



CRESTVIEW APARTMENTS

DESIGN REVIEW SUBMITTAL

FEBRUARY 05 2021

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VINCINITY MAP



CRESTVIEW APARTMENTS

RIVERSIDE, CA

KA ENTERPRISES

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DATE: 02-05-2021
JOB NO.: 2018-549

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VIEW FROM CENTRAL AVE. LOOKING NORTH WEST

JULY 15, 2020

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VIEW TO POOL AREA



VIEW TO LEASING / CLUBHOUSE



VIEW TO FITNESS CENTER



VIEW TO ROOF GARDEN



BUILDING 6 VIEW FROM CENTRAL AVE.



WEST VIEW PERSPECTIVE

CRESTVIEW APARTMENTS

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ARCHITECTURE MASSING VIEWS - 1

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A-2.1





VIEW TO POOL AREA



VIEW TO LEASING / CLUBHOUSE



VIEW TO FITNESS CENTER



VIEW TO ROOF GARDEN



BUILDING 6 VIEW FROM CENTRAL AVE.



WEST VIEW PERSPECTIVE

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ARCHITECTURE MASSING VIEWS - 1

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PROJECT SUMMARY

	DATA
GENERAL PLAN:	VERY HIGH DENSITY RESIDENTIAL (VHDR)
EXISTING ZONING OF SITE:	CG (COMMERCIAL GENERAL ZONE)
PROPOSED ZONING:	R-4 (MULTIPLE FAMILY RESIDENTIAL ZONE)
TOTAL GROSS SITE AREA:	9.77
PROPOSED TOTAL # OF DWELLING UNITS:	237
PROPOSED DENSITY OF UNITS:	24.3
MAXIMUM BUILDING HEIGHT:	50'
MAXIMUM NUMBER OF STORIES:	4 STORY

SITE COVERAGE

	SQ.FT.	AC	%
BUILDING COVERAGE	101,310	2.33	23.8%
ROAD COVERAGE	220,598	5.06	51.8%
LANDSCAPE COVERAGE	103,673	2.38	24.4%
TOTAL	425,581	9.77	100%

BUILDING/ UNIT MIX

BLDG. #	BLDG. TYPE	1 BDRM.		2 BDRM.				3 BDRM.	TOTAL UNIT	TOTAL GARAGE
		A1*	A2	B1	B2	B3	B4*	C1		
		760 SQ.FT.	777 SQ.FT.	1,087 SQ.FT.	1,102 SQ.FT.	1,241 SQ.FT.	1,094 SQ.FT.	1,398 SQ.FT.		
1	I-3/3 STORY	0	6	2	0	0	7	0	15	12
2	I-3/3 STORY	0	6	2	0	0	7	0	15	12
3	I-3/3 STORY	0	3	2	0	0	10	0	15	12
4	I-3/3 STORY	0	3	2	0	0	10	0	15	12
5	I-3/3 STORY	0	6	2	0	0	7	0	15	11
6	II-4 STORY	43	12	18	22	2	3	15	115	37
7	III-4 STORY	10	5	15	6	8	1	2	47	14
SUB-TOTAL	-	53	41	43	28	10	45	17	237	110
TOTALS	7	94		126				17		
%		40%		53%				7%	100%	

A1* INCLUDES 1 UNIT ON 2ND FLOOR OF BLDG TYPE III WHICH IS MODIFIED B1

B4* INCLUDES 1 UNIT ON 2ND FLOOR OF MAILRM OF BLDG TYPE II WHICH IS MODIFIED C1

TOTAL BUILDING FOOTPRINT SQ. FT.

