

PROPOSED SITE PLAN

1"=20'-0"



SITE PLAN KEYNOTES

- 1 (E) SIDEWALK
- 2 (E) DRIVE
- 3 WAMP FACILITIES, SEE CIVIL
- 4 VAN ACCESSIBLE PARKING SPACE
- 5 PROPOSED CONCRETE PAVING PER CIVIL
- 6 PROPOSED CONCRETE WALKWAY PER CIVIL
- 7 PROPOSED 4" CONCRETE CURB PER CIVIL
- 8 PROPOSED LANDSCAPING PER LANDSCAPE PLANS
- 9 (E) BUILDING PORTION TO BE DEMOLISHED
- 10 4' WIDE (MIN.) PATH OF TRAVEL, SHALL COMPLY WITH C.B.C. 118-401.5
- 11 2% MAX. SLOPE IN DIRECTION OF TRAVEL
- 12 2% MAX. CROSS SLOPE - SEE CIVIL DWGS
- 13 (E) SITE UTILITIES, PAINT TO BLEND WITH ADJACENT AESTHETIC
- 14 PROPOSED 12" WIDE CONCRETE CURB
- 15 INSTALL TRUNCATED DOMES PER CIRC 118-705.1
- 16 PROPOSED SITE ACCESSIBILITY SIGN
- 17 (E) TRASH LOCATION
- 18 15'x20' TAN CMU RETAINING WALL
- 19 12"x12" AND VAULT, SEE CIVIL
- 20 PROVIDE KNOX BOX AT 7'-0" ABOVE FINISHED SURFACE. LOCATION SHALL BE APPROVED BY FIRE INSPECTOR PRIOR TO INSTALLATION
- 21 PROPOSED STRIPING
- 22 PROPOSED VACUUM CANOPY FABRIC COVER
- 23 PROPOSED VACUUM E.O. ENCLOSURE, IF HIGH
- 24 IF CMU WALLS, COLOR TO MATCH DARK GRAY
- 25 PROPOSED EXT AREA WITH ROLLED CURBS, SEE CIVIL
- 26 (E) SITE WALL AND WALKWAY TO BE REMOVED, SEE CIVIL
- 27 PROPOSED CONC. SLAB FOR PRETAB CARRIER BOOTH, SEE SHEET A-2.1. NOTE: COLORS WILL MATCH THE PROPOSED BUILDING COLORS
- 28 PROPOSED PERGOLA, SEE CIVIL/LANDSCAPE DRAWINGS

PROJECT INFORMATION

SITE ADDRESS: 18651 VAN BUREN BLVD., RIVERSIDE, CA  
OWNER/APPLICANT: HIGH SAND, INC.  
ARE 14880  
18095 GREEN ORCHARD RIVERSIDE, CA 92508  
951-288-0220  
ARCHITECT: BROESKE ARCHITECTS & ASSOCIATES, INC.  
4344 LATHAM ST. #100 RIVERSIDE, CA 92501  
JAMES S. BROESKE

SITE DATA

PROJECT DESCRIPTION: EXISTING CAR WASH AND RETAIL BUILDING DEMOLITION AND REMODEL, PARKING SPACES, VACUUMS/FABRIC COVER, LANDSCAPING AND LIGHT POLES  
ASSESSOR'S PARCEL NUMBER: 266-040-047  
TOTAL SITE AREA: 31,316.1 SQ. FT. (0.719 AC.)  
GENERAL PLAN LAND USE: C - COMMERCIAL  
ZONING: CR - COMMERCIAL RETAIL  
TYPE OF CONSTRUCTION: V-B SPRAWLER  
BUILDING AREA: 2,424 S.F. INCLUDES EXISTING TO REMAIN AND NEW FACADE.  
TOTAL BUILDING F.A.R.: 0.08  
LOT COVERAGE: 98%  
LANDSCAPED AREA: 5,928.31 S.F. COVERAGE-18.93%  
PARKING: ADEQUATE PARKING PROVIDED FOR 2 EMPLOYEES @ 1 SPACE PER 2 EMPLOYEES - 1 TOTAL  
ADEQUATE STACKING OR THE CAR WASH IS PROVIDED.

SPLASH AUTO SPA  
REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

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APP.	300-000-0047
JOB NO.	18-003
DATE	4-10-2021
DRAWN BY	MA.P.
CHECKED BY	-
SCALE	AS NOTED
REVISIONS	△

SHEET TITLE

SITE PLAN

SHEET NO.

A1.1



EXISTING PHOTOS

broeske architects  
& associates, inc.  
4344 latham street, suite 100  
riverside, ca 92501-1771  
ph. (951) 300 1866  
fx. (951) 300 1868

CONSULTANTS

SPLASH AUTO SPA  
REMODEL  
18651 VAN BUREN BLVD., RIVERSIDE, CA

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COMPLETION OF THE PROJECT AND FOR ANY OTHER REASON.

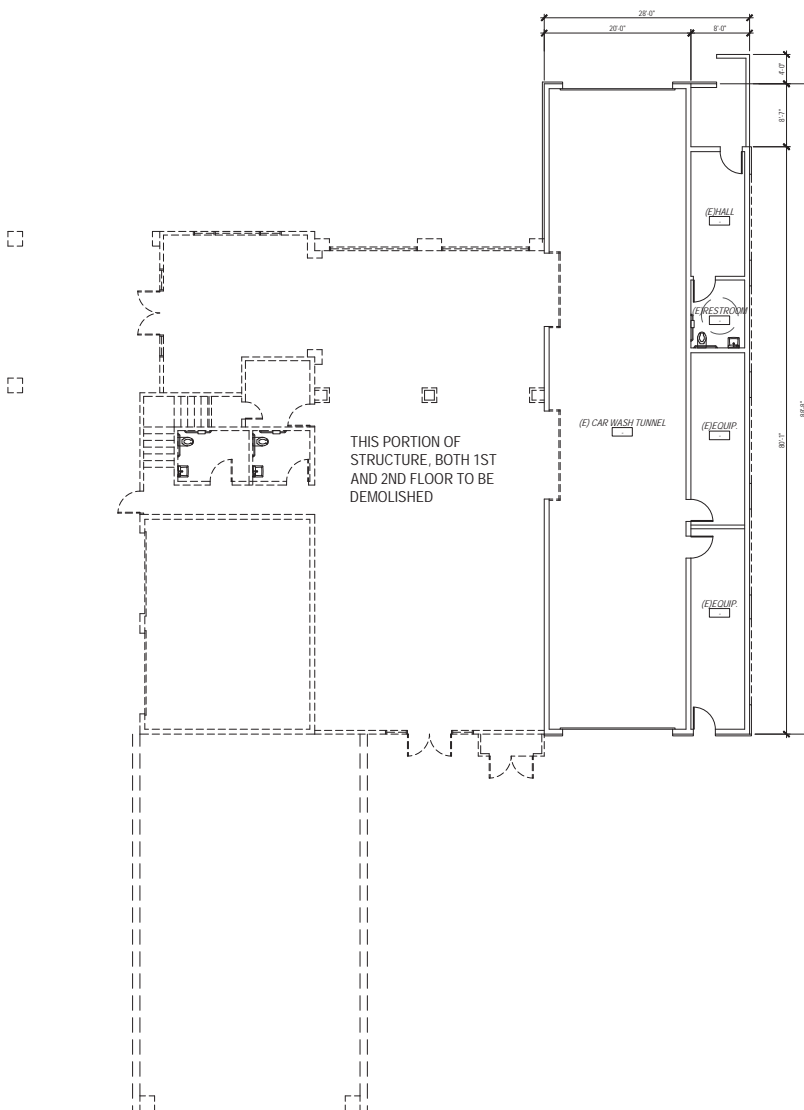
APP. ■ 300-048-047  
JOB NO. ■ 19-002  
DATE ■ 2-15-2021  
DRAWN BY ■ M.P.  
CHECKED BY ■ -  
SCALE ■  
REVISIONS △

