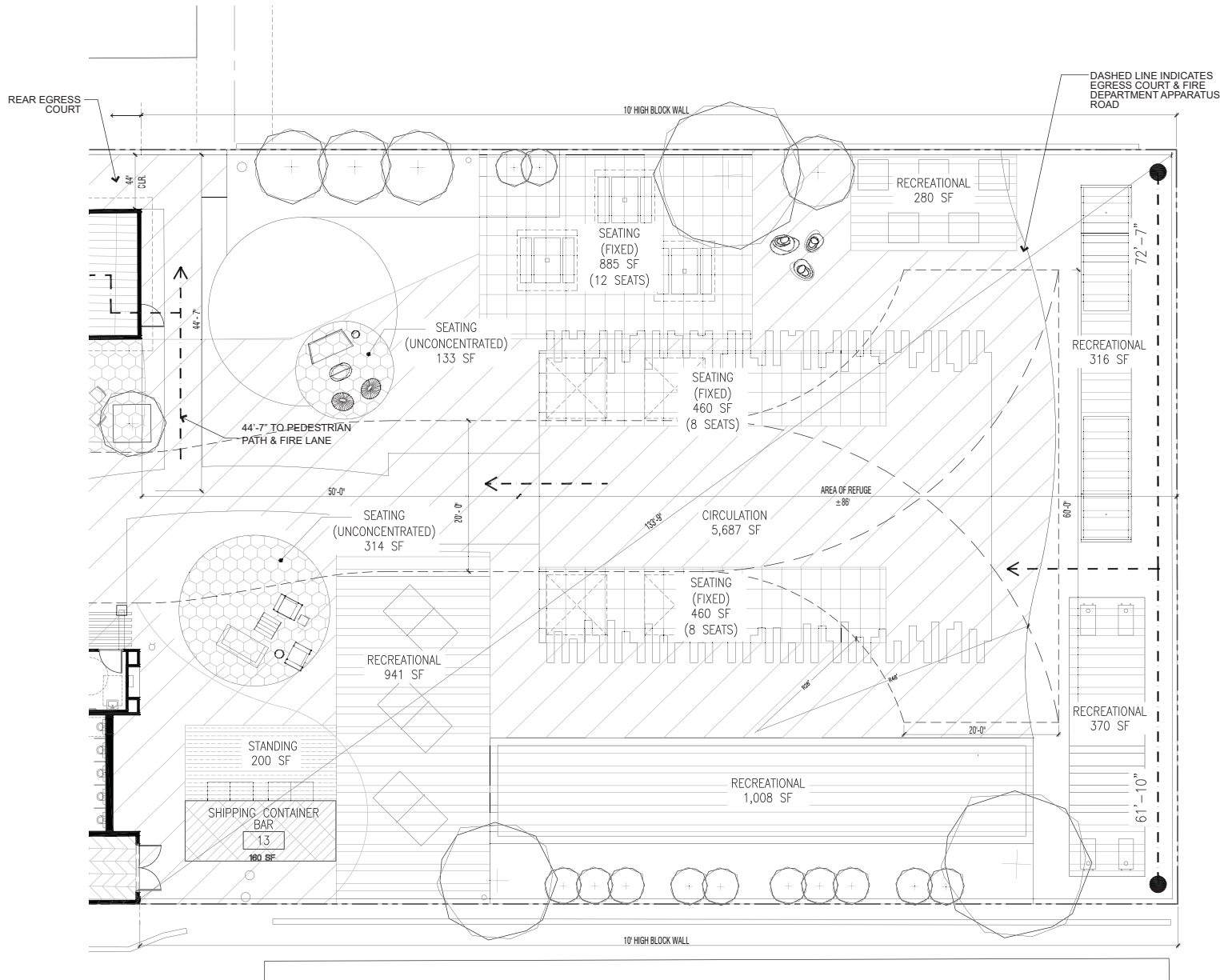
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PAGE 5



LEGEND	
CIRCULATION	
KITCHEN	
RECREATIONAL	
SEATING	
FIXED	
UNCONCENTRATED	
SHIPPING CONTAINER BAR	
STANDING	

SEE EXITING ANALYSIS - PAGE 5 FOR OCCUPANCY CHART



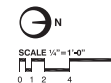
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EXITING ANALYSIS OPEN GREEN SPACE



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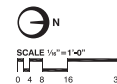