BLDG. NUMBER	BLDG. TYPE	1st FL. SQ. FT.	2nd FL. SQ. FT.	3rd FL. SQ. FT.	4th FL. SQ. FT.	TOTAL SQ. FT.	TYPE OF CONSTRUCTION
1	TYPE Ia	6,958	7,015	7,015	-	20,988	VA
2	TYPE Ia	6,958	7,015	7,015	-	20,988	VA
3	TYPE Ib	7,277	7,324	7,324	-	21,925	VA
4	TYPE Ib	7,277	7,324	7,324	-	21,925	VA
5	TYPE Ia	6,958	7,015	7,015	-	20,988	VA
6	TYPE II	44,565	37,823	42,064	42,055	166,508	VA
7	TYPE III	21,286	19,867	18,067	18,073	77,313	VA
TOTAL	-	101,310	93,383	95,544	60,128	350,365	-

LEASABLE SQ.FT. PROVIDED:

UNIT TYPE	SQ.FT.	QTY	%	TOTAL LEASABLE SF
A1	760	53	22%	40,280
A2	777	41	17%	31,857
B1	1,097	43	18%	47,171
B2	1,102	28	12%	30,856
B3	1,241	10	4%	12,410
B4	1,094	45	20%	49,230
C1	1,398	17	7%	23,766
SUB-TOTAL	-	237	100%	235,570

PARKING SUMMARY

A. TOTAL PARKING REQUIRED

A. TOTAL PARKING REQUIRED	UNITS	RATIO	QTY.
1 BDRM. UNITS	94	1.5	141
2 BDRM. UNITS	126	2.0	252
3 BDRM. UNITS	17	2.0	34
TOTAL REQ. PARKING	237	-	427

B. TOTAL PARKING PROVIDED

TOTAL PARKING PROVIDED	QTY.	%
TOTAL GARAGE	110	26%
TOTAL CARPORT	211	49%
TOTAL TANDEM	11	3%
TOTAL OPEN STALL	95	22%
TOTAL PROVIDED PARKING	427	100%
PARKING TO UNIT RATIO	1.80 / DU	

75% X 427 TOTAL REQUIRED PARKING = 321 COVERED (GARAGE + CARPORT)

A-3.0

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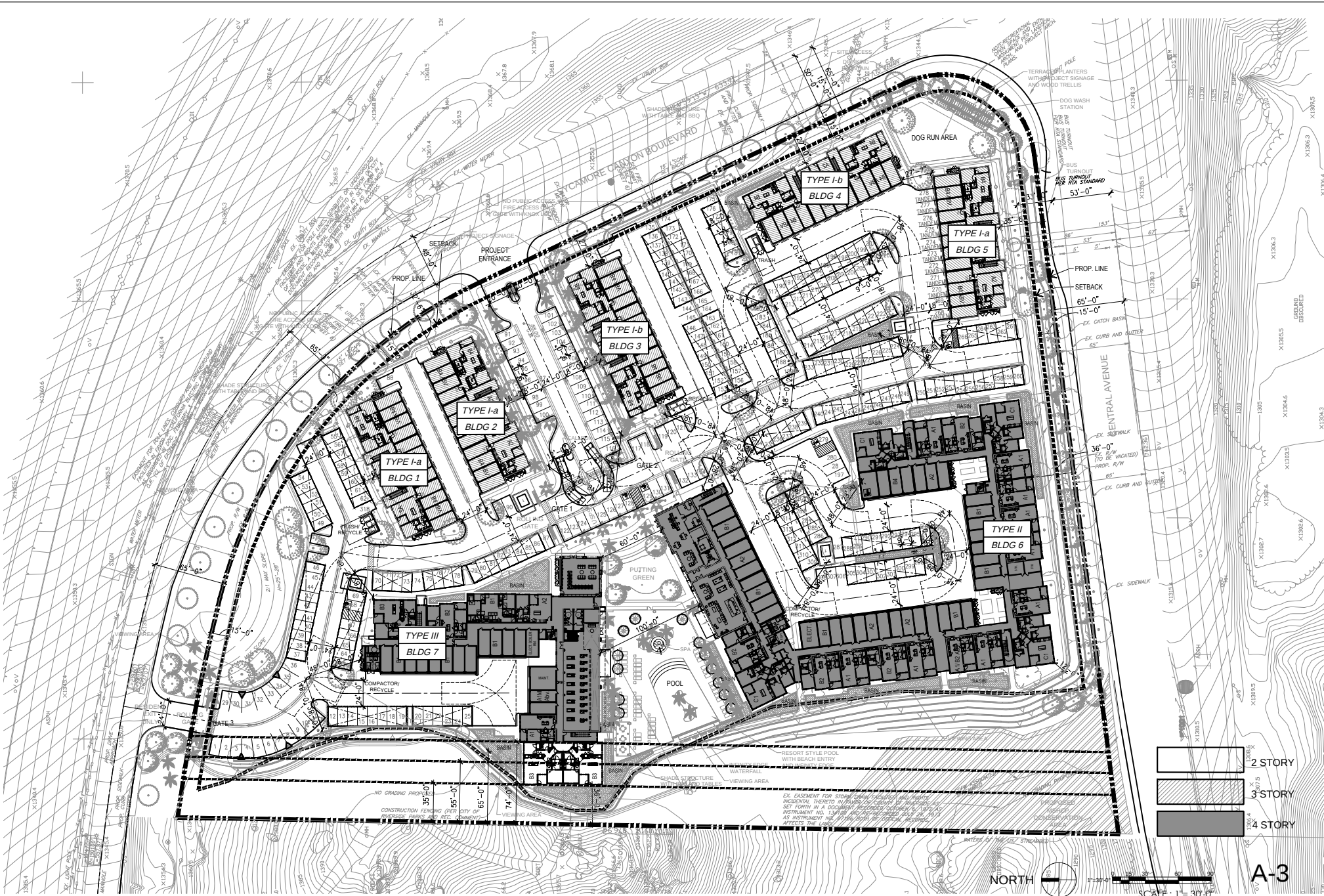
PROJECT DATA DATE: 02-05-2021
JOB NO.: 2018-549