SHEET TITLE

EXISTING PHOTOS

SHEET NO.

A1.2



EXISTING DEMOLITION FLOOR PLAN  
1/8"=1'-0"



WALL LEGEND	
<span style="border: 1px solid black; display: inline-block; width: 20px; height: 10px;"></span>	(E) WALL ITEMS TO REMAIN: PATCH & REPAIRS NEEDED
<span style="border: 1px dashed black; display: inline-block; width: 20px; height: 10px;"></span>	(E) STUD WALL ITEMS TO BE COMPLETELY DEMOLISHED U.N.O.

CONSULTANTS

**SPLASH AUTO SPA  
REMODEL**

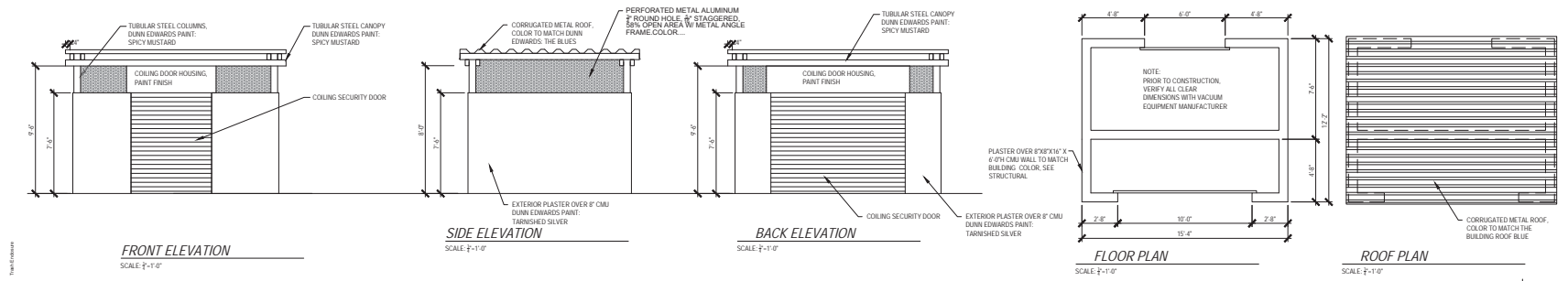
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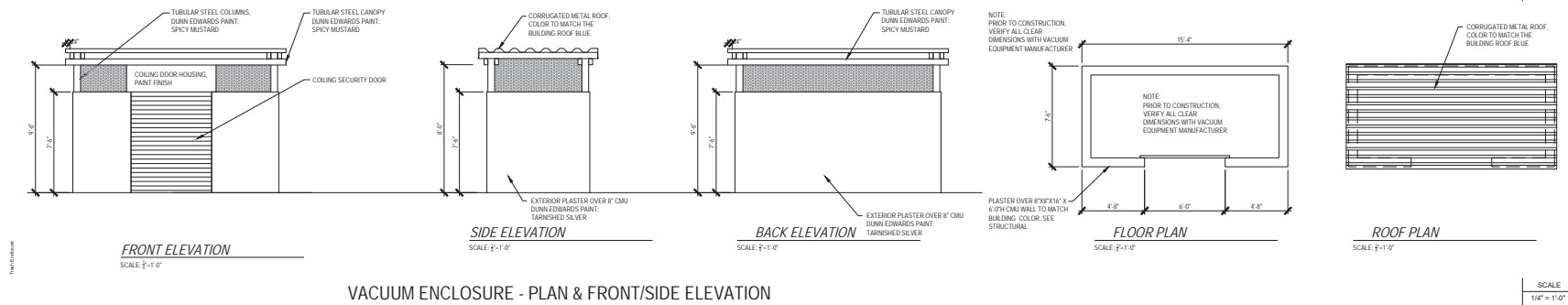
ARCH	• 300-688-0947
JOB NO.	• 19-003
DATE	• 3-10-2021
DRAWN BY	• M.P.
CHECKED BY	• -
SCALE	• AS NOTED
REVISIONS	•

SHEET TITLE	
EXISTING DEMOLITION FLOOR PLAN	
SHEET NO.	<b>A2.0</b>





VACUUM ENCLOSURE WITH MAT VENDING- PLAN & FRONT/SIDE ELEVATION



VACUUM ENCLOSURE - PLAN & FRONT/SIDE ELEVATION

CONSULTANTS

**SPLASH AUTO SPA  
REMODEL**

18651 VAN BUREN BLVD., RIVERSIDE, CA

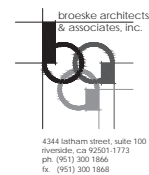
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JOB NO.	18-003
DATE	3-10-2021
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CHECKED BY	-
SCALE	AS NOTED
REVISIONS	△

SHEET TITLE  
**PROPOSED  
VACUUM/VENDING  
ENCLOSURES**


SHEET NO.