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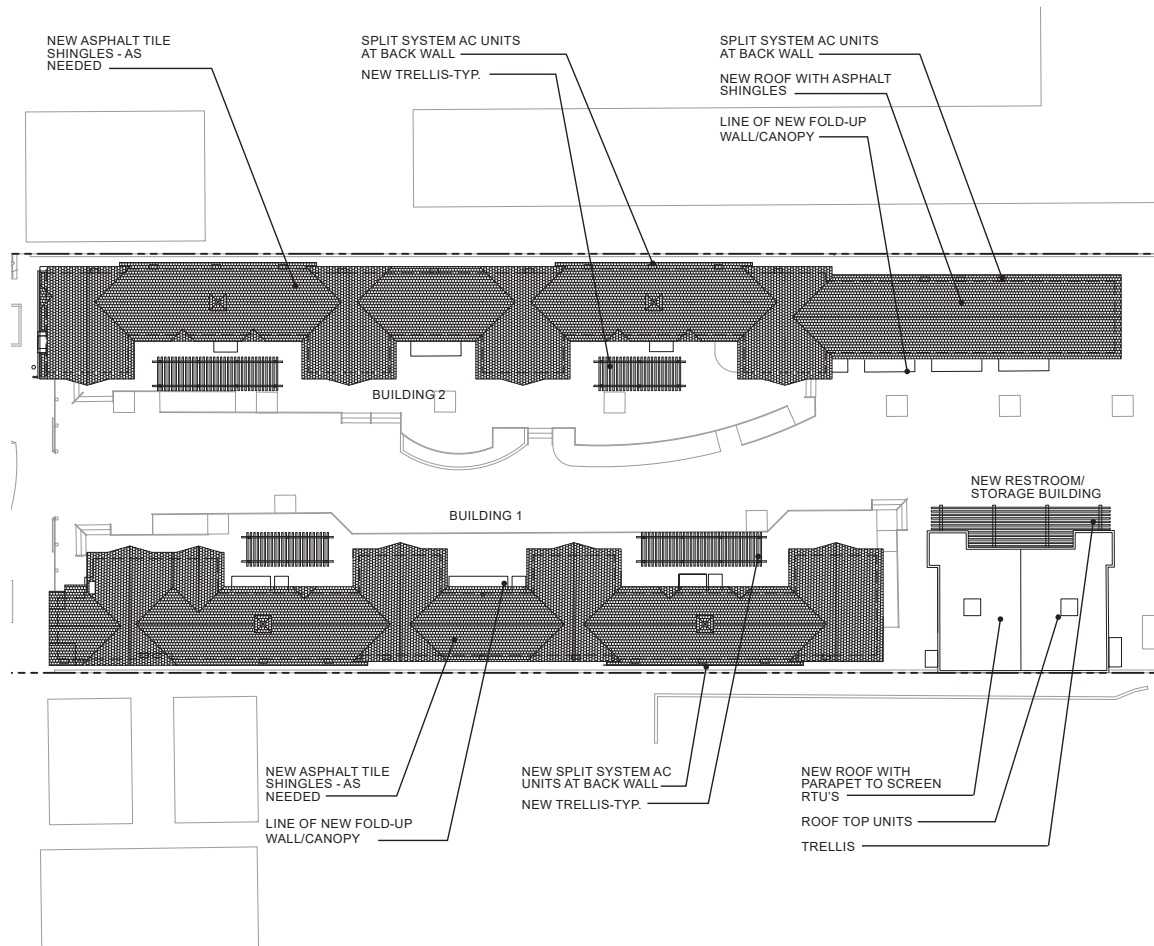
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COLORED ROOF PLAN



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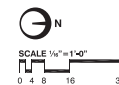
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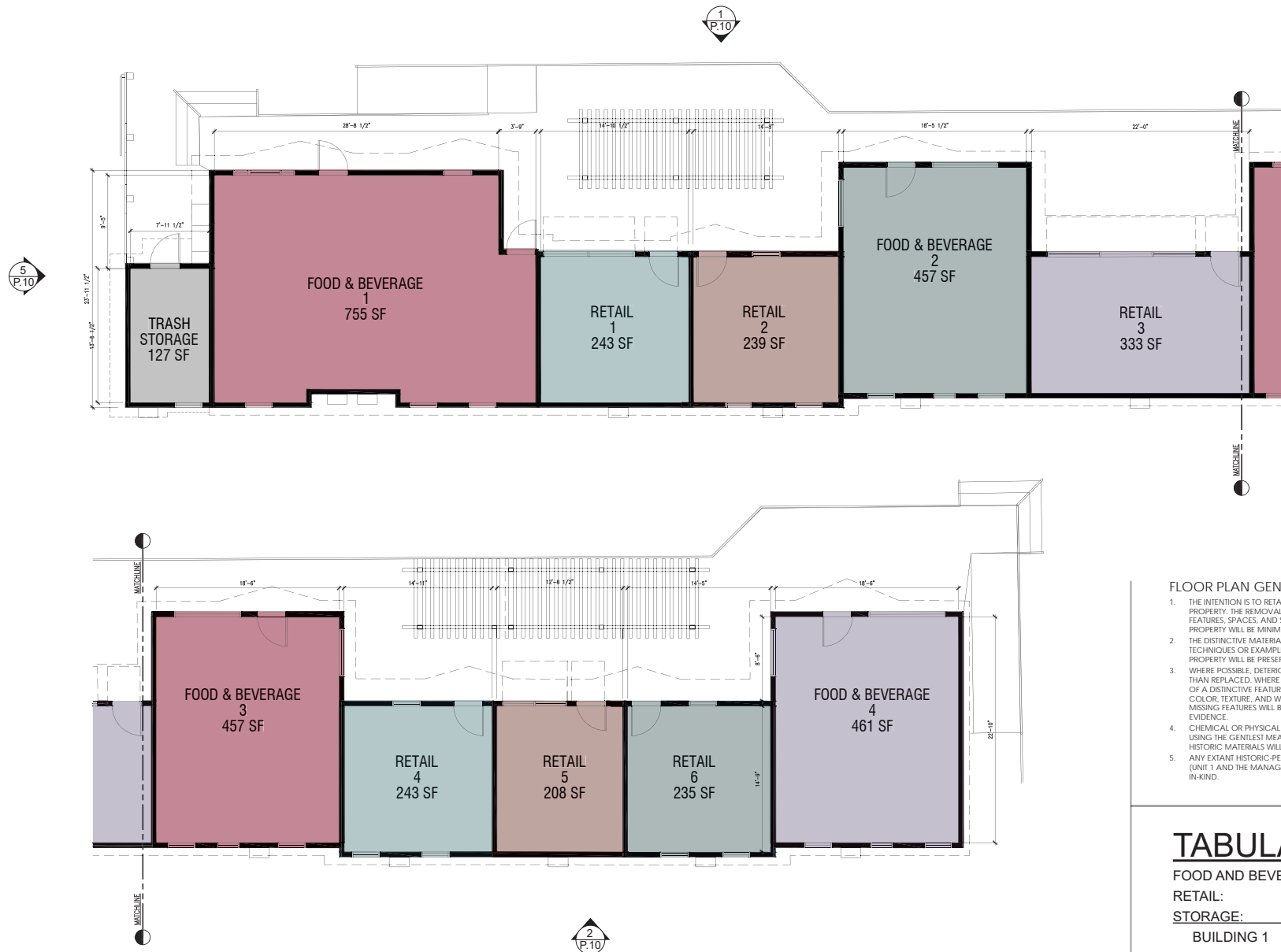
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ROOF PLAN



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FLOOR PLAN GENERAL NOTES:

1. THE INTENTION IS TO RETAIN AND PRESERVE THE HISTORIC CHARACTER OF THE PROPERTY. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE THE PROPERTY WILL BE MINIMIZED.
2. THE DISTINCTIVE MATERIALS, FEATURES, FINISHES, AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE THE PROPERTY WILL BE PRESERVED, REPAIRED, AND/OR REPLACED IN-KIND.
3. WHERE POSSIBLE, DETERIORATED HISTORIC FEATURES WILL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE.
4. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
5. ANY EXISTANT HISTORIC-PERIOD WINDOWS IN THE TWO UNITS CLOSEST TO THE STREET (UNIT 1 AND THE MANAGER'S UNIT) THAT REQUIRE REPLACEMENT WILL BE REPLACED IN-KIND.