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CONCEPTUAL SITE PLAN

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OPEN SPACE EXHIBIT

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COMMON OPEN SPACE

REQUIRED:
200 SQ.FT PER UNIT X 237=47,400 SQ.FT.(1.09AC)
PROVIDED:
+49,720 SQ.FT. (1.14 AC)
(INCLUDING : FITNESS 2ND FLOOR 3,050 SQ.FT.
& ROOF DECK 1,870 SQ.FT.)

PRIVATE OPEN SPACE

REQUIRED:
50 SQ.FT PER UNIT, 50X237 =11,850 SQ.FT (0.27 AC)

PRIVATE OPEN SPACE PROVIDED:

UNIT TYPE	PATIO/BALC. SQ.FT.	QTY	%	TOTAL PRIVATE SF
A1	63	53	22%	3,339
A2	68	41	17%	2,788
B1	58	43	18%	2,494
B2	63	28	12%	1,764
B3	73	10	4%	730
B4	64	45	19%	2,880
C1	73	17	7%	1,241
SUB-TOTAL	-	237	100%	15,236

COMMON OPEN SPACE

2 STORY

3 STORY

4 STORY

NORTH

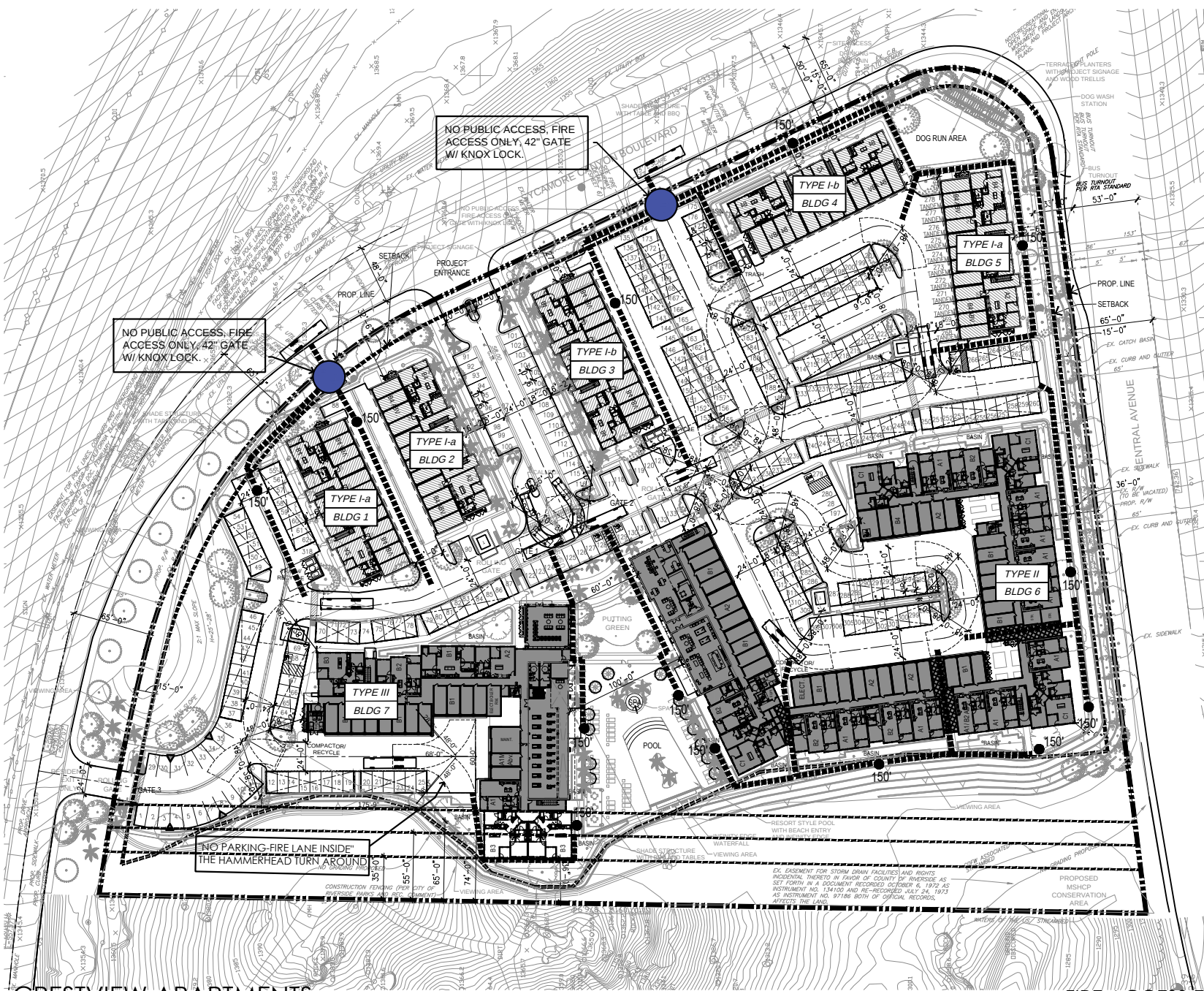
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SCALE : 1"= 30'-0"

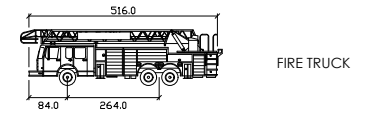
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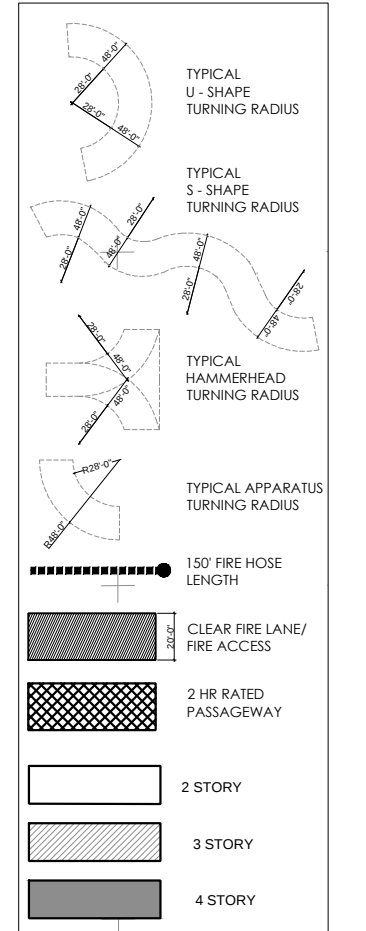