**A2.2**



**SPLASH AUTO SPA  
REMODEL**

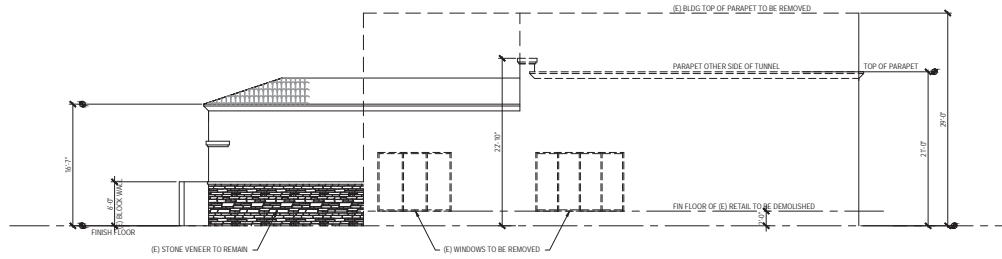
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APN	●	366-043-047
JOB NO.	●	19-022
DATE	●	3-15-2021
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CHECKED BY	●	—
SCALE	●	AS NOTED
REVISIONS 		

SHEET TITLE

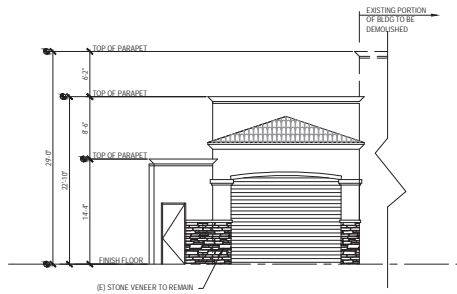
**PROPOSED  
VACUUM/VENDING  
ENCLOSURES**

## A2.2



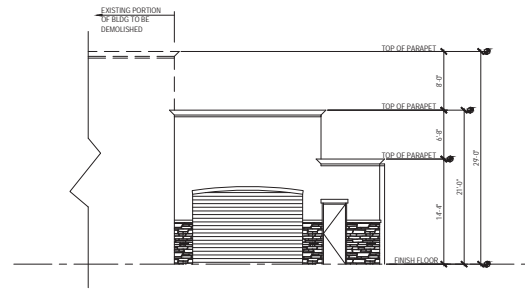
WEST EXISTING/DEMO EXTERIOR ELEVATION

1/8"=1'-0"



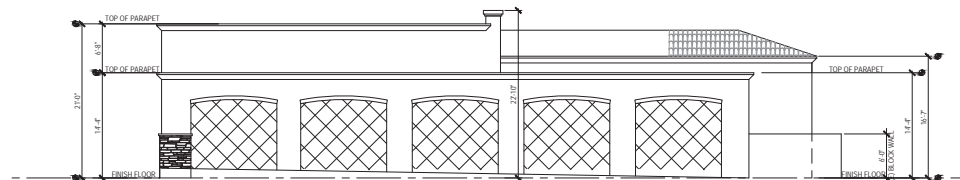
NORTH EXISTING/DEMO EXTERIOR ELEVATION

1/8"=1'-0"



SOUTH EXISTING/DEMO EXTERIOR ELEVATION

1/8"=1'-0"



EAST EXISTING/DEMO EXTERIOR ELEVATION

1/8"=1'-0"

CONSULTANTS

SPLASH AUTO SPA  
REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

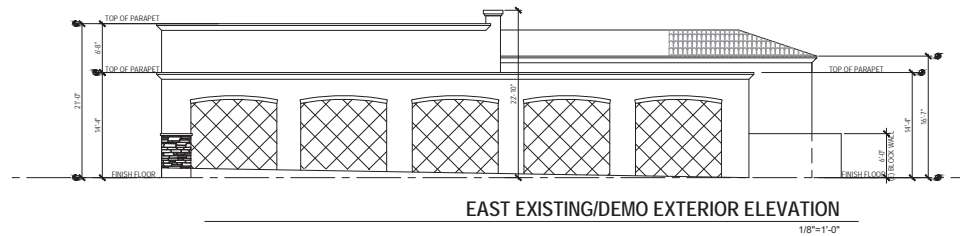
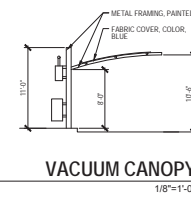
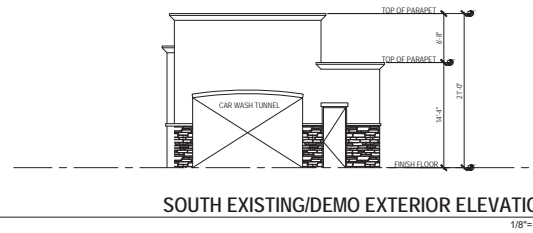
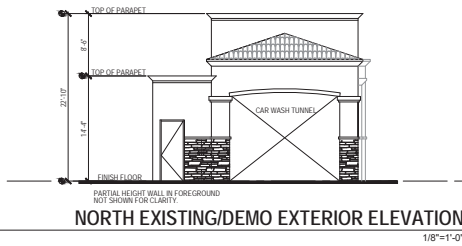
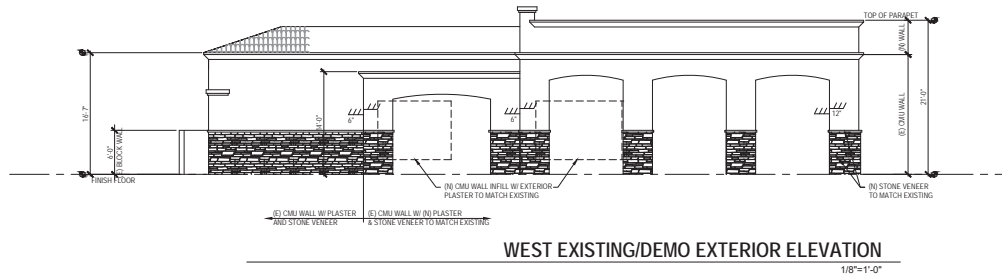
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APPN	300-000427
JOB NO.	18-003
DATE	2-15-2021
DRAWN BY	M.P.
CHECKED BY	-
SCALE	AS NOTED
REVISIONS	△

SHEET TITLE  
EXISTING/DEMO  
EXTERIOR ELEVATIONS

SHEET NO.