TABULATIONS:

FOOD AND BEVERAGE:	2,130 SF
RETAIL:	1,501 SF
STORAGE:	127 SF
BUILDING 1	
TOTAL AREA:	3,758 SF



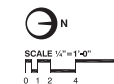
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BUILDING 1 Floor Plan



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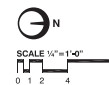
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BUILDING 2

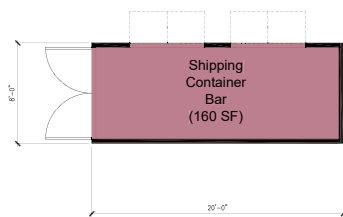
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SHIPPING
CONTAINER



RESTROOM

FLOOR PLAN GENERAL NOTES:

1. THE INTENTION IS TO RETAIN AND PRESERVE THE HISTORIC CHARACTER OF THE PROPERTY. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE THE PROPERTY WILL BE MINIMIZED.
2. THE DISTINCTIVE MATERIALS, FEATURES, FINISHES, AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE THE PROPERTY WILL BE PRESERVED, REPAIRED, AND/OR REPLACED IN-KIND.
3. WHERE POSSIBLE, DETERIORATED HISTORIC FEATURES WILL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE.
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5. ANY EXISTANT HISTORIC PERIOD WINDOWS IN THE TWO UNITS CLOSEST TO THE STREET (UNIT 1 AND THE MANAGER'S UNIT) THAT REQUIRE REPLACEMENT WILL BE REPLACED IN-KIND.

TABULATIONS:

RESTROOMS:	824 SF
STORAGE:	442 SF
SHIPPING CONTAINER BAR	160 SF
TOTAL AREA:	1,426 SF



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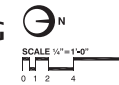
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RESTROOM/STORAGE BUILDING & SHIPPING CONTAINER BAR

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① BUILDING 1 WEST EXTERIOR ELEVATION

SCALE: 1/16"=1'-0"



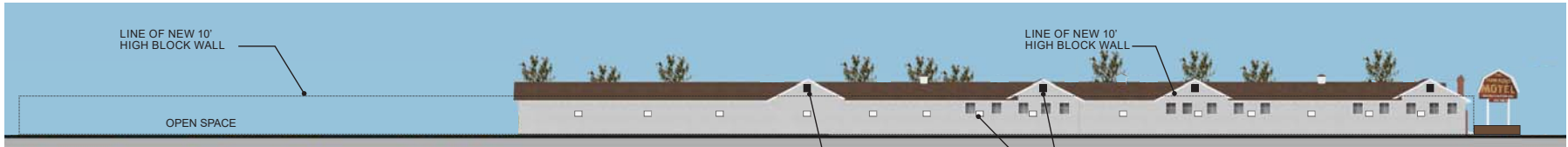
② BUILDING 1 EAST EXTERIOR ELEVATION

SCALE: 1/16"=1'-0"



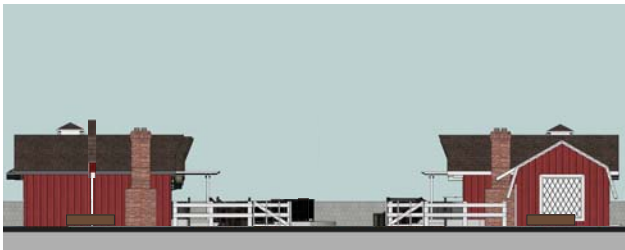
③ BUILDING 2 WEST EXTERIOR ELEVATION

SCALE: 1/16"=1'-0"



④ BUILDING 2 EAST EXTERIOR ELEVATION

SCALE: 1/16"=1'-0"



⑤ BUILDING 2 NORTH EXTERIOR ELEVATION

SCALE: 3/32"=1'-0"



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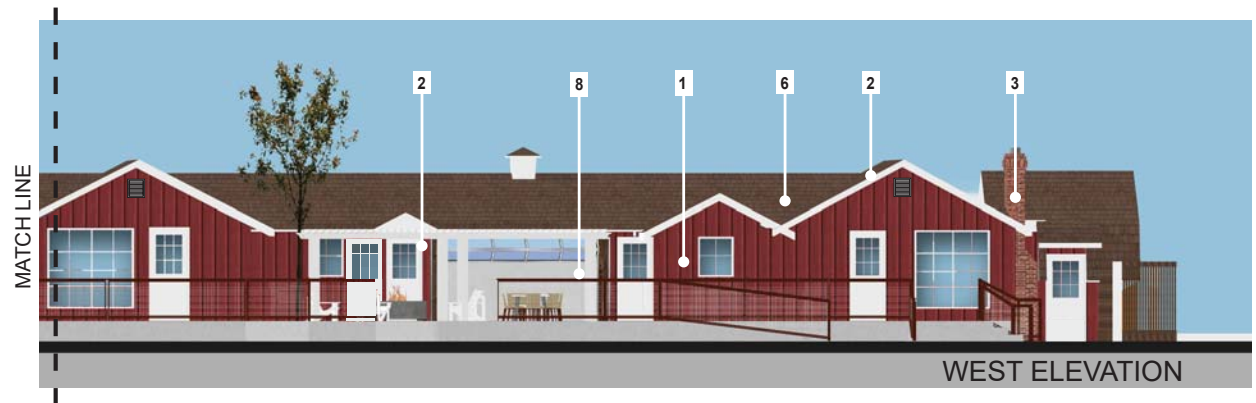
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BUILDINGS 1 & 2