FIRE ACCESS LEGEND



Aerial Fire Truck

Width	102.0
Track	102.0
Lock to Lock Time	6.0
Steering Angle	33.3



1"=30'-0"

SCALE: 1"= 30'-0"
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TYPICAL 3 STORY RESIDENTIAL WITH ENHANCED ELEVATION
FRONT ELEVATION



TYPICAL 3 STORY RESIDENTIAL WITH ENHANCED ELEVATION
LEFT ELEVATION



TYPICAL 3 STORY RESIDENTIAL WITH ENHANCED ELEVATION
RIGHT ELEVATION

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ENHANCED ELEVATIONS (3 STORIES)

SCALE : 3/32"= 1'-0"

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A-6.1



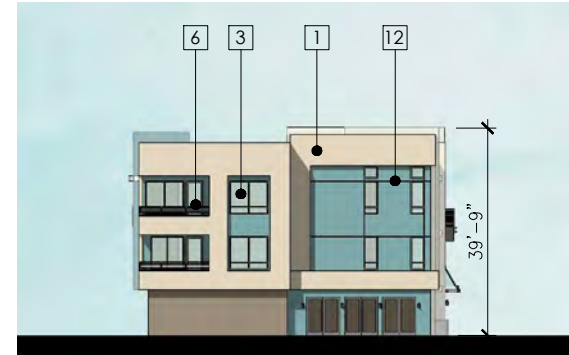
EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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TYPE Ia - FRONT, REAR, RIGHT & LEFT ELEVATIONS

SCALE : 3/32"= 1'-0"

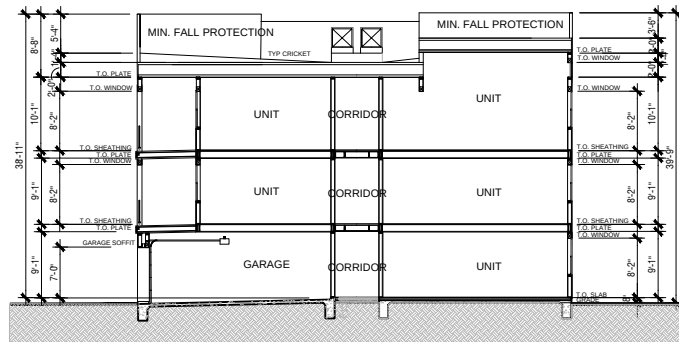
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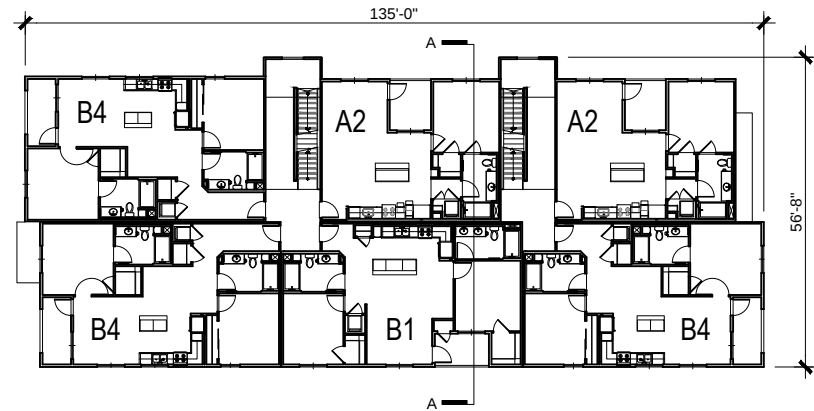
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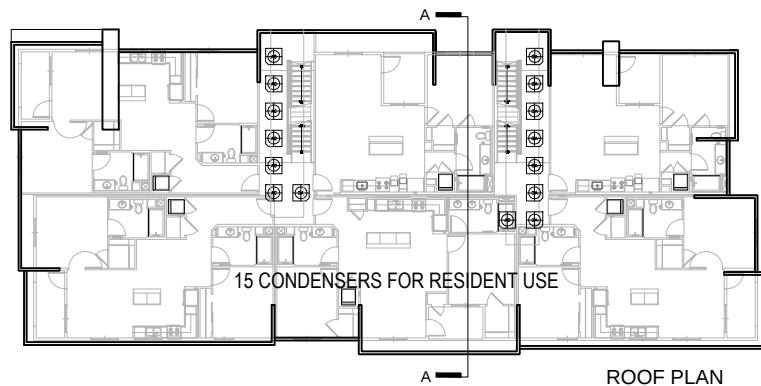




