

SITE PLAN

SCALE : 1"=20'

DRAWING INDEX

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PROJECT DATA

PROJECT OWNER
BETHESDA REVIVAL CENTER
16681 WOOD ROAD
RIVERSIDE, CA 92508
PHONE: (909) 709-9433

PROJECT ADDRESS :
16681 WOOD ROAD
RIVERSIDE, CA 92508

PROJECT LEGAL DESCRIPTION
APN # 266-090-017-7
LOT # 17
BOOK # 266
PAGE # 09

PROJECT LOT SIZE
0.61 ACRES
100' X 266' (26,600 SQ. FT.)

LOT COVERAGE :

50% LOT COVERAGE = 26,600 / 50% = 13,300 SQ. FT.
EXISTING CHURCH BUILDING 1,720 SQ. FT. + 960 SQ. FT. FIRST PHASE
+ 960 SQ. FT. SECOND PHASE = 3,640 SQ. FT. < 13,300 SQ. FT.

BUILDING ALLOWABLE AREA ANALYSIS :

CBC ALLOWABLE AREA 9,000 SQ. FT. FOR "B" OCCUPANCY
ALLOWABLE AREA 9,500 SQ. FT. FOR "E" OCCUPANCY
TOTAL ALLOWABLE AREA FOR "E" & "B" 9,500 SQ. FT. + 9,000 SQ. FT. = 18,500
EXISTING CHURCH 1,720 SQ. FT. + PROPOSED 1,920 SQ. FT. = 3,640 SQ. FT. < 18,500

OCCUPANCY :

CHURCH AND SUNDAY SCHOOL "E / B"

CONSTRUCTION TYPE :
V-B

OCCUPANT LOAD :

EXISTING CHURCH BUILDING 70 OCCUPANT
PROPOSED 2-24 X 40 = 1,920 / 100 = 19 OCCUPANT
TOTAL NUMBER OF OCCUPANT = 70 + 19 = 89 OCCUPANT

PARKING ANALYSIS :

EXISTING MAIN ASSEMBLY AREA OF THE CHURCH IS 675 SQ. FT.
675 / 11 SPACE PER 30 SQ. FT. = 22.5 = 23
REQUIRED PARKING STALL
NEW ACCESSIBLE PARKING STALL PROVIDED 2
NEW STANDARD PARKING STALL PROVIDED 21
TOTAL PARKING STALLS PROVIDED 23

PROJECT TEAM

ARCHITECTURAL
KEN AGHAROKH AND ASSOCIATES
24544 SUNSHINE DRIVE
LAGUNA NIGUEL, CA 92677
PHONE: (949) 463-3396
EMAIL: kaganda@aol.com

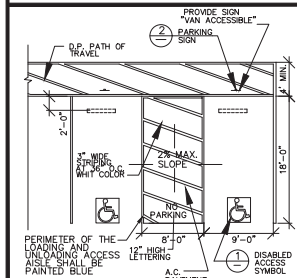
LANDSCAPE ARCHITECT

STUDIO FIVE
470 WALD
IRVINE, CA 92618
PHONE: (949) 450-0056
PHONE: (949) 450-0051
EMAIL: keno@studiofiveandarch.com

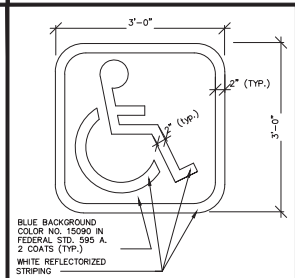
CIVIL ENGINEER
INLAND EMPIRE SURVEY & ENGINEERING INC.
41146 ELM STREET SUITE "G"
MURRIETA, CA 92562
PHONE: (951) 698-1830
EMAIL: apaulsen@esurveyandeng.com

ELECTRICAL ENGINEER

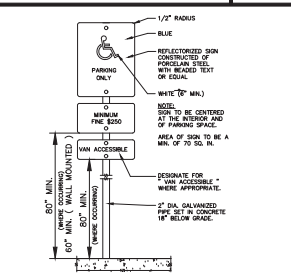
JOSEPH NASR ENGINEERING, INC.
1411 NORTH BATAVIA STREET, SUITE 220
ORANGE, CA 92667
PHONE: (714) 289-2821
EMAIL: nasrj@esglobal.net



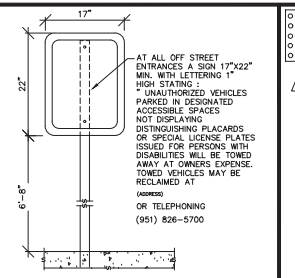
DISABLED ACCESS PARKING (A) NOT TO SCALE



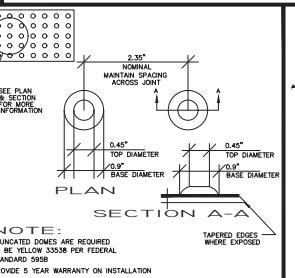
DISABLED ACCESS SYMBOL (1) NOT TO SCALE



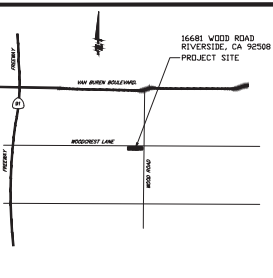
VAN PARKING SPACE SIGNAGE (2) NOT TO SCALE



DISABLED ACCESS SIGN (3) NOT TO SCALE



TRUNCATED DOME SPACING DETAIL (4)



