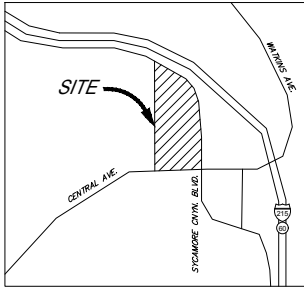


IN THE CITY RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.
PRELIMINARY GRADING PLAN
CRESTVIEW APARTMENTS
 FEBRUARY 2021



VICINITY MAP
NOT TO SCALE

OWNER/APPLICANT

KA ENTERPRISES
 55820 OBERLIN DR. STE. 201
 SAN DIEGO, CA 92121
 TEL (858) 404-6080
 ATTN: EUGENE MARINI

ENGINEER

SDH & ASSOCIATES, INC.
 14080 MERIDIAN PARKWAY 102
 RIVERSIDE, CALIFORNIA 92518
 TEL (951) 683-3691
 FAX (951) 788-2314
 ATTN: STEPHEN SOMMERS

ARCHITECT

ARCHITECTS ORANGE
 321 CHAPMAN AVE.
 ORANGE, CA 92666
 TEL (714) 639-9860

SOILS ENGINEER

ARCHITECTS ORANGE
 321 CHAPMAN AVE.
 ORANGE, CA 92666
 TEL (714) 639-9860

UTILITY PURVEYORS

WATER.....CITY OF RIVERSIDE
 GAS.....SO. CALIF. GAS
 ELECTRICAL.....CITY OF RIVERSIDE
 TELEPHONE.....PACIFIC BELL
 SEWER.....CITY OF RIVERSIDE

ZONING AND LAND USE

EXISTING ZONING: C2 COMMERCIAL GENERAL ZONE
 PROPOSED ZONING: R-4

ASSESSORS PARCEL NO.

256-050-012-5

SCHOOL DISTRICT

RIVERSIDE UNIFIED
 SCHOOL DISTRICT

SURROUNDING GENERAL PLAN DESIGNATION

NORTH.....HR - HILLSIDE RESIDENTIAL
 EAST.....HR - HILLSIDE RESIDENTIAL
 SOUTH.....P - PUBLIC PARK
 WEST.....VHQR - VERY HIGH DENSITY RES./ OS - OPEN SPACE

SURROUNDING ZONING

NORTH.....RC RESIDENTIAL COMMERCIAL
 EAST.....COMMERCIAL
 SOUTH.....(COUNTY) C-P-S, W-1-B, R-2-BD, R-1-BD
 WEST.....R1 RESIDENTIAL CONSERVATION ZONE
 R-3-3000 MULTI FAMILY RESIDENTIAL

PROJECT INFO

GROSS SITE AREA: 9.77 AC.
 UNIT COUNT: 237
 PARKING REQUIRED: 427
 PARKING PROVIDED: 427

SHEET INDEX

SHEET 1: TITLE SHEET
 SHEET 2: PRECISE GRADING PLAN
 SHEET 3: PRECISE GRADING PLAN
 SHEET 4: DRAINAGE PLAN
 SHEET 5: SECTIONS AND DETAILS
 SHEET 6: SECTIONS AND DETAILS

LEGEND

T.C.B. - TOP CATCH BASIN
 F.G. - FINISHED GRADE
 F.L. - FLOW LINE
 H.P. - HIGH POINT
 EXIST. - EXISTING
 P.E. - PAD ELEVATION
 G.B. - GRADE BREAK
 - STEM WALL HEIGHT
 - FIRE HYDRANT

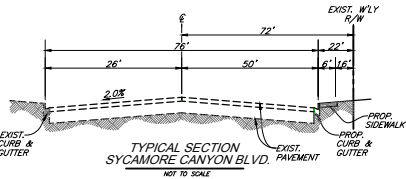
--- TRACT BOUNDARY
 --- CENTERLINE
 --- CURB AND GUTTER
 --- 1280 --- EXISTING CONTOUR LINE
 --- LOT LINE
 --- SLOPE