A3.0



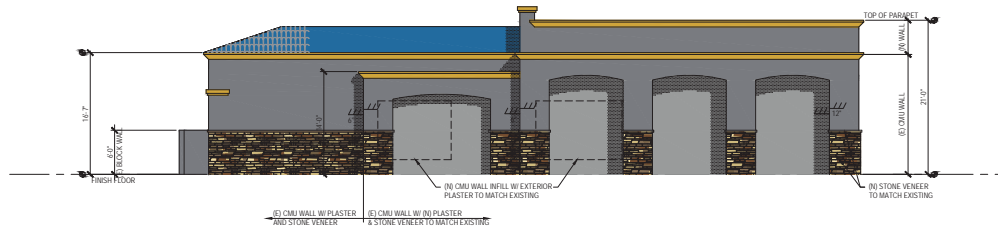
SPLASH AUTO SPA  
REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

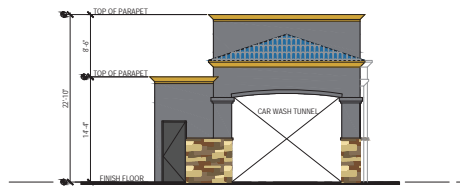
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	JOB NO: 19-002
	DATE: 2-10-2021
	DRAWN BY: M.P.
	CHECKED BY: -
	SCALE: AS NOTED
REVISIONS:	

SHEET TITLE	PROPOSED EXTERIOR ELEVATIONS
SHEET NO.	A3.1

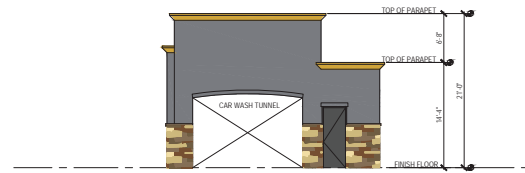




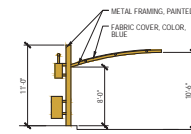
WEST EXISTING/DEMO EXTERIOR ELEVATION  
1/8"=1'-0"



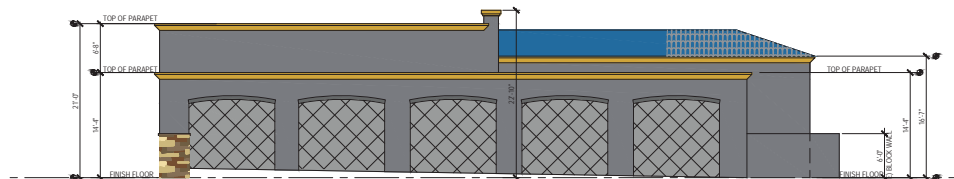
NORTH EXISTING/DEMO EXTERIOR ELEVATION  
1/8"=1'-0"



SOUTH EXISTING/DEMO EXTERIOR ELEVATION  
1/8"=1'-0"



VACUUM CANOPY  
1/8"=1'-0"



EAST EXISTING/DEMO EXTERIOR ELEVATION  
1/8"=1'-0"

## COLOR LEGEND

- STOREFRONT:  
ARCADIA DARK BRONZE
- DUNN EDWARDS PAINT:  
DEK368 - WALRUS
- DUNN EDWARDS PAINT:  
DEK395 - TARNISHED SILVER
- DUNN EDWARDS PAINT:  
DES859 - THE BLUES
- WALK DOORS/FRAMES:  
DUNN EDWARDS PAINT:  
DEK624 - COVERDOGS
- DUNN EDWARDS PAINT:  
DES384 - SPICY MUSTARD
- STONE VENEER



## CONSULTANTS

## SPLASH AUTO SPA REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

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ARCH	300-0000000
JOB NO.	18-002
DATE	2-10-2021
DRAWN BY	M.P.
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REVISIONS	△

SHEET TITLE  
PROPOSED  
EXTERIOR ELEVATIONS

SHEET NO.

A3.1



PAINT COLORS, STONE, AND ROOFING MATERIALS SHALL BE CONSISTENT WITH CAR WASH BUILDING

PROPOSED PREFAB PAY STATION PHOTOS/ELEVATIONS

CONSULTANTS

# SPLASH AUTO SPA REMODEL

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JOB NO.	18-002
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CHECKED BY	-
SCALE	AS NOTED
REVISIONS	△

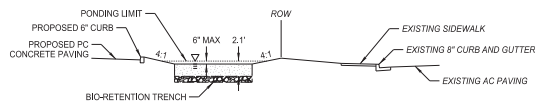
SHEET TITLE  
PROPOSED PREFAB  
PAY STATION


SHEET NO.

A3.2

FINISHED FLOOR ELEVATION.....	FFE
FINISHED GRADE .....	FG
FLOW LINE .....	FL
FINISHED SURFACE .....	FS
GRADE BREAK .....	G8
TOP OF CURB .....	TC
TYPICAL .....	TYP

EXISTING PROPERTY BOUNDARY	
EXISTING LOT LINE	
EXISTING RIGHT-OF-WAY LINE	
EXISTING INDEX CONTOUR	100
EXISTING INTERMEDIATE CONTOUR	99
EXISTING STRUCTURE	
EXISTING CONCRETE	
EXISTING CURB	
EXISTING ELECTRIC	E
EXISTING SEWER	S
EXISTING STORM DRAIN	SD
EXISTING WATER	W
EXISTING ELECTRIC VAULT	EVL
EXISTING FIRE DEPARTMENT CONNECTION	FDC
EXISTING FIRE HYDRANT	FH
EXISTING IRRIGATION BOX	IRB
EXISTING LIGHT POLE	LP
EXISTING POWER POLE	PP
EXISTING SEWER CLEANOUT	SCO
EXISTING SEWER MANHOLE	SMH
EXISTING SIGN	S
EXISTING STORM DRAIN GRATE INLET	DI
EXISTING TELEPHONE RISER	TR
EXISTING TREE	T
EXISTING WATER METER	WM
PROPOSED CURB	
PROPOSED GUTTER	
PROPOSED BUILDING	
PROPOSED ADA PATH OF TRAVEL	
EXISTING ELEVATION	37.50
EXISTING GRADIENT AND DIRECTION	2.00%
PROPOSED ELEVATION	27.50
PROPOSED GRADIENT AND DIRECTION	2.00%
PROPOSED BIO-RETENTION TRENCH	
PROPOSED CONCRETE PAVEMENT	
PROPOSED LANDSCAPE AREA	