VICINITY MAP

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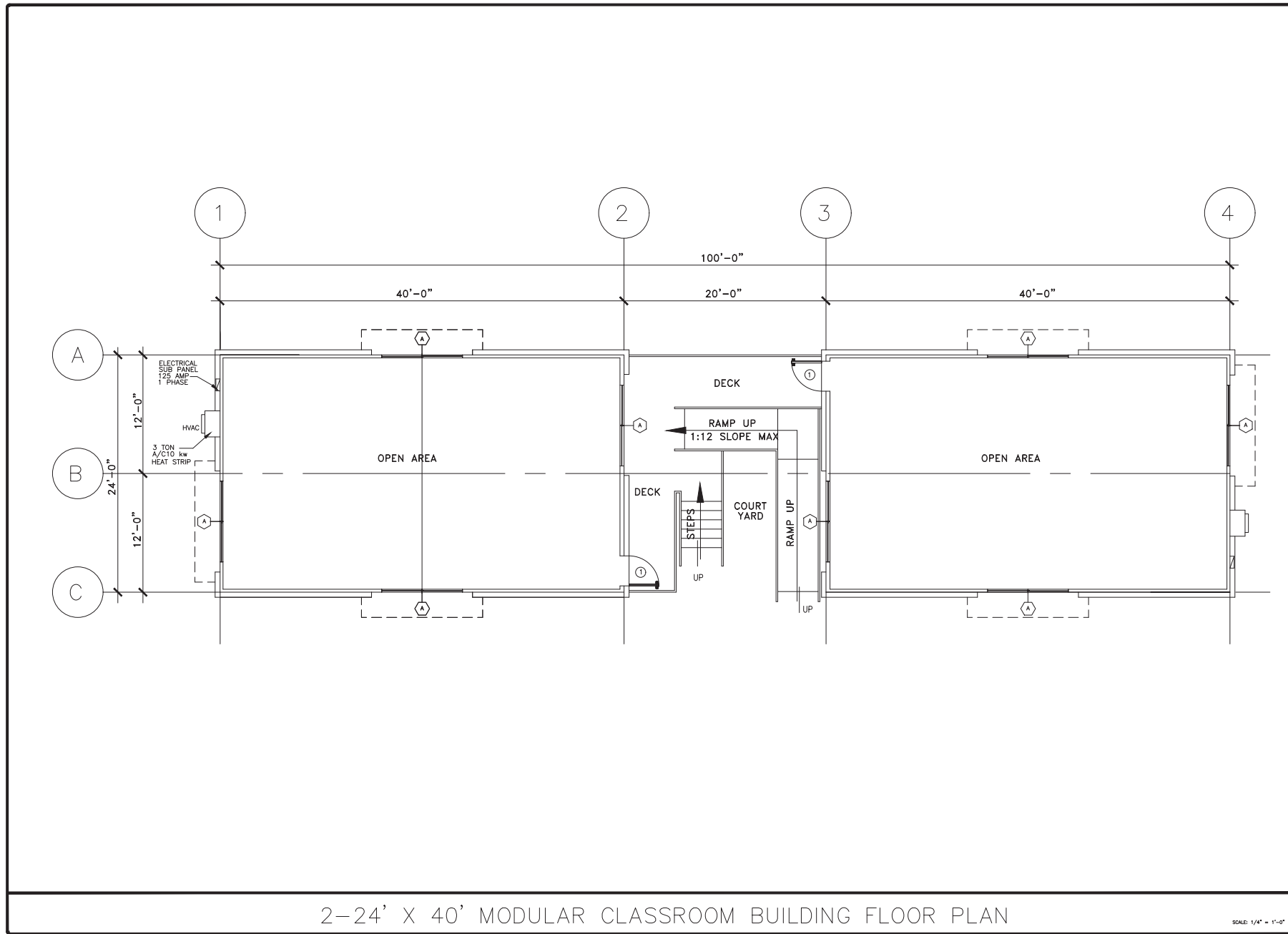
ARCHITECTS / PLANNERS
KEN AGHAROKH AIA
24544 SUNSHINE DRIVE LAGUNA NIGUEL, CA 92677
E-MAIL: KAGANDA@AOL.COM

BETHESDA REVIVAL CENTER
MODULAR CLASSROOM BUILDING PROJECT
16681 WOOD ROAD
RIVERSIDE, CA 92508
SITE PLAN

DATE: 03/27/2021
SCALE: 1" = 20'
DRAWN BY: K.A.
CHECKED BY: K.A.

PROJECT NO.
A-104-2019

SHEET NO.
A-0.0



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 10000 BAYVIEW BLVD., SUITE 100
 RIVERSIDE, CA 92508
 PHONE: (951) 463-5396
 EMAIL: KANDABAO@GMAIL.COM

BETHESDA REVIVAL CENTER
 MODULAR CLASSROOM BUILDING PROJECT
 RIVERSIDE, CA 92508

2-24' X 40' MODULAR CLASSROOM BUILDING FLOOR PLAN

DATE: 03 / 03 / 2021
 SCALE: AS SHOWN
 DRAWN BY: K.A.
 CHECKED BY: K.A.

PROJECT NO.
 A-104-2019

SHEET NO.
 A-1.0

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REGISTERED ARCHITECT
STATE OF CALIFORNIA
NO. 10000
K. A. A.

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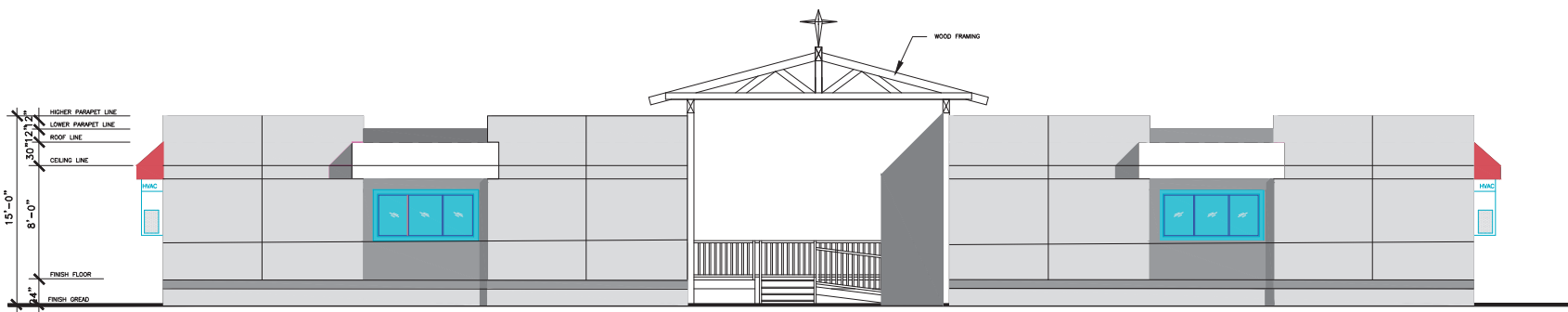
KEN AGHAROKH AIA
 ARCHITECTS / PLANNERS
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 PHONE: (301) 463-3396
 E-MAIL: KAANDAR@AIA.COM