CONSTRUCTION NOTES

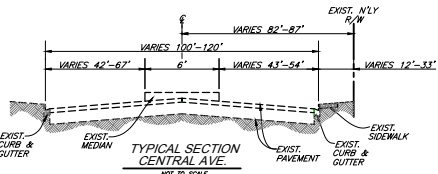
- CONSTRUCT P.C.C. DRIVE ISLE & PARKING AREAS
- CONSTRUCT 6" CURB ONLY (PER DETAIL ON SHEET 5)
- CONSTRUCT 6" CURB AND GUTTER (PER DETAIL ON SHEET 5)
- PROPOSED MODULAR WETLANDS
- CONSTRUCT P.C.C. SIDEWALK (FINISHED SURFACE MATERIALS PER ARCH. PLANS)
- CONSTRUCT 3" RIBBON GUTTER
- CONSTRUCT 8" HDPE STORM DRAIN
- CONSTRUCT 24" X 24" DRAIN BOX
- CONSTRUCT GATE PER ARCH. PLANS
- CONSTRUCT A.D.A. COMPLIANT HANDICAP RAMP
- CONSTRUCT RETAINING WALL
- CONSTRUCT SIDE INLET CATCH BASIN
- CONSTRUCT 12" HDPE STORM DRAIN
- CONSTRUCT 18" HDPE STORM DRAIN
- CONSTRUCT 24" HDPE STORM DRAIN
- CONSTRUCT 24" BASIN RISER INLET
- CONSTRUCT 12" LANDSCAPE CATCH BASIN WITH ATRIUM GRATE
- CONSTRUCT 12" MIN. DIA. ANGULAR RIP RAP
- 2" WIDE 12" DEEP CONCRETE "V" DITCH
- CONSTRUCT BIO-RETENTION BASIN PER DETAILS ON SHEET 4

TEMPORARY CONSTRUCTION FENCE NOTE:

PRIOR TO MOBILIZATION OF ANY GRADING EQUIPMENT ON THE PROJECT SITE, A TEMPORARY CONSTRUCTION BOUNDARY SILT FENCE SHALL BE INSTALLED ALONG THE COMMON BOUNDARY BETWEEN THE PROJECT BOUNDARY AND THE PUBLIC LANDS/ LANDSCAPE OR AT THE GRADING LINE LIMIT IF IT IS FURTHER THAN 10' FROM THE PARK LAND BOUNDARY. THE FENCE SHALL BE MINIMUM 6" TALL CHAIN LINK WITH GEOTEXTILE FABRIC ATTACHED, INSTALLED TO PREVENT ANY ENTRY OF CONSTRUCTION EQUIPMENT AND WORKERS ON TO THE PUBLIC LANDS AND TO PREVENT SILT FROM LEAVING THE PROJECT SITE. NO VEHICLES OR EQUIPMENT SHALL ENTER PARK LANDS AND NO GRADING SHALL TAKE PLACE ON PUBLIC PARK LAND