Overall Elevations

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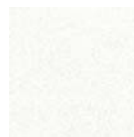
1 THIN STARTLING RED CEDAR PLANKS:
EXTERIOR WALL



2 WHITE WOOD TRIM:
FASCIA, WINDOWS,
AND DOORS



3 EXISTING BRICK
REPAIR AS NEEDED



4 EIFS-
EXTERIOR
STUCCO-
SMOOTH
FINISH



5 SHERWIN-
WILLIAMS-
RED BARN
SW 7591:
EXTERIOR
DOORS



6 ROOF SHINGLES



7 WOODEN PLANK -
EXTERIOR DECKS



8 WOOD AND HOGWIRE RAILING



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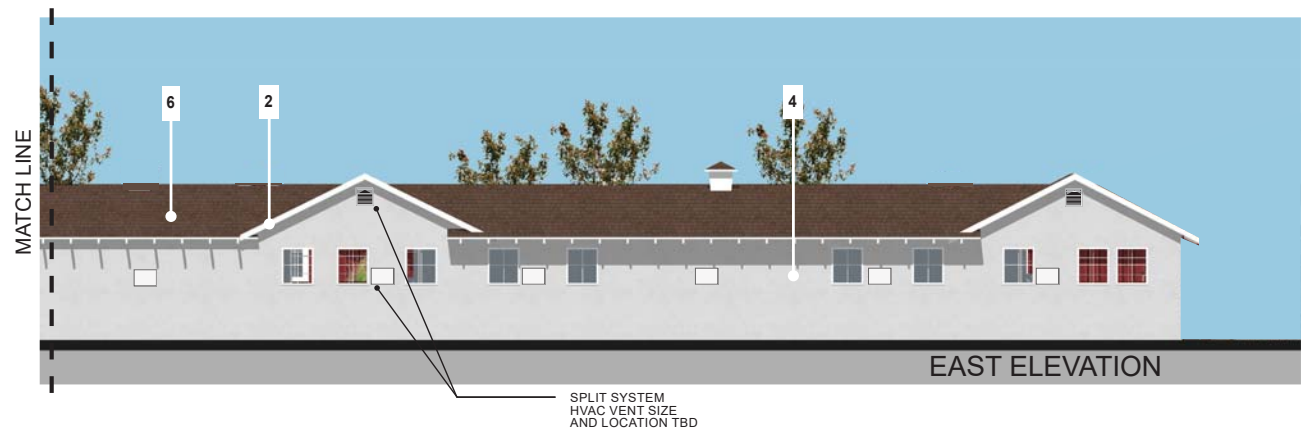
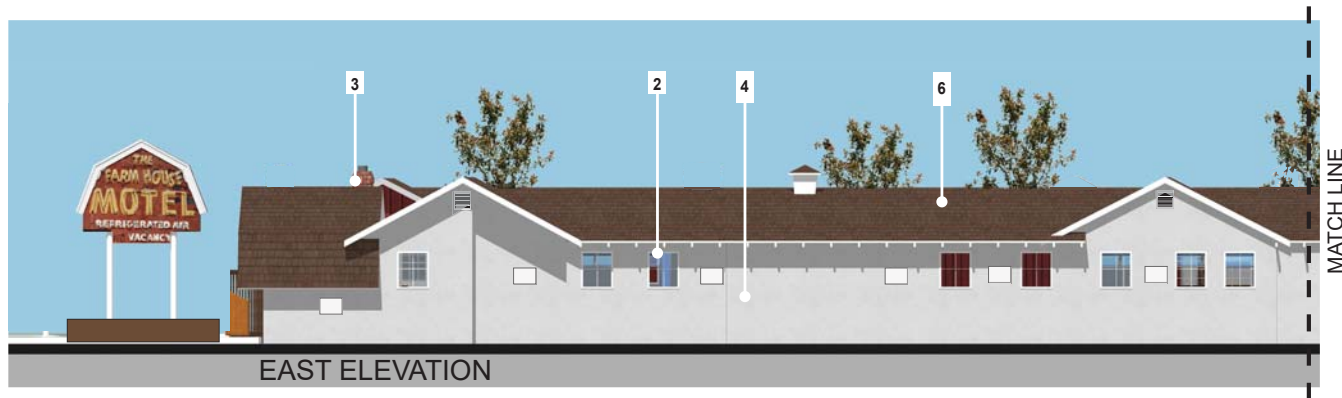
BUILDING 1
West Elevations

SCALE 1/4"=1'-0"
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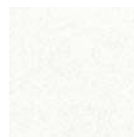
1 THIN STARTLING RED CEDAR PLANKS:
EXTERIOR WALL