BETHESDA REVIVAL CENTER
 MODULAR CLASSROOM BUILDING PROJECT
 16681 WOOD ROAD
 BETHESDA, MD 20814
 2-24' X 40' MODULAR CLASSROOM BUILDING COLORED NORTH, SOUTH, EAST & WEST & COURT YARD ELEVATIONS

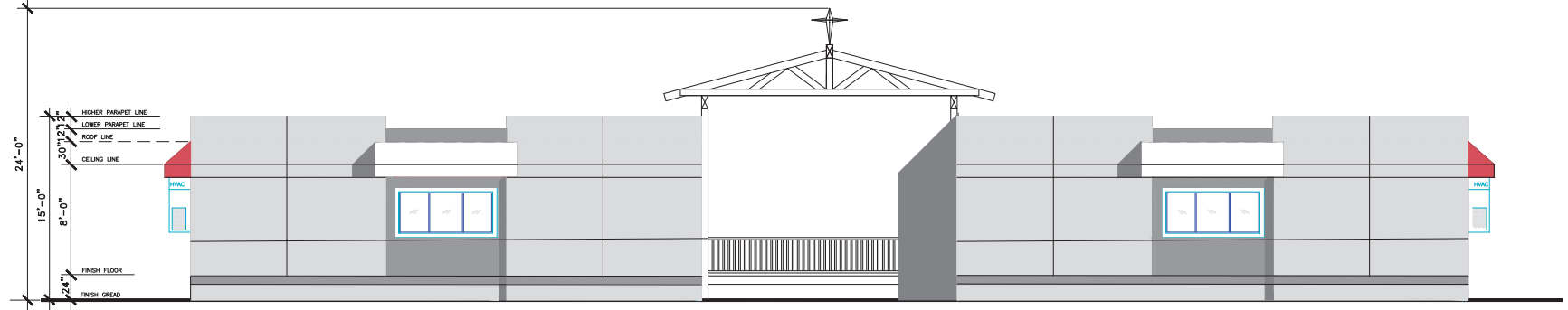
DATE: 03 / 03 / 2021
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 DRAWN BY: K.A.A.
 CHECKED BY: K.A.A.

PROJECT NO.
 A-104-2019

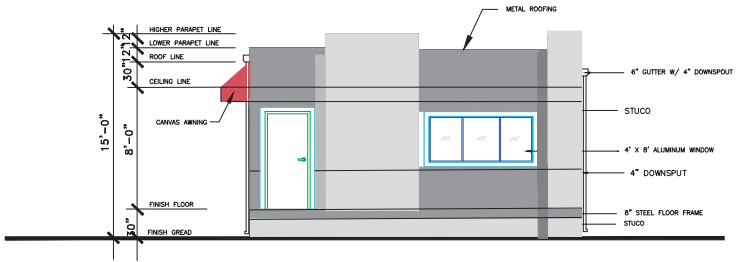
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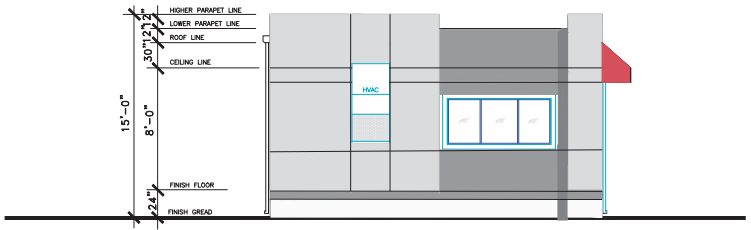
2-24' X 40' MODULAR BUILDING NORTH (FRONT) ELEVATION



2-24' X 40' MODULAR BUILDING SOUTH (REAR) ELEVATION



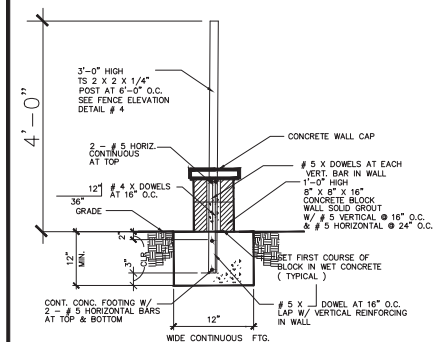
COURT YAED ELEVATION



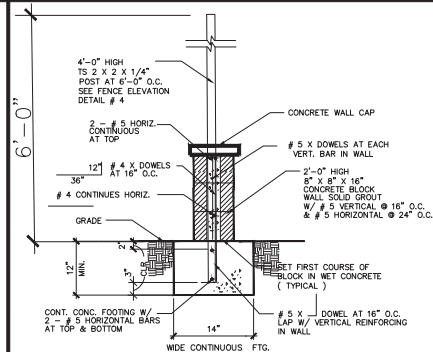
EAST AND WEST ELEVATIONS

SCALE: 1/4" = 1'-0"

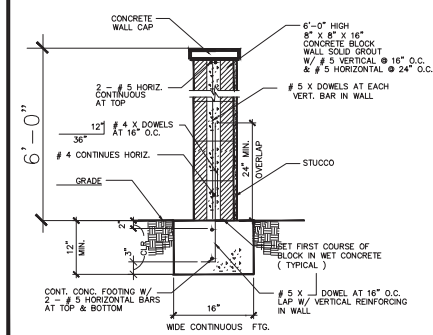
MATERIAL	COLOR	CHART
		ROOFING : " GALVANIZED SHEET METAL COLOR : DUNN-EDWARDS SILVER LAKE # DE6379
		EXTERIOR MAIN BODY : STUCCO COLOR : DUNN-EDWARDS HEIRLOOM # DEW 395
		EXTERIOR ACCENT BODY : STUCCO COLOR : DUNN-EDWARDS SMOKY MOUNTAIN # DE388
		FENCE & HANDRAILS : METAL COLOR : DUNN-EDWARDS ABSTRACT WHITE # DE6232
		AWNING : CANVASS COLOR : DUNN-EDWARDS ANTIQUE ROSE # DEC702
		WINDOW FRAMES : FIBERGLASS COLOR : DUNN-EDWARDS ABSTRACT WHITE # DE6232
		EXTERIOR DOORS : STEEL COLOR : DUNN-EDWARDS ANTIQUE ROSE # DEC702