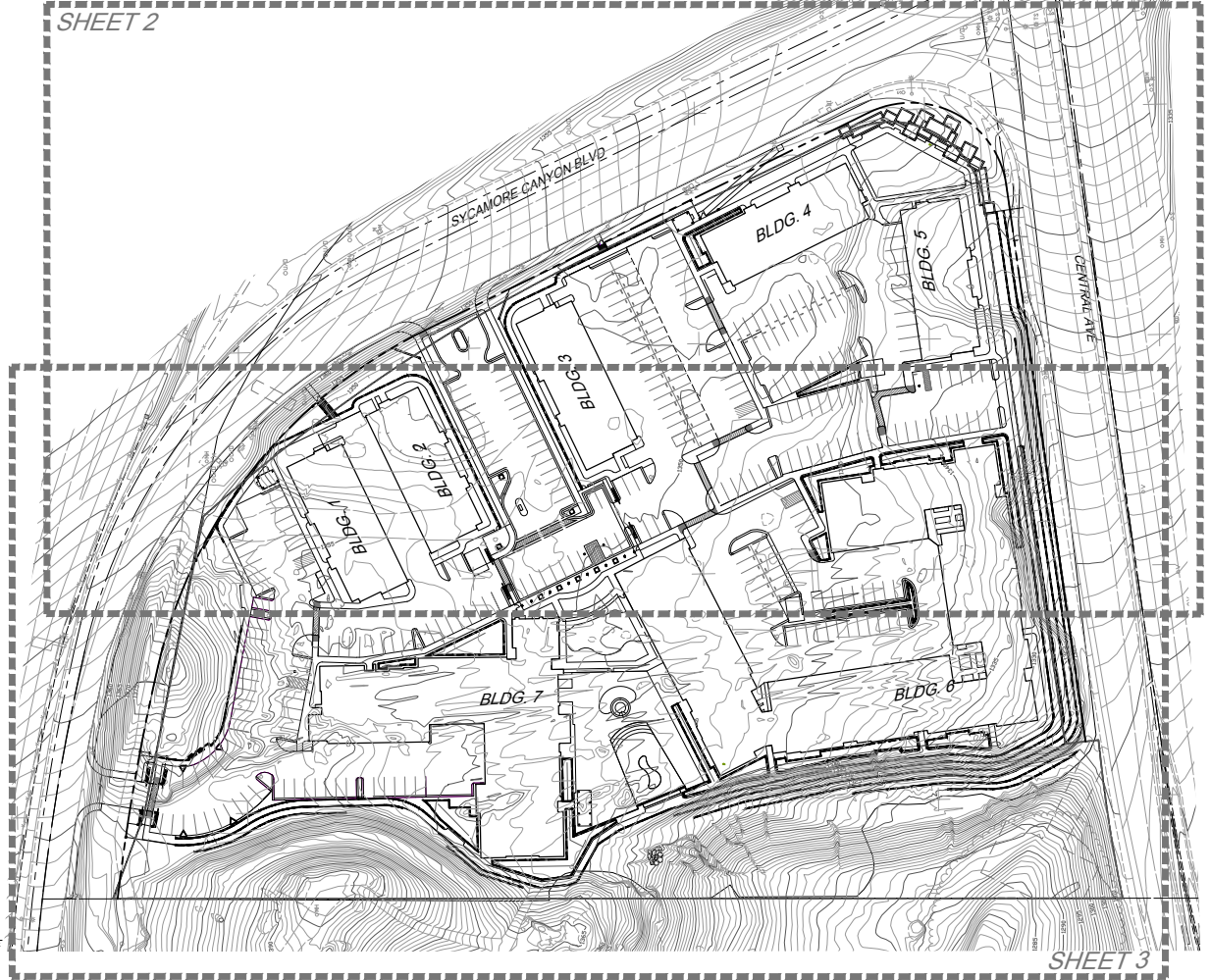


TYPICAL SECTION
SYCAMORE CANYON BLVD.
NOT TO SCALE



TYPICAL SECTION
CENTRAL AVE
NOT TO SCALE

SHEET 2



SHEET 3

INDEX MAP
SCALE 1"=50'



0 25 50 100 150 200
 SCALE 1"=50'



PREPARED BY:



SDH & ASSOCIATES, INC.
 14080 Meridian Parkway 102
 Riverside, California 92518
 TEL: (951) 683-3691 FAX: (951) 788-2314