2 WHITE WOOD TRIM:
FASCIA, WINDOWS,
AND DOORS



3 EXISTING BRICK
REPAIR AS NEEDED



4 EIFS-
EXTERIOR
STUCCO-
SMOOTH
FINISH



5 SHERWIN
WILLIAMS-
RED BARN
SW 7591:
EXTERIOR
DOORS



6 ROOF SHINGLES



7 WOODEN PLANK -
EXTERIOR DECKS



8 WOOD AND HOGWIRE RAILING



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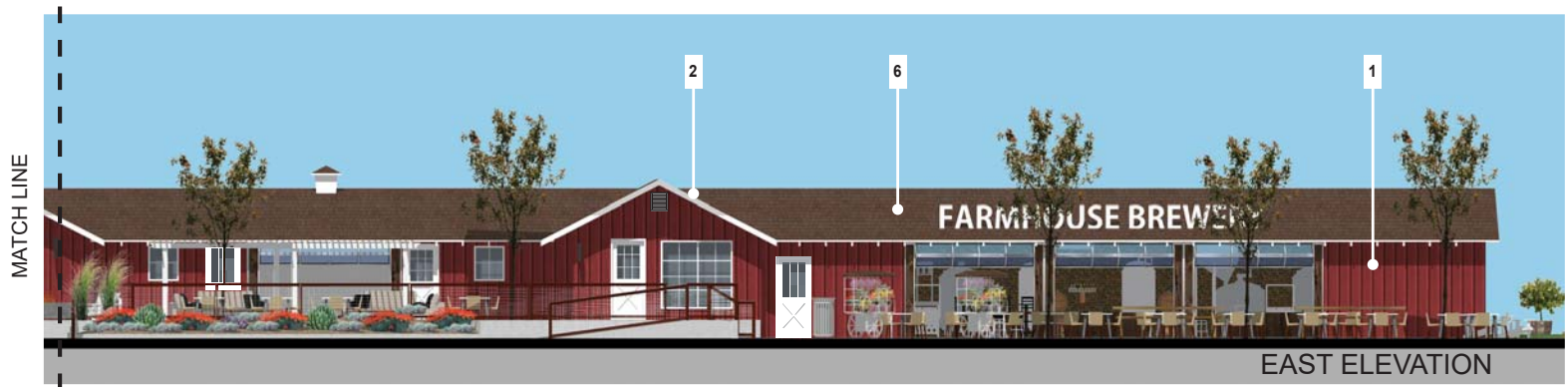
BUILDING 1
East Elevations

SCALE 1/4"=1'-0"
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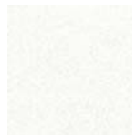
1 THIN STARTLING RED CEDAR PLANKS:
EXTERIOR WALL



2 WHITE WOOD TRIM:
FASCIA, WINDOWS,
AND DOORS



3 EXISTING BRICK
REPAIR AS NEEDED



4 EIFS-
EXTERIOR
STUCCO-
SMOOTH
FINISH



5 SHERWIN
WILLIAMS-
RED BARN
SW 7591:
EXTERIOR
DOORS



6 ROOF SHINGLES



7 WOODEN PLANK -
EXTERIOR DECKS



8 WOOD AND HOGWIRE RAILING



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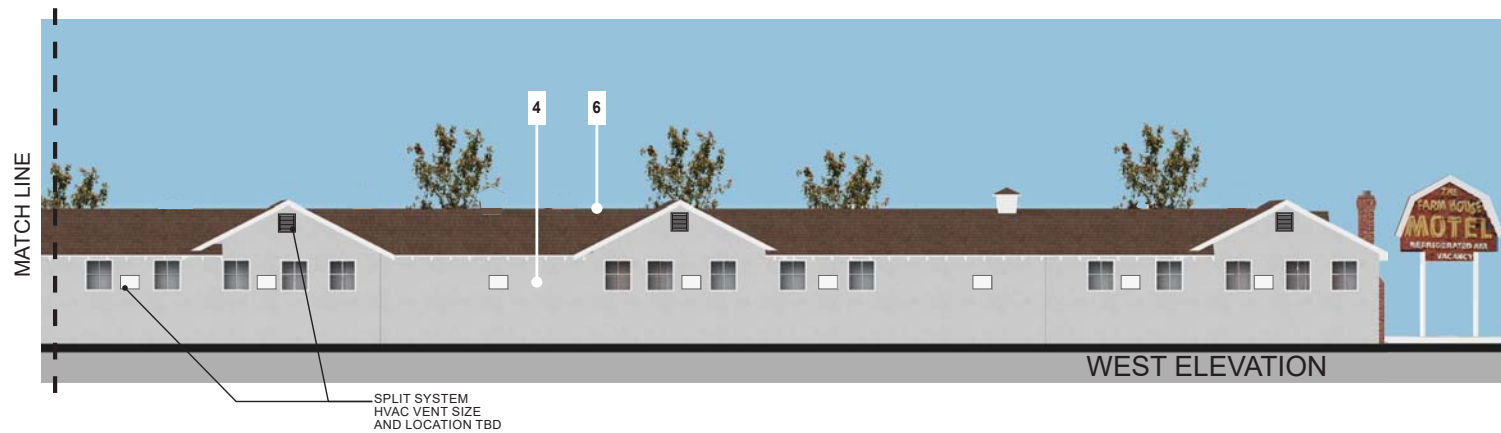
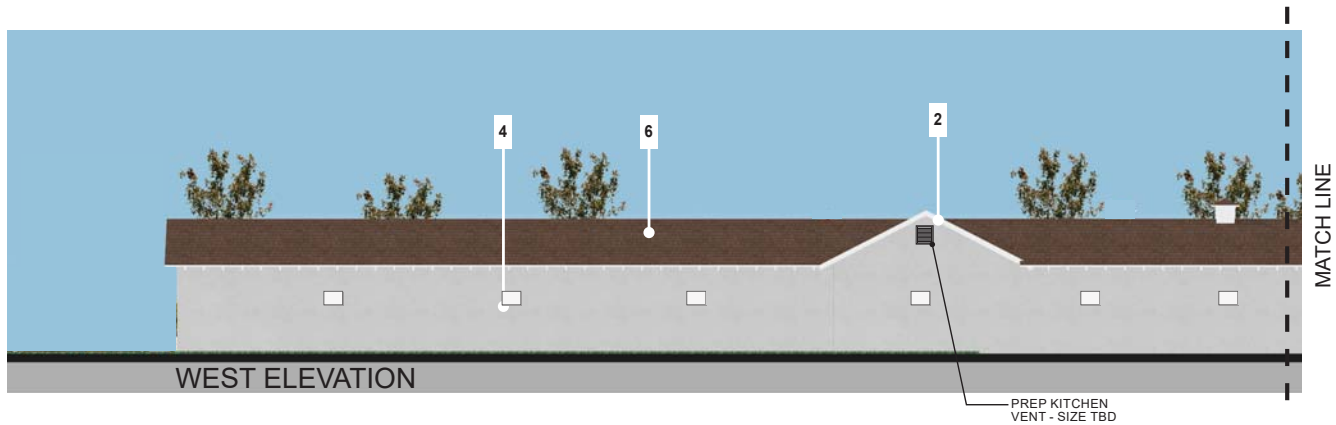
BUILDING 2

Exterior Elevations - East

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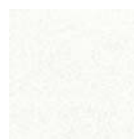
1 THIN STARTLING RED CEDAR PLANKS:
EXTERIOR WALL