NEW FENCE DETAIL AT NORTH & EAST
SIDE ON THE NEW PROPERTY LINE



EXISTING FENCE DETAIL AT SOUTH SIDE
ON THE EXISTING PROPERTY LINE



NEW CONCRETE WALL DETAIL AT WEST
SIDE ON THE EXISTING PROPERTY LINE

NEW CONCRETE WALL DETAIL AT WEST
SIDE ON THE EXISTING PROPERTY LINE



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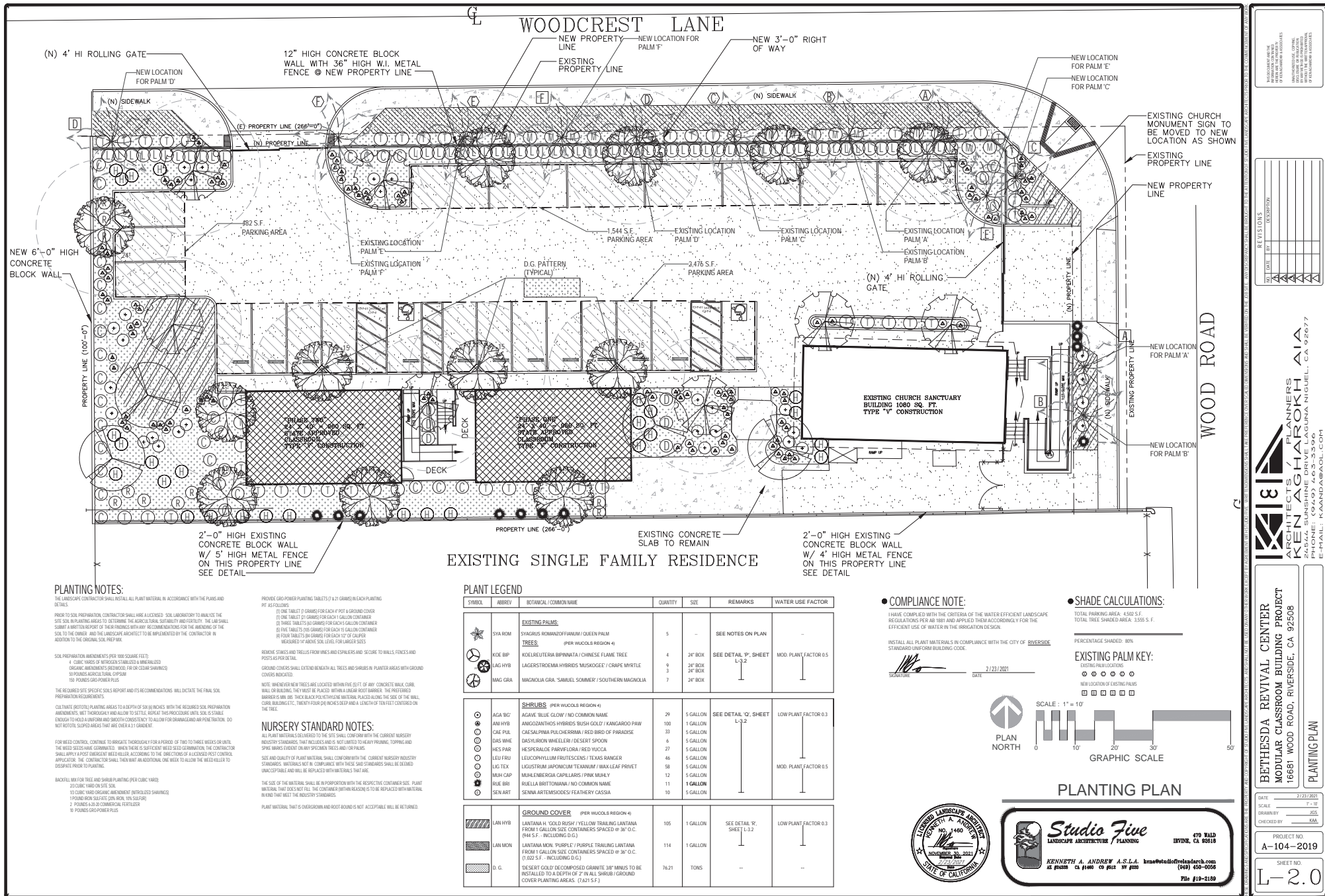
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BETHESDA REVIVAL CENTER
MODULAR CLASSROOM BUILDING PROJECT
16681 WOOD ROAD
RIVERSIDE, CA 92508

DATE 03 / 03 / 2021
SCALE AS SHOWN
DRAWN BY K.A.
CHECKED BY K. A.

PROJECT NO.
A-104-2019

SHEET NO.
C-1.0



PRECISE GRADING PLAN
APN 266-090-017
CITY OF RIVERSIDE, RIVERSIDE CO., CALIFORNIA

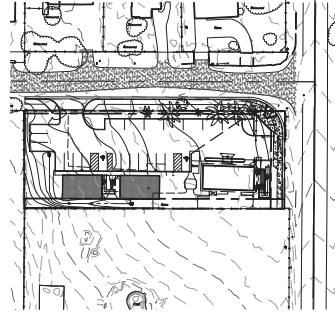
LEGEND	
	TREE
	PALM
	SHRUB
	WATER METER BOX
	WATER VALVE
	WATER SERVICE
	GAS METER BOX
	SEWER CLEAN OUT
	TOP OF DIKE
	ASPHALT CONCRETE
	NO ACCESS PER ITEM C
	WATER BLOW OFF
	FIRE HYDRANT
	MANHOLE
	STORM DRAIN
	LIGHT STANDARD
	TYPICAL
	OUTSIDE DIAMETER
	EDISON VAULT
	WATER VAULT
	TELEPHONE VAULT
	IRRIGATION CONTROL VALVE
	ELECTRIC RISER
	SIGN
	TRAFFIC VAULT
	TRAFFIC BOX
	POWER POLE
	A.V.A.R.
	ANCHOR
	SEWER RISER
	GAS VALVE
	DRAIN
	ELECTRIC BOX
	COMMUNICATION RISER
	AC PAVEMENT
	BLOCK WALL
	WOOD FENCE
	FINISHED FLOOR ELEVATION
	PAD ELEVATION
	HIGH POINT
	GRADE BREAK
	FLOW LINE
	CENTERLINE
	PROPERTY LINE
	2:1 SLOPE (UNLESS OTHERWISE NOTED)
	EXISTING CONTOUR
	PROPOSED CONTOUR
	CUT/FILL LINE
	DAYLIGHT
	RIP RAP
	SWALE
	CONCRETE INTERCEPTOR
	SPOT ELEVATION
	PAD ELEVATION INFORMATION
	DRIVEWAY INFORMATION