 SECTION

# IN THE CITY OF RIVERSIDE, CALIFORNIA

## PRELIMINARY DEMOLITION PLAN

### HARB GROUP INC 2 SPLASH AUTO SPA REMODEL

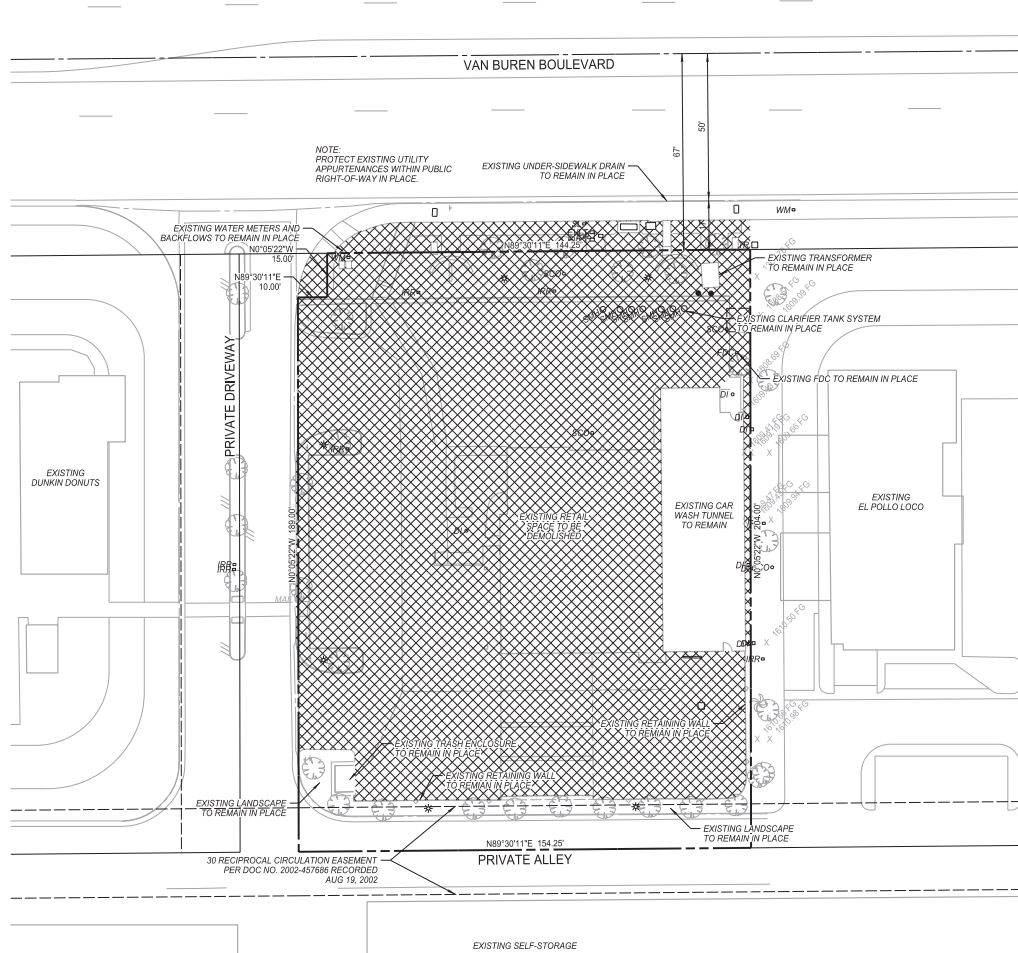
SHEET 1 OF 1

#### ABBREVIATIONS

FINISHED FLOOR ELEVATION	FFE
FINISHED GRADE	FG
FLOW LINE	FL
FINISHED SURFACE	FS
GRADE BREAK	GB
TOP OF CURB	TC
TYPICAL	TYP

#### LEGEND

EXISTING PROPERTY BOUNDARY	---
EXISTING LOT LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING INDEX CONTOUR	100
EXISTING INTERMEDIATE CONTOUR	99
EXISTING STRUCTURE	---
EXISTING CONCRETE	---
EXISTING CURB	---
EXISTING ELECTRIC	---
EXISTING SEWER	---
EXISTING STORM DRAIN	---
EXISTING WATER	---
EXISTING ELECTRIC VAULT	EVL
EXISTING FIRE DEPARTMENT CONNECTION	FDC
EXISTING FIRE HYDRANT	---
EXISTING IRRIGATION BOX	IRB
EXISTING LIGHT POLE	---
EXISTING POWER POLE	---
EXISTING SEWER CLEANOUT	SCO
EXISTING SEWER MANHOLE	SMH
EXISTING SIGN	---
EXISTING STORM DRAIN GRATE INLET	DI
EXISTING TELEPHONE RISER	TR
EXISTING TREE	---
EXISTING WATER METER	---
DEMOLITION LIMITS	XXXXXX



#### OWNER/APPLICANT/DEVELOPER

HARB GROUP INC. 2  
18051 VAN BUREN BOULEVARD  
RIVERSIDE, CA 92508  
ALI HARB  
(951) 214-3333

#### ENGINEER/CONTACT PERSON

THIS PLAN WAS PREPARED UNDER THE DIRECTION OF MARTEN L. ANDERSON, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

MARTEN L. ANDERSON  
RCE 51313, EXPIRES 6-30-22  
MTH ENGINEERING, INC.  
639 LAKEWOOD DRIVE  
RIVERSIDE, CA 92506  
(951) 850-2190  
CITY BUSINESS TAX CERTIFICATE NO. 1239159 EXPIRES FEB 28, 2021

15-FEB-2021  
DATE



#### LEGAL DESCRIPTION

PARCEL PER CITY OF RIVERSIDE CERTIFICATE OF COMPLIANCE LOT LINE ADJUSTMENT NO. LL-031-889 RECORDED JULY 2, 1999 AS DOCUMENT NO. 1999-296941 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CA

#### ASSESSOR'S PARCEL NUMBER

266-040-547

#### BASIS OF BEARINGS

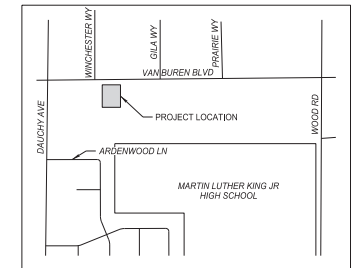
THE BASIS OF BEARINGS SHOWN IS THE CENTERLINE OF VAN BUREN BLVD SHOWN AS N89°30'11"E PER PARCEL MAP NO 28543, BOOK 191, PAGES 60 AND 61 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

#### BENCHMARK

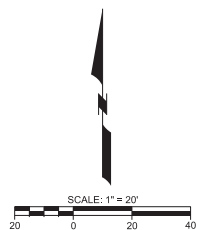
CITY OF RIVERSIDE BENCHMARK E8-G3  
PIN NAIL AND CITY ENGINEER TAG IN THE TOP OF THE SIDEWALK OVER THE EASTERLY WALL OF A CATCH BASIN ALONG THE SOUTHERLY CURB OF VAN BUREN BLVD AND 700 FEET EASTERLY OF WOOD ROAD  
ELEV 1644.955 (NAVD 83) MAR, 2000