2 WHITE WOOD TRIM:
FASCIA, WINDOWS,
AND DOORS



3 EXISTING BRICK
REPAIR AS NEEDED



4 EIFS-
EXTERIOR
STUCCO-
SMOOTH
FINISH



5 SHERWIN
WILLIAMS-
RED BARN
SW 7591:
EXTERIOR
DOORS



6 ROOF SHINGLES



7 WOODEN PLANK -
EXTERIOR DECKS



8 WOOD AND HOGWIRE RAILING



Farmhouse Collective

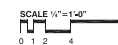
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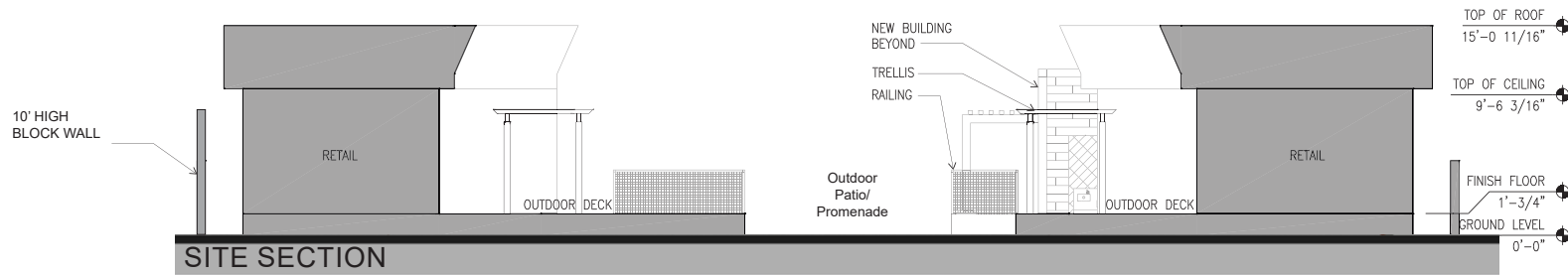
BUILDING 2

Exterior Elevations - West



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PATIO TRELLIS STRUCTURES (SIMILAR)



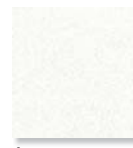
1 THIN STARTLING RED CEDAR PLANKS: EXTERIOR WALL



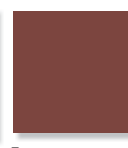
2 WHITE WOOD TRIM: FASCIA, WINDOWS, AND DOORS



3 EXISTING BRICK REPAIR AS NEEDED



4 EIFS- EXTERIOR STUCCO- SMOOTH FINISH



5 SHERWIN WILLIAMS- RED BARN SW 7591: EXTERIOR DOORS



6 ROOF SHINGLES



7 WOODEN PLANK - EXTERIOR DECKS



8 WOOD AND HOGWIRE RAILING



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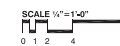
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BUILDINGS 1 & 2

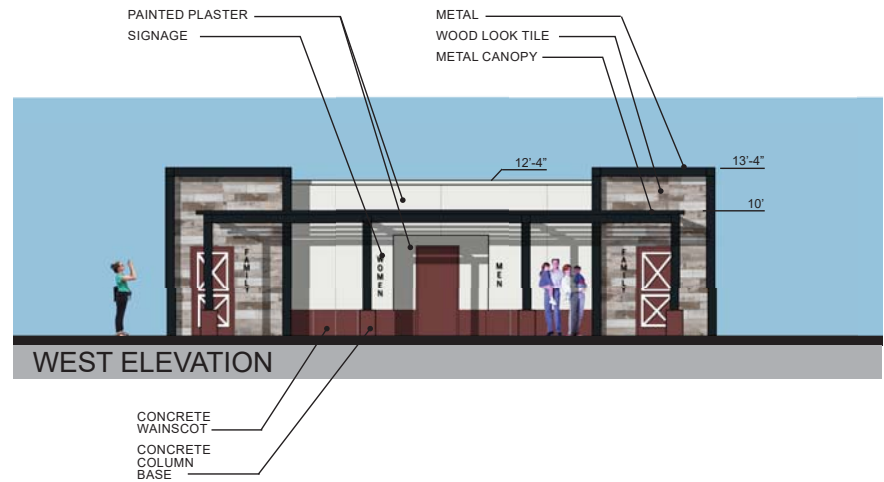
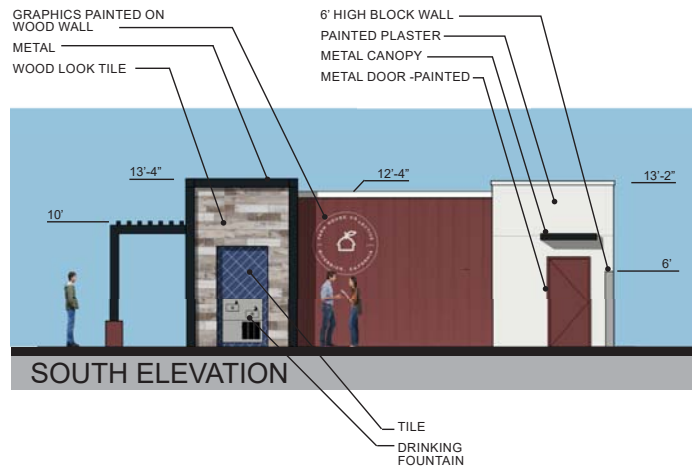
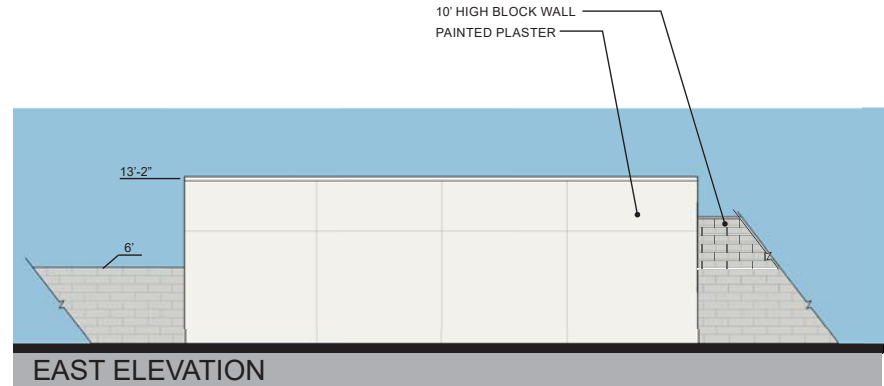
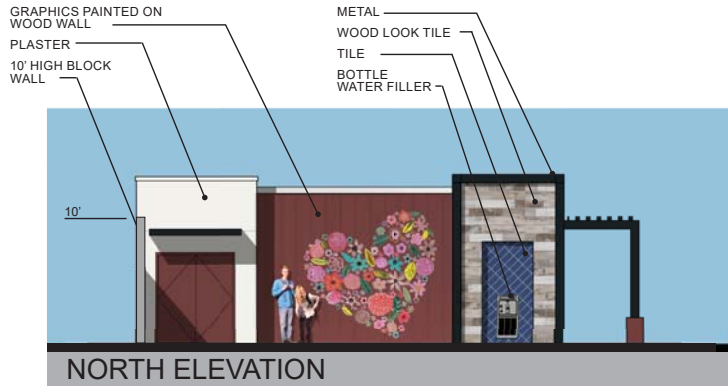
Exterior Elevations - North & Site Section