DEPARTMENT OF PUBLIC WORKS
CITY OF RIVERSIDE
GENERAL GRADING NOTES

1. ALL GRADING SHALL CONFORM TO THE RIVERSIDE MUNICIPAL CODE, TITLE 17 AND THE CURRENT CITY ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE.
2. ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY _____ SHALL BE COMPLIED WITH DURING GRADING OPERATIONS. CITY BUSINESS TAX CERT. NO. _____ EXP. DATE _____
3. THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ON-SITE OR OFF-SITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF ERECTION LOCATIONS OR SIZES, FARMING LOT STRUCTURAL SECTIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, OFF-SITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM APPROVED BUILDING PERMIT PLANS. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
4. CERTIFICATION FROM THE REGISTERED (CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT) STATING THAT THE GRADING HAS BEEN COMPLETED FOR THE APPROVED PLAN, AND A COMPACTION REPORT FROM THE SOIL ENGINEER FOR FILL AREAS ARE REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED.
5. CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
 - a. ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING ROUGH GRADING OPERATIONS AND, THEREAFTER, UNTIL INSTALLATION OF FINAL GROUNDCOVER (SEE LANDSCAPE PLANS FOR FINAL GROUNDCOVERS).
 - b. ALL SLOPE PROTECTION SWALES TO BE CONSTRUCTED AT THE SAME TIME AS BANKS ARE GRADED.
 - c. THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SWPPP AND ALSO TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, GRASS, BASTARD, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF DIRT, MUD OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO ADDITIONAL EROSION CONTROL MEASURES NOTED ABOVE DURING THE PERIOD OCTOBER 1 TO MAY 31.
 - d. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND CHECK DAMS. SILT AND DEBRIS SHALL BE REMOVED FROM CITY OF RIVERSIDE STREETS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THIS PROJECT, PAGE 2 OF 3 (REV. 03/09/2018)
6. ANY ON-SITE RETAINING WALLS SHOWN ON THIS PLAN THAT ARE UNDER 3 FEET IN HEIGHT AND SUPPORT A SURCHARGE OR THAT ARE OVER 3 FEET IN HEIGHT REQUIRE SEPARATE REVIEW, APPROVAL AND A BUILDING PERMIT FROM THE BUILDING AND SAFETY DIVISION, COMMUNITY DEVELOPMENT DEPARTMENT. ANY NECESSARY RETAINING WALLS ON THE PERMITTER OF THIS SITE SHALL BE IN PLACE AND APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ISSUANCE OF THE GRADING PERMIT. APPROVED SEQUENCED GRADING SHALL BE 1:1/2:1 MAXIMUM SLOPES TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR ISSUANCE OF A GRADING PERMIT PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS. (IF NO RETAINING WALLS ARE SHOWN ON THE PLAN, DO NOT PUT THIS NOTE ON PLAN.)
7. ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
8. ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNERS.
9. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
10. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PAD AND ON ALL FILL SLOPES.
11. IT IS THE SOIL ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRADING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PAD AND ON ALL FILL SLOPES.
12. EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE IS NOT RESPONSIBLE FOR THEIR ACCURACY.
13. FOR GRADING OF AREAS OF 1 ACRE OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF RIVERSIDE.
14. GRADING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 5 P.M. ON WEDNESDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRADING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7.35.010, ORDINANCE NO. 6273).

TEMPORARY EROSION CONTROL NOTES:

1. TEMPORARY EROSION CONTROL MEASURES ARE REQUIRED FOR GRADING OPERATIONS SCHEDULED FROM OCTOBER 1st TO MAY 31st. APPROVED TEMPORARY EROSION CONTROL PLANS ARE REQUIRED FOR GRADING PROJECTS INVOLVING MORE THAN 4 STRUCTURES, OR WHEN DEEMED NECESSARY BY THE BUILDING OFFICIAL.
2. IN CASE OF EMERGENCY, CALL MR. ADAM RAMSEY AT (951) 830-3797.
3. THE DESIGN CIVIL ENGINEER SHALL SUPERVISE THE EROSION CONTROL WORK AND VERIFY TO THE DEPARTMENT OF BUILDING AND SAFETY THAT THE WORK WAS COMPLETED IN ACCORDANCE WITH THE APPROVED TEMPORARY EROSION CONTROL PLAN.
4. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND SHALL BE STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
5. DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
6. ALL REMOVABLE PROTECTION DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS PREDICTED.
7. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS, SILT FENCES, AND DESLTING BASINS (ETC).
8. AT THE CONCLUSION OF EACH WORKING DAY GRADED AREAS AROUND THE PROJECT PERIMETER SHALL DRAIN AWAY FROM THE FACE OF SLOPES.
9. THE BUILDING OFFICIAL RESERVES THE RIGHT TO MAKE CHANGES OF MODIFICATIONS TO THE TEMPORARY EROSION CONTROL PLAN AS DEEMED NECESSARY.



SCALE: 1"=60'

ENGINEER'S NOTES:

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A DILIGENT SEARCH OF ALL AVAILABLE RECORDS. THE CONTRACTOR IS REQUIRED TO TAKE ALL PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN AND ANY OTHER LINES OR STRUCTURES SHOWN OR NOT SHOWN ON THESE PLANS, AND IS RESPONSIBLE FOR THE PROTECTION OF, AND ANY DAMAGE TO THESE LINES OR STRUCTURES.