#### SITE ADDRESS

18051 VAN BUREN BOULEVARD  
RIVERSIDE, CA 92508



VICINITY MAP  
NOT TO SCALE



**MTH2**  
639 Lakewood Drive  
Riverside, CA 92506  
(951) 850-2190  
www.mth2engineering.com  
civil • water resources • storm water  
urban design and planning

COMPILED: Engineering2020\_10 Van Buren CM2020\_10.mxd 07 Preliminary Demo Plan.dgn

JOB 2020\_10 PLOTTED: 15-FEB-2021

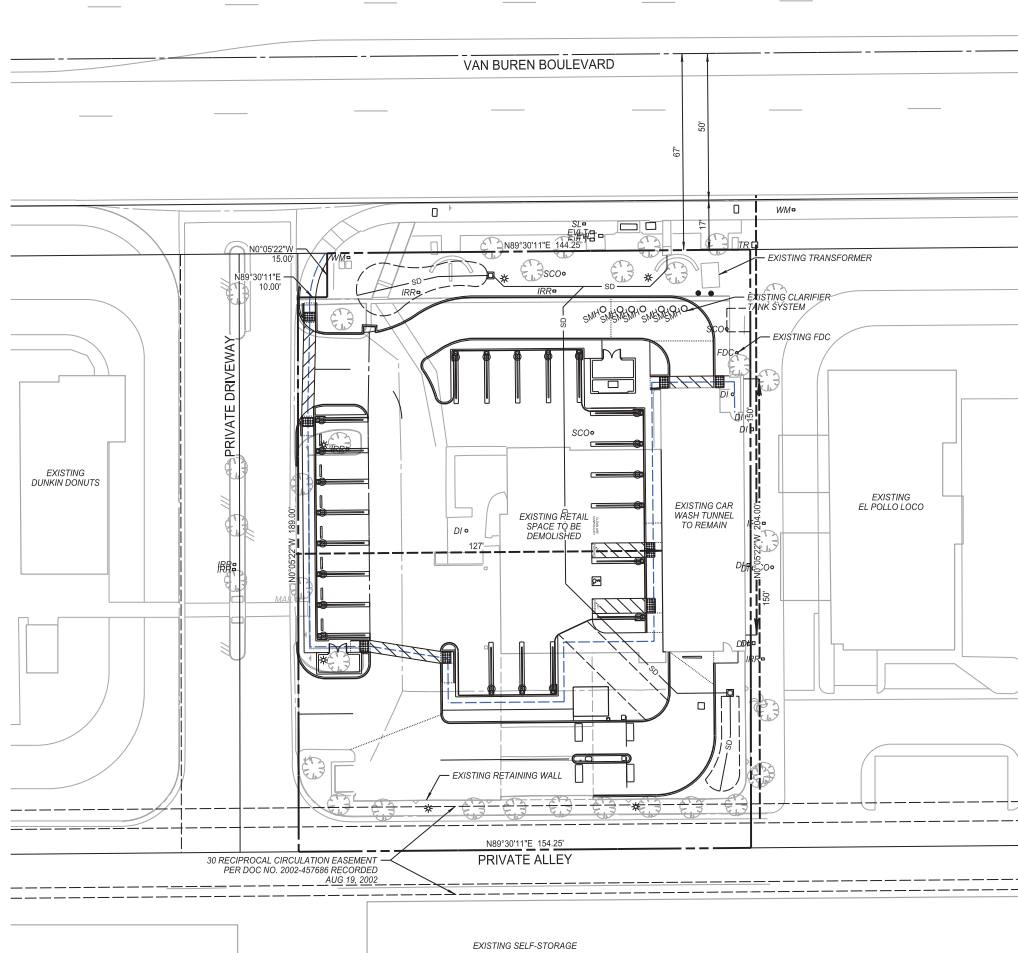
IN THE CITY OF RIVERSIDE, CALIFORNIA  
**FIRE ACCESS**  
 HARB GROUP INC 2  
 SPLASH AUTO SPA REMODEL

**ABBREVIATIONS**

FINISHED FLOOR ELEVATION	FFE
FINISHED GRADE	FG
FLOW LINE	FL
FINISHED SURFACE	FS
GRADE BREAK	GB
TOP OF CURB	TC
TYPICAL	TYP

**LEGEND**

EXISTING PROPERTY BOUNDARY	---
EXISTING LOT LINE	---
EXISTING RIGHT-OF-WAY LINE	---
EXISTING INDEX CONTOUR	100
EXISTING INTERMEDIATE CONTOUR	99
EXISTING STRUCTURE	---
EXISTING CONCRETE	---
EXISTING CURB	---
EXISTING ELECTRIC	---
EXISTING SEWER	S
EXISTING STORM DRAIN	SD
EXISTING WATER	W
EXISTING ELECTRIC VAULT	EVL
EXISTING FIRE DEPARTMENT CONNECTION	FDC
EXISTING FIRE HYDRANT	+
EXISTING IRRIGATION BOX	IRB
EXISTING LIGHT POLE	*
EXISTING POWER POLE	+
EXISTING SEWER CLEANOUT	SCO
EXISTING SEWER MANHOLE	SMH
EXISTING SIGN	I
EXISTING STORM DRAIN GRATE INLET	DI
EXISTING TELEPHONE RISER	TR
EXISTING TREE	WM
EXISTING WATER METER	WM



**OWNER/APPLICANT/DEVELOPER**

HARB GROUP INC. 2  
 18051 VAN BUREN BOULEVARD  
 RIVERSIDE, CA 92508  
 ALL HARB  
 (951) 214-2333

**ENGINEER/CONTACT PERSON**

THIS PLAN WAS PREPARED UNDER THE DIRECTION OF MARTIN L. ANDERSON, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

MARTIN L. ANDERSON  
 RCE 51313, EXPIRES 6-30-22  
 MTH ENGINEERING, INC.  
 639 LAKEWOOD DRIVE  
 RIVERSIDE, CA 92506  
 (951) 850-2190

DATE  
 15-FEB-2021



**CITY BUSINESS TAX CERTIFICATE NO. 1239159 EXPIRES FEB 28, 2021**

**LEGAL DESCRIPTION**

PARCEL C PER CITY OF RIVERSIDE CERTIFICATE OF COMPLIANCE LOT LINE ADJUSTMENT NO. LL-031-889 RECORDED JULY 2, 1999 AS DOCUMENT NO. 1999-296941 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CA