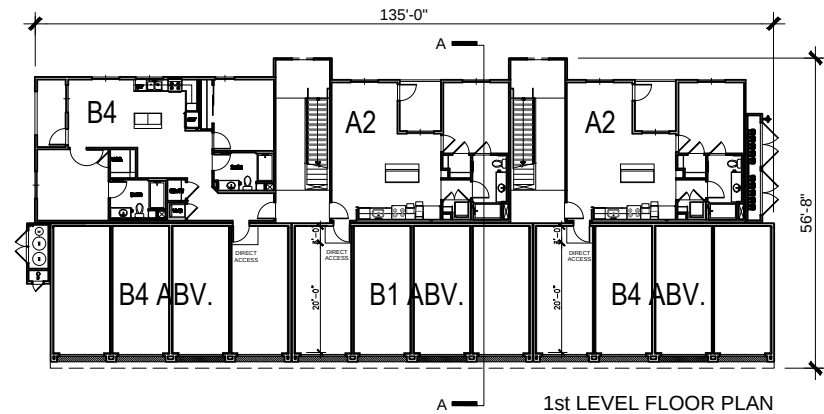
TYPICAL SECTION A-A



2nd & 3rd LEVEL FLOOR PLAN



ROOF PLAN



1st LEVEL FLOOR PLAN

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TYPE Ia - BUILDING COMPOSITE
LEVEL 1, 2, 3, ROOF & SECTION A-A

SCALE: 3/32"= 1'-0"

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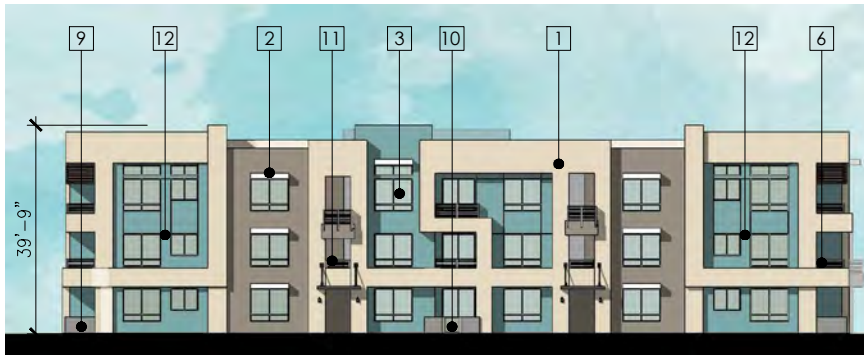
A-7



EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



FRONT ELEVATION



RIGHT ELEVATION



REAR ELEVATION



LEFT ELEVATION

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TYPE 1b - FRONT, REAR, RIGHT & LEFT ELEVATIONS

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