A PRE-GRADING/PRE-CONSTRUCTION MEETING AND SITE INSPECTION SHALL BE ARRANGED FOR BY THE SITE DEVELOPER PRIOR TO COMMENCING GRADING OPERATIONS. THOSE PARTIES REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING SHALL INCLUDE BUT ARE NOT LIMITED TO THE DEVELOPER, PROJECT SUPERINTENDENT, ENGINEER OF RECORD, SOILS ENGINEER, GRADING CONTRACTOR, AND UNDERGROUND UTILITIES CONTRACTOR. REPRESENTING THE DEPARTMENT OF BUILDING AND SAFETY SHALL BE THE GRADING PLAN-CHECKER AND/OR GRADING INSPECTOR. THE FOCUS OF THE PRE-CONSTRUCTION MEETING SHALL BE TO DISCUSS THE VARIOUS ASPECTS AND RESPONSIBILITIES OF THE GRADING PROJECT, AND TO PROVIDE AN APPROXIMATE TIMETABLE FOR THE COMPLETION OF ROUGH GRADING. ARRANGE FOR A PRE-GRADING/PRE-CONSTRUCTION MEETING BY CALLING THE DISTRICT OFFICE RESPONSIBLE FOR PROVIDING YOUR GRADING AND BUILDING INSPECTIONS. CALL COUNTY DISPATCH AT (951) 955-1800 AND FIRE DEPARTMENT AT (951) 955-4777 TO SETUP PRE-CONSTRUCTION MEETINGS.

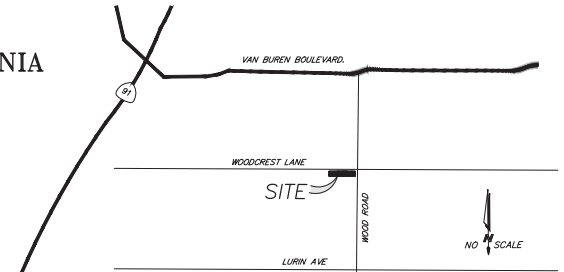
NO WORK SHALL COMMENCE WITHIN ROAD RIGHT-OF-WAY (R/W) PRIOR TO ISSUANCE OF AN ENCROACHMENT PERMIT BY THE TRANSPORTATION DEPARTMENT.

THE ENGINEER OF RECORD HAS EVALUATED THE DRAINAGE AND HAS DETERMINED THAT THE DRAINAGE ACROSS THE PROPERTY LINE DOES NOT EXCEED THAT WHICH EXISTED PRIOR TO GRADING.

THE ENGINEER OF RECORD WHO PREPARED AND SIGNED THE GRADING PLAN HAS VERIFIED THAT THE PROPOSED DRAINAGE SYSTEM IS CONSISTENT WITH THE NATURAL DRAINAGE PATTERN OF THE SITE AND WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES.

EXCEPT FOR THE RETAINING WALLS IN CONJUNCTION WITH THIS GRADING, ALL INFORMATION ASSOCIATED WITH BUILDINGS (INCLUDING SETBACKS AND FINISH FLOOR ELEVATIONS) IS FOR REFERENCE ONLY AND THE APPROVAL OF THIS GRADING PLAN DOES NOT INCLUDE ANY PROVISIONS ASSOCIATED WITH BUILDINGS.

EARTHWORK QUANTITIES ARE ESTIMATES ONLY BASED UPON THE TOPO AND SHALL ONLY BE USED FOR PLANNING PURPOSES ONLY. THERE MAY BE UNFORSEEN OR OTHERWISE UNQUANTIFIABLE VARIABLES THAT MAY AFFECT THE EARTHWORK QUANTITIES SHOWN. IT IS THE SOLE RESPONSIBILITY OF THE GRADING CONTRACTOR TO DETERMINE THEIR OWN EARTHWORK QUANTITIES FOR PURPOSES OF BIDDING AND PLANNING. NO GUARANTEE OR WARRANTY IS EXPRESSED OR IMPLIED WITH THE EARTHWORK QUANTITIES SHOWN ON THESE PLANS.



VICINITY MAP
1/32" R/W 4" SECTION SE

OWNER:
24-HOUR CONTACT
NAME: BETHESDA REWAL CENTER
16681 WOOD ROAD
RIVERSIDE, CA 92508
Tel: (909) 709-9433
Email:

APN NO.: 266-090-017

SOURCE OF TOPO:
AERIAL TOPOGRAPHY PERFORMED BY TERRASCOPE, INC. ON 12/16/2019.

SITE AREA CALCULATIONS

TOTAL SITE AREA:	0.61 ac. GROSS
TOTAL SITE AREA:	0.56 ac. NET
TOTAL DISTURBED AREA:	0.14 ac., 25%
NEW IMPERVIOUSNESS AREA:	3,320 sq. ft., 14%

NOTE: LESS THAN ONE ACRE DISTURBED.

EARTHWORK QUANTITIES

CUT:	250 Cu. Yds.
FILL:	250 Cu. Yds.
BALANCE:	0 Cu. Yds.

BASIS OF BEARING:
CENTERLINE OF WOOD ROAD BEING N020°00'W
PER P.M. 12/14

BENCHMARK:
ELEVATIONS ARE IN NAVD83 AND ARE BASED ON NGS
BENCHMARK LAST. ELEV. 1635.33'

THOMAS GUIDR 2005: RIVERSIDE COUNTY, PAGE 746, GRID D4

SHEET INDEX

SHEET 1: TITLE SHEET
SHEET 2: PRECISE GRADING PLAN
SHEET 3: DETAILS

CITY OF RIVERSIDE, RIVERSIDE COUNTY, CA

TITLE SHEET
16681 WOOD ROAD

ACCEPTED BY: DATE:

PREPARED BY: Alex R. Paulsen, PE
R.C.E. NO.: 87481 DATE: 5/1/20



IE SURVEY & ENGINEERING, INC.

41140 ELM STREET, SUITE G
MILPITAS, CA 95026
T: (408) 688-1850
E: INFO@IESURVEYENGINEERING.COM

DESIGNED BY: M KEENUM
DRAWN BY: M KEENUM
CHECKED BY: A PAULSEN

SHEET NO.