**ASSESSOR'S PARCEL NUMBER**

266-040-547

**BASIS OF BEARINGS**

THE BASIS OF BEARINGS SHOWN IS THE CENTERLINE OF VAN BUREN BLVD SHOWN AS N89°30'11"E PER PARCEL MAP NO 28543, BOOK 191, PAGES 60 AND 61 OF PARCEL MAPS IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

**BENCHMARK**

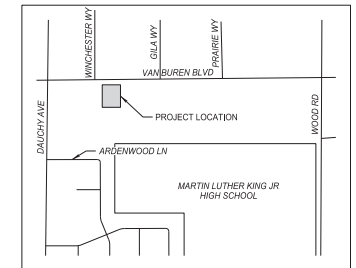
CITY OF RIVERSIDE BENCHMARK E8-G3  
 PER NAIL AND CITY ENGINEER TAG IN THE TOP OF THE SIDEWALK OVER THE EASTERLY WALL OF A CATCH BASIN ALONG THE SOUTHERLY CURB OF VAN BUREN BLVD AND 700 FEET EASTERLY OF WOOD ROAD  
 ELEV 1644.955 (NAVD 83) MAR, 2000

**SITE ADDRESS**

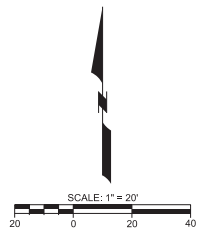
18051 VAN BUREN BOULEVARD  
 RIVERSIDE, CA 92508

**NOTES**

1. THE PRIVATE ACCESS DRIVE AND PRIVATE ALLEY ARE CAPABLE OF SUPPORTING A FIRE TRUCK OF 80,000 LBS.
2. THE EXISTING BUILDING AND PROPOSED SITE IMPROVEMENTS ARE WITHIN 150' MAX HOSE PULL FROM VAN BUREN BOULEVARD. THE PRIVATE DRIVEWAY, OR PRIVATE ALLEY AS SHOWN BY THE DIMENSIONS HERE ON.



**VICINITY MAP**  
 NOT TO SCALE



**MTH2**  
 639 Lakewood Drive  
 Riverside, CA 92506  
 (951) 850-2190  
 www.mth2engineering.com  
 civil • water resources • storm water  
 urban design and planning

COMTH2Engineering2020\_10 Van Buren CM2020\_10e06 Fire Access.dgn

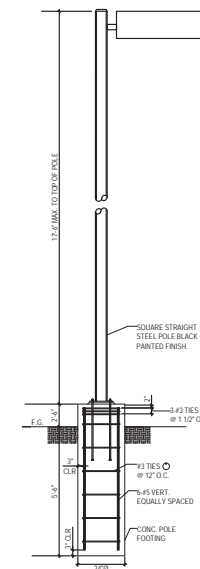
JOB 2020\_10 PLOTTED: 15/FEB/2021



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SITE PHOTOMETRIC PLAN  
SCALE 1"=10'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Entrance Driveway	+	1.9 f	3.5 f	1.0 f	3.5:1	1.9 f
Exit Driveway	+	2.4 f	6.7 f	1.0 f	6.7:1	2.4 f
Vacuum Entrance	+	5.2 f	18.3 f	1.6 f	11.4:1	3.3 f
Vacuum Parking North	+	14.1 f	20.7 f	7.1 f	2.9:1	2.0 f
Vacuum Parking East	+	12.3 f	19.2 f	3.7 f	5.2:1	3.3 f
Vacuum Parking South	+	12.0 f	18.6 f	4.4 f	4.2:1	2.7 f
Vacuum Parking West	+	14.5 f	19.8 f	7.5 f	2.6:1	1.9 f



- CONCRETE NOTE: (MIN. REQUIREMENT)
1. ALL CONCRETE SHALL CONFORM TO 2019 CBC.
  2. CEMENT SHALL CONFORM TO A.S.T.M. (C-150) TYPE II / V
  3. MINIMUM CONCRETE COMPRESSIVE STRENGTHS AT 28 DAYS (MAX WATER/CEMENT RATIO = .45 & MAX. SLUMP=4") SHALL BE AS FOLLOWS:  
FOUNDATION.....3000 PSI (NORMAL WEIGHT)



broeske architects  
& associates, inc.

4344 latham street, suite 100  
riverside, ca 92501-1773  
ph. (951) 300 1866  
fx. (951) 300 1868



YOWANTO ENGINEERING, INC.  
2705 TOWNE AVE., #C  
POMONA, CA 91767  
909-626-6291

## CONSULTANTS

# SPLASH AUTO SPA REMODEL

18651 VAN BUREN BLVD., RIVERSIDE, CA

THIS DRAWING AND THE DESIGNS, ARRANGEMENTS, DEPICTIONS, IDEAS AND OTHER INFORMATION CONTAINED HEREIN CONSTITUTE UNPUBLISHED WORK OF BRODSKE ARCHITECTS & ASSOCIATES, INC. AND SHALL REMAIN PROPERTY OF BRODSKE ARCHITECTS & ASSOCIATES, INC. IN PERPETUITY. NO PART THEREOF SHALL BE REPRODUCED, COPIED, DISCLOSED, DISTRIBUTED, SOLD, BELTIED OR OTHERWISE USED IN ANY MANNER WITHOUT THE ADVANCE WRITTEN CONSENT OF BRODSKE ARCHITECTS & ASSOCIATES, INC. IN WRITING. CONTACT WITH THE ABOVE DRAWINGS, OR ANY PART THEREOF, SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

APN	●	266-040-047
JOB NO.	●	19-022
DATE	●	11-04-2020
DRAWN BY	●	IV
CHECKED BY	●	--
SCALE	●	
REVISIONS	▲	

SCALE ●

REVISIONS ▲

1. *Journal of the American Medical Association*, 1997; 278: 1039-1044.