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RESTROOM/STORAGE BUILDING
Elevations

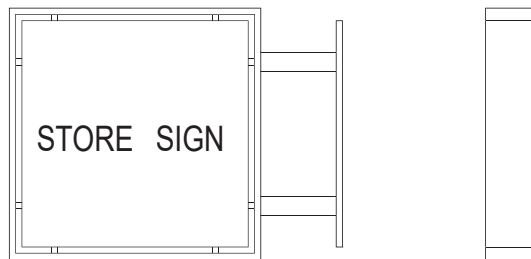
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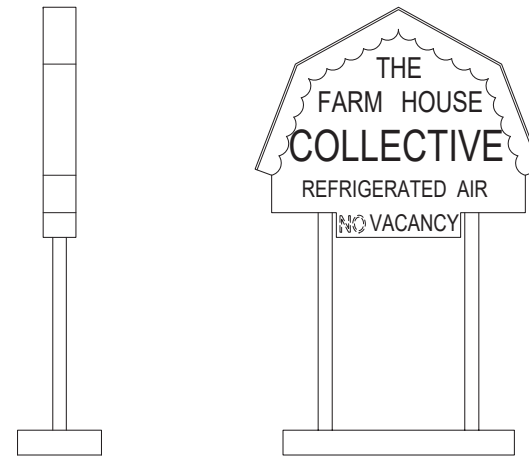


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P18-0949, Exhibit 3 - Project Plans



RETAIL STORE SIGN



ENTRANCE SIGN

** THE COLORING SCHEME WILL BE IN LINE
WITH THE ORIGINAL SIGN.
A FUTURE SIGNAGE PACKAGE WILL BE
PROVIDED. NOT PART OF THIS SUBMITTAL.

FARMHOUSE COLLECTIVE

BREWERY SIGN



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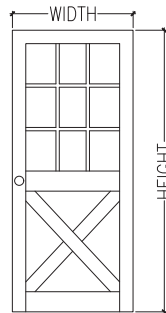
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SIGN

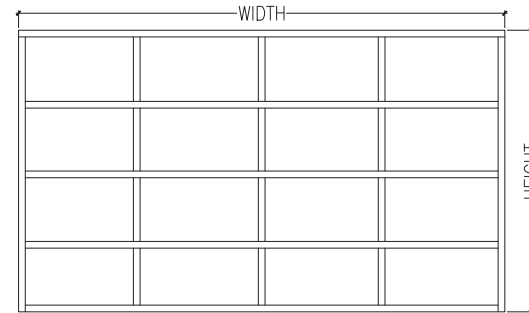
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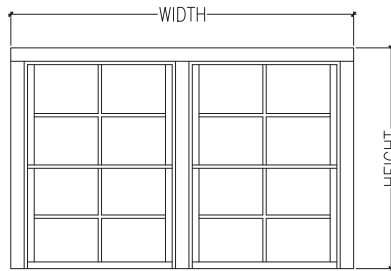
PAGE 19



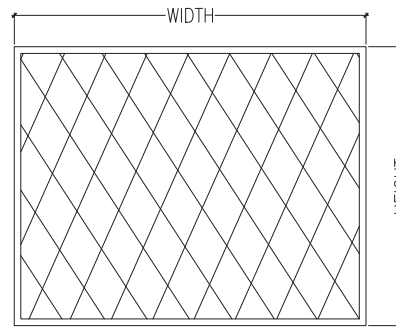
DOOR TYPE: A



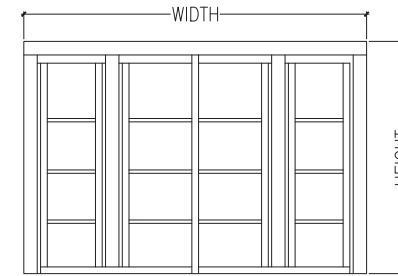
DOOR TYPE: B



WINDOW TYPE: A



WINDOW TYPE: B



WINDOW TYPE: C

FLOOR PLAN GENERAL NOTES:

1. THE INTENTION IS TO RETAIN AND PRESERVE THE HISTORIC CHARACTER OF THE PROPERTY. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE THE PROPERTY WILL BE MINIMIZED.
2. THE DISTINCTIVE MATERIALS, FEATURES, FINISHES, AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE THE PROPERTY WILL BE PRESERVED, REPAIRED, AND/OR REPLACED IN-KIND.
3. WHERE POSSIBLE, DETERIORATED HISTORIC FEATURES WILL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE.
4. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
5. ANY EXISTANT HISTORIC-PERIOD WINDOWS IN THE TWO UNITS CLOSEST TO THE STREET (UNIT 1 AND THE MANAGER'S UNIT) THAT REQUIRE REPLACEMENT WILL BE REPLACED IN-KIND.