1 OF 4

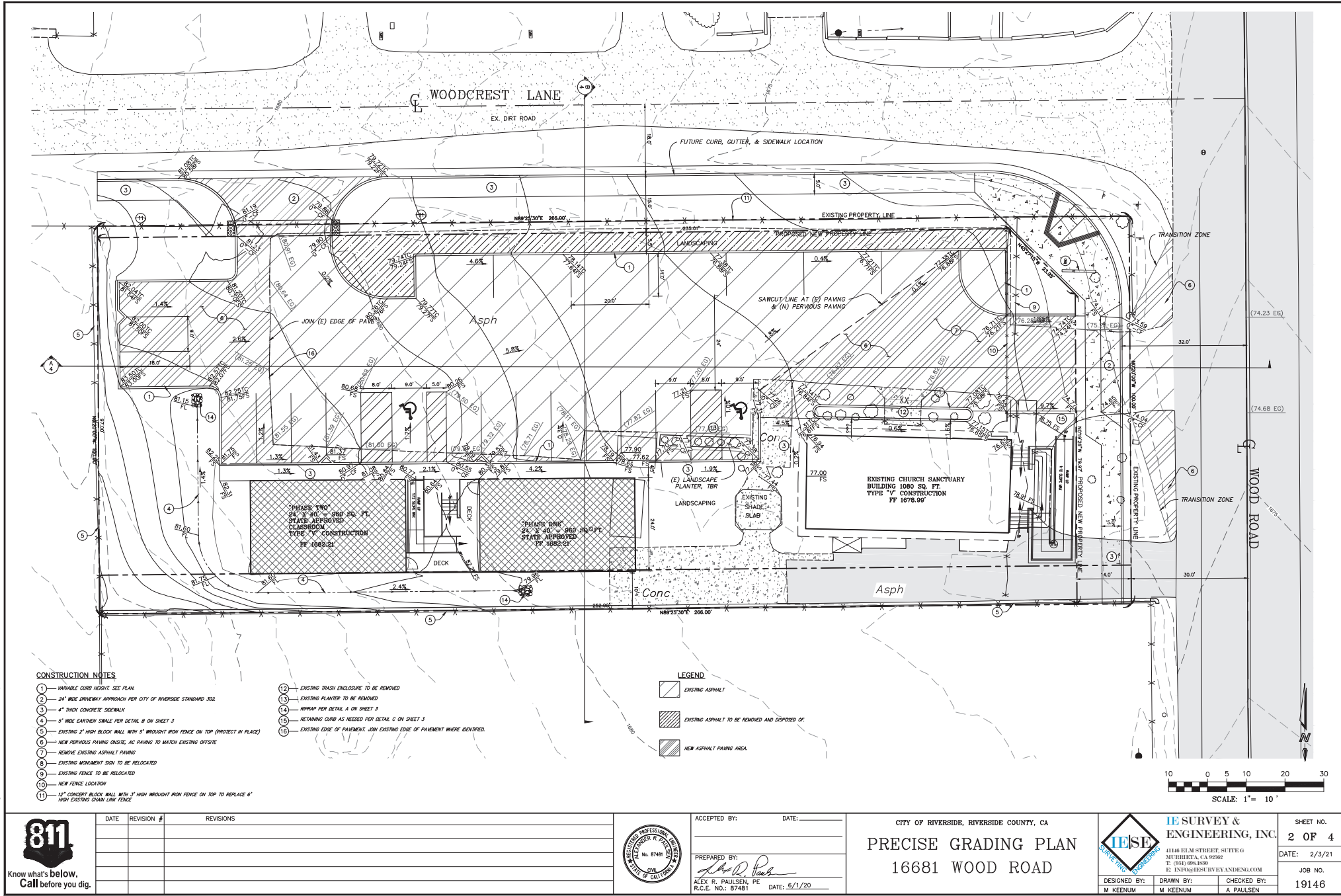
DATE: 2/3/21

JOB NO.

19146



Know what's below.
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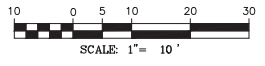





- CONSTRUCTION NOTES**
- 1 VARIABLE CURB HEIGHT, SEE PLAN.
 - 2 24" WIDE DRIVEWAY APPROACH PER CITY OF RIVERSIDE STANDARD 302.
 - 3 4" THICK CONCRETE SIDEWALK.
 - 4 5" WIDE EARTHEN SHOULDER PER DETAIL B ON SHEET 3.
 - 5 EXISTING 2" HIGH BLOCK WALL WITH 5" WROUGHT IRON FENCE ON TOP (PROTECT IN PLACE).
 - 6 NEW PERVIOUS PAVING DRIVE, AC PAVING TO MATCH EXISTING OFFSITE.
 - 7 REMOVE EXISTING ASPHALT PAVING.
 - 8 EXISTING MONUMENT SIGN TO BE RELOCATED.
 - 9 EXISTING FENCE TO BE RELOCATED.
 - 10 NEW FENCE LOCATION.
 - 11 12" CONCRETE BLOCK WALL WITH 3" HIGH WROUGHT IRON FENCE ON TOP TO REPLACE 6" HIGH EXISTING CHAIN LINK FENCE.

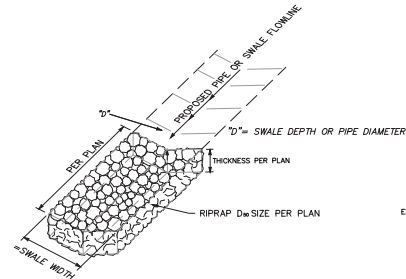
- 12 EXISTING TRASH ENCLOSURE TO BE REMOVED.
- 13 EXISTING PLANTER TO BE REMOVED.
- 14 RIPRAP PER DETAIL A ON SHEET 3.
- 15 RETAINING CURB AS NEEDED PER DETAIL C ON SHEET 3.
- 16 EXISTING EDGE OF PAVEMENT, JOIN EXISTING EDGE OF PAVEMENT WHERE IDENTIFIED.

LEGEND

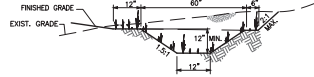
- [Symbol] EXISTING ASPHALT
- [Symbol] EXISTING ASPHALT TO BE REMOVED AND DISPOSED OF.
- [Symbol] NEW ASPHALT PAVING AREA.