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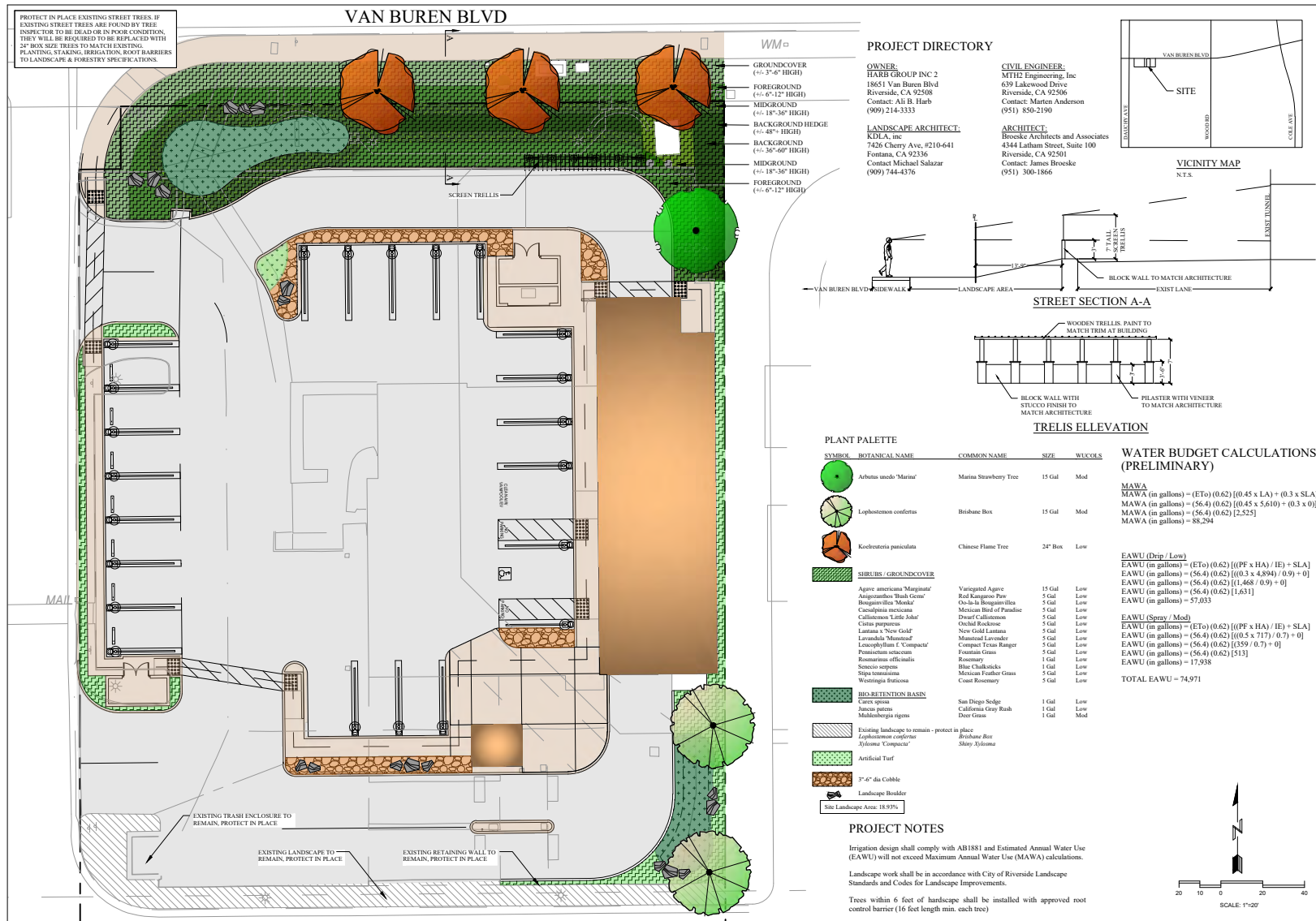
\_\_\_\_\_



SHEET TITLE

SITE PHOTOMETRIC PLAN

SHEET NO. \_\_\_\_\_

### E1.1C



CLIENT / OWNER	
Harb Group Inc 2 Mr. Ali B. Harb 18651 Van Buren Blvd Riverside, CA 92508 (909) 214-3333	
LANDSCAPE ARCHITECT	
	<b>KDIA, Inc</b> Korlander Design Landscape Architect 7426 Cherry Avenue #100-641 Fontana, CA 92336 909.744.4376
SEAL	
	
PROJECT INFORMATION	
PROJECT NAME	<b>SPLASH AUTO SPA REMODEL</b> 18651 Van Buren Boulevard Riverside, CA
PROJECT DESCRIPTION	Preliminary Landscape Plan
REVISIONS	

November 7, 2020

Planning Department  
City of Riverside

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Re: Proposed Car Wash Renovation  
Splash Car Wash  
18651 Van Buren Blvd. Riverside CA 92508

Dear Mr / Mrs :

We propose an upgrade to our existing facility located at 18651 Van Buren Blvd. in order to modernize and bring the operation of the business current with similar car wash neighboring improvements. We intend to place new facades on the building, adding covered vacuums on both existing parking stalls and adding new parking / vacuums stalls in place of large section of the building improving the parking to ratio as well as the flow of traffic on the site. We also seek to develop new signage as well as upgrade existing and add water wise landscaping throughout the facility.

We are intending on spending a significant amount of money to modernize and enhance our facilities, adding value to our own as well as to the city's image. Having a single use property (building as is the case with car washes) presents a challenge, so we have taken extra steps and look to absorb additional costs while redesigning the facility to meet all of the city's requirements and achieve our goals.

Our goal is to create a first-class, attractive modern facility to service the existing customers and attract new ones. Patrons will be able to comfortably utilize the new fabric covered vacuums conforming to the new modern concept for express car washes being built across Southern California.

The existing Facility, streetscape, and landscape will be renovated and rejuvenated. The proposed upgrades will include:

- Great contemporary design
- First class materials
- Conformity with the appearance of the current community and commercial designs.

This is an existing car wash in a GC Neighborhood Commercial zone. The proposed changes to the building have no effect on the current use of the property. The current use of the property and its occupants will remain the same with no changes. The current ingress and egress to the



property will remain the same with no changes as well. The new site plan will show, the tunnel direction and traffic flow will remain the same the added parking stalls will improve the circulation on the site in a positive way as well as a positive increase in the width of some of the drive aisles for ease of movement for both the patrons as well as meeting the new requirements by the city and its various departments.

We appreciate the city's business/development friendly position and look forward to renovating and maintaining a healthy business providing services and Jobs to local residents for almost the past 2 decades. We will maintain a 7 days per week operation with hours from 7 am to 9 pm in the summer and adjusted in the winter depending on business needs. We will be adding self-serve vacuums for customers to use in the designated finishing stalls after the wash. The car wash will be upgraded with state of the art new equipment inside the tunnel and in the vacuum stalls described above.

Tunnel Equipment manufacturer is - Motor City Wash Works out of Wixom Michigan –  
For additional information please visit their website at: <https://www.motorcitywashworks.com>

The Vacuum equipment manufacturer is – Vacutech out of Sheridan Wyoming-  
For additional information please visit their website at: <https://vacutechllc.com>

The renovated design truly embraces the feel of the community through its complementary characteristics.

In conclusion, we hope the city is as eager and excited as we are and supports our project.

Thank you

Ali Harb