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PROPOSED DOORS & WINDOWS

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ULMUS PARVIFOLIA 'DRAKE'



DALBERGIA SISSOO

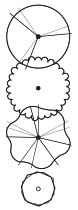


CERCIDIUM 'DESERT MUSEUM'



BAMBUSA OLDHAMII

CONCEPT PLANT SCHEDULE

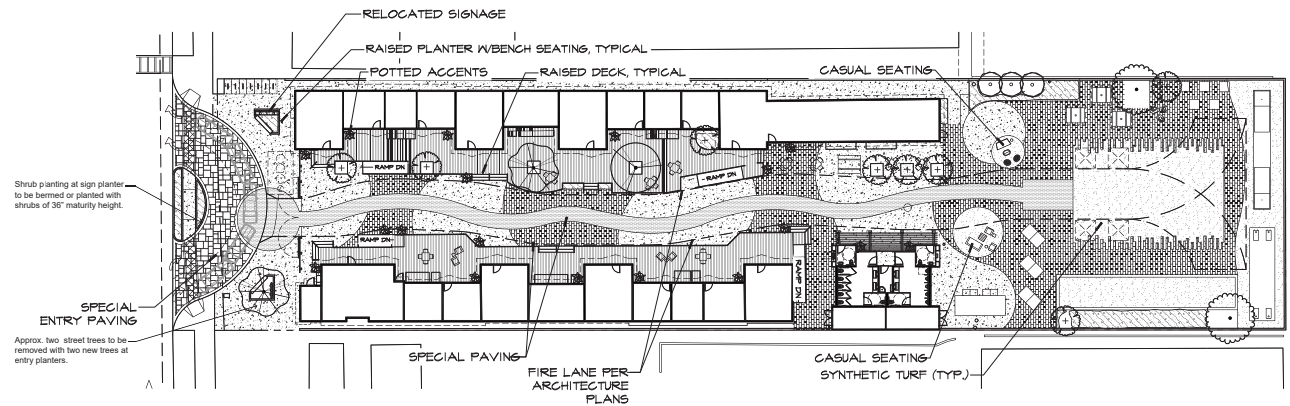


- PATIO TREE**
Ulmus parvifolia 'Drake' / Drake Elm
- EVERGREEN TREE**
Dalbergia sissoo / Rosewood
- FLOWERING PATIO TREE**
Cercidium x 'Desert Museum' / Thornless Palo Verde
- EVERGREEN SCREEN**
Bambusa oldhamii / Giant Timber Bamboo
- SMALL ACCENT TREE**
Cercis occidentalis / Western Redbud
Magnolia grandiflora 'Little Gem' / Dwarf Southern Magnolia



- SHRUB PLANTING**
Agave attenuata / Agave
Agave vilmoriniana / Octopus Agave
Aloe striata / Coral Aloe
Callistemon viminalis 'Little John' / Dwarf Weeping Bottlebrush
Cotoneaster dammeri / Bearberry Cotoneaster
Cotoneaster parneyi / Cotoneaster
Dianella tasmanica 'Variegata' / Flax Lily
Grevillea x 'Long John' / Long John Grevillea
Grevillea x 'Noelle' / Grevillea
Muhlenbergia capillaris / Pink Muhly
Nassella tenuissima / Texas Needle Grass

- 1 36" Box
- 2 EXISTING
- 2 36" Box
- 3 24" Box
- 8 36" Box
36" Box
- 866 sf



AGAVE ATTENUATA



AGAVE VILMORINIANA



ALOE STRIATA



CALLISTEMON V. 'LITTLE JOHN'



COTONEASTER DAMMERI



DIANELLA TASMANICA 'VAR'



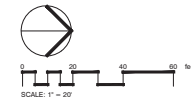
GREVILLEA 'LITTLE JOHN'



MUHLENBERGIA CAPILLARIS



NASSELLA TENUISSIMA



Wda! Wilson Davis Associates
Landscape Architecture
2825 Litchfield Dr.
Riverside, CA 92503
Ph. (951) 353-2436
14005 1-28-20



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CONCEPTUAL LANDSCAPE
Site Plan

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RENDERING

View from University Avenue

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View Along Promenade

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RENDERING

View Towards Open Space

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RENDERING

View Towards Brewery Building

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RENDERING
Outdoor Dining

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Promenade Dining

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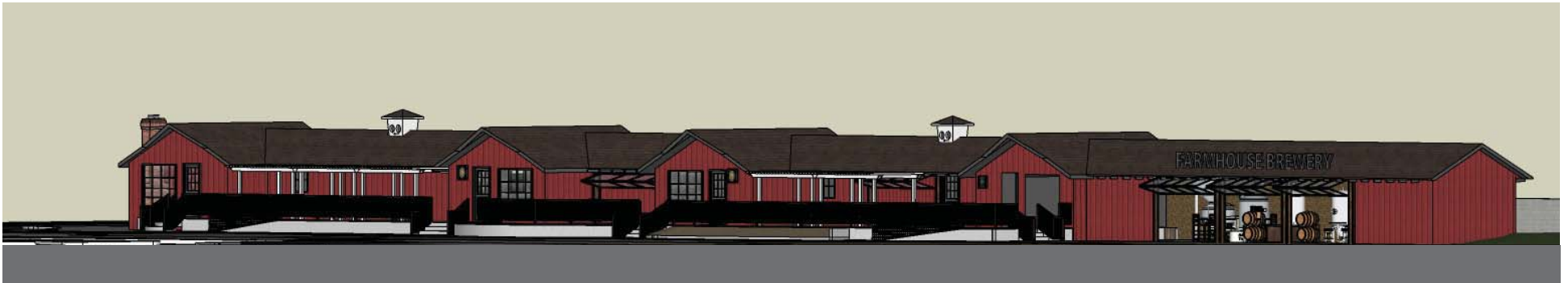
SNAPSHOTS

Building 1

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