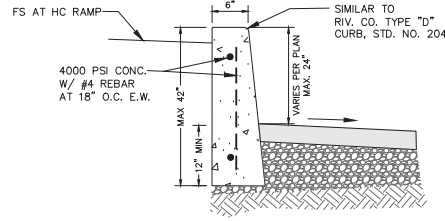
 Know what's below. Call before you dig.	DATE	REVISION #	REVISIONS		ACCEPTED BY:	DATE:	CITY OF RIVERSIDE, RIVERSIDE COUNTY, CA PRECISE GRADING PLAN 16681 WOOD ROAD	 IE SURVEY & ENGINEERING, INC. 41140 ELM STREET, SUITE G MURRIETTA, CA 95662 T: (925) 698-1850 E: INFO@IESURVEYENGINEERING.COM	SHEET NO.
					PREPARED BY:				2 OF 4
					ALEX R. PAULSEN, PE R.C.E. NO.: 87481	DATE: 5/1/20			DATE: 2/3/21
									JOB NO. 19146
					DESIGNED BY:	DRAWN BY:	CHECKED BY:		
					M KEENUM	M KEENUM	A PAULSEN		



(A) RIPRAP ENERGY DISSIPATER (TYP.)
NO SCALE



(B) EARTHEN SWALE DETAIL
NO SCALE



(C) RETAINING CURB
NOT TO SCALE



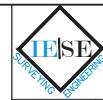
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ALEX R. PAULSEN, PE	5/1/20
R.C.E. NO.: 87481	

CITY OF RIVERSIDE, RIVERSIDE COUNTY, CA
DETAILS
16681 WOOD ROAD

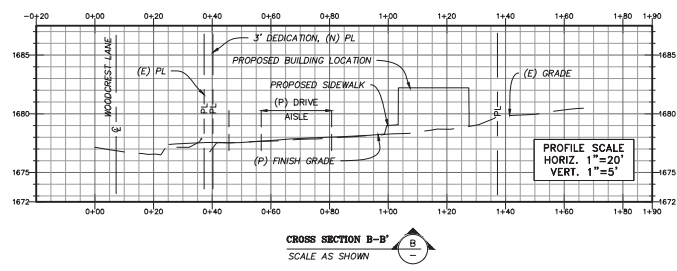
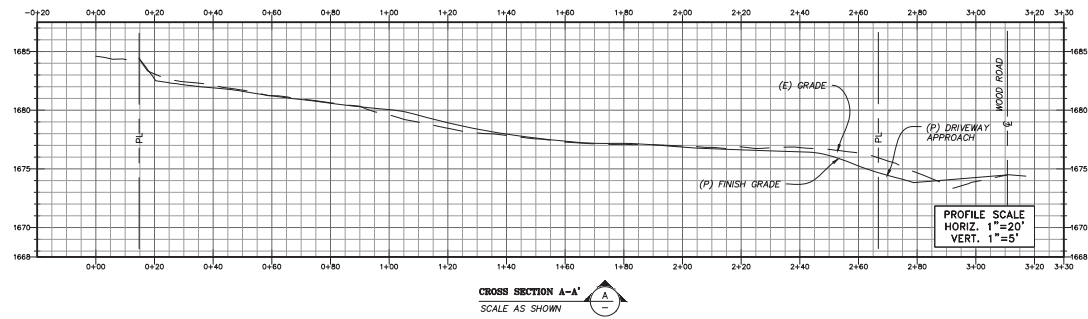


IE SURVEY & ENGINEERING, INC.

41140 ELM STREET, SUITE G
MURRIETTA, CA 92562
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E: INFO@IESURVEYENGINEERING.COM

DESIGNED BY:	DRAWN BY:	CHECKED BY:
M. KEENUM	M. KEENUM	A. PAULSEN

SHEET NO.
3 OF 4
DATE: 2/3/21
JOB NO.
19146



DWG: 19146, GP: 20210202.dwg DATE: Feb 03, 2021 - 3:59:36pm



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DATE	REVISION #	REVISIONS



ACCEPTED BY: _____ DATE: _____

PREPARED BY: *Alex R. Paulsen*

ALEX R. PAULSEN, PE
R.C.E. NO.: 87481
DATE: 5/1/20

CITY OF RIVERSIDE, RIVERSIDE COUNTY, CA

DETAILS

16681 WOOD ROAD



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DRAWN BY: M. KEENUM
CHECKED BY: A. PAULSEN

SHEET NO.
4 OF 4

DATE: 2/3/21

JOB NO.
19146

Schedule	Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Lamp
		A	4	Lithonia Lighting	DEK0 LED P6 30K T4M MVOLT HS @ 14 MFO	DEK0 LED P6 30K T4M MVOLT with recessable sheet	1	DEK0_LED_P6_30K_T4M_MVOLT_HS.xls	11258	0.95	134	LED
		B	7	Lithonia Lighting	WID02 LED P3 30K 80CRI VF @ 10 WALL MOUNT	WID02 LED WITH P3 - PERFORMANCE PACKAGE 300K 80CRI VISUAL COMFORT FORWARD OPTIC	1	WID02_LED_P3_30K_80C_VF.xls	3015	0.95	22.55	LED

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING	+	4.0 fc	5.1 fc	0.9 fc	10.1:1	4.4:1
SPILL LIGHT	+	0.0 fc	0.5 fc	0.0 fc	N/A	N/A

Joseph Nease ENGINEERING, Inc.
Consulting Electrical Engineers
1411 N. Batavia St., Suite 220
Orange, Ca. 92667
Tel: (714) 285-2621

BETHESDA REVIVAL CENTER
MODULAR CLASSROOM BUILDING PROJECT
16651 WOOD ROAD
RIVERSIDE, CA 92506
PHOTOMETRIC PLAN

PROJECT NO.
A-104-2019

SHEET NO.
PM-1

ARCHITECTS / PLANNERS
KEN AGHAROKH AIA
26544 SUNSHINE DRIVE LAJUNA HIGUEL, CA 92037
E-MAIL: KAANDAR@AOL.COM

REVISIONS	DATE	BY	DESCRIPTION
1	07/17/20	PLAN	PLAN CHECK COMMENT
2	08/26/21	PLAN	PLAN CHECK COMMENT



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