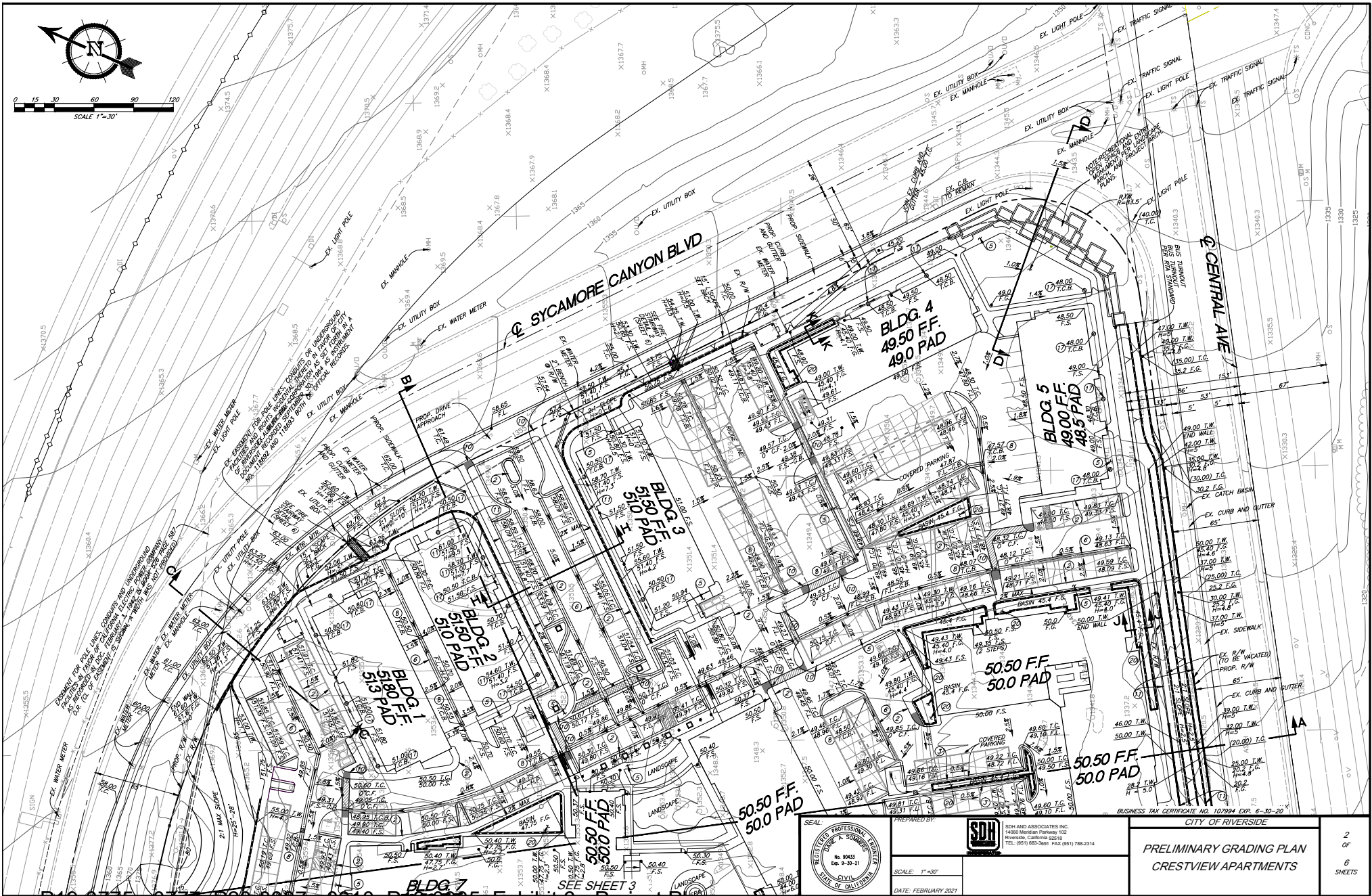
SCALE: 1"=50'
 DATE: FEBRUARY 2021

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20

CITY OF RIVERSIDE

PRELIMINARY GRADING PLAN
 CRESTVIEW APARTMENTS

1
OF
6
SHEETS



P19-0775 - 0777, P20-0307 - 0310, P19-0905, Exhibit 6 - Project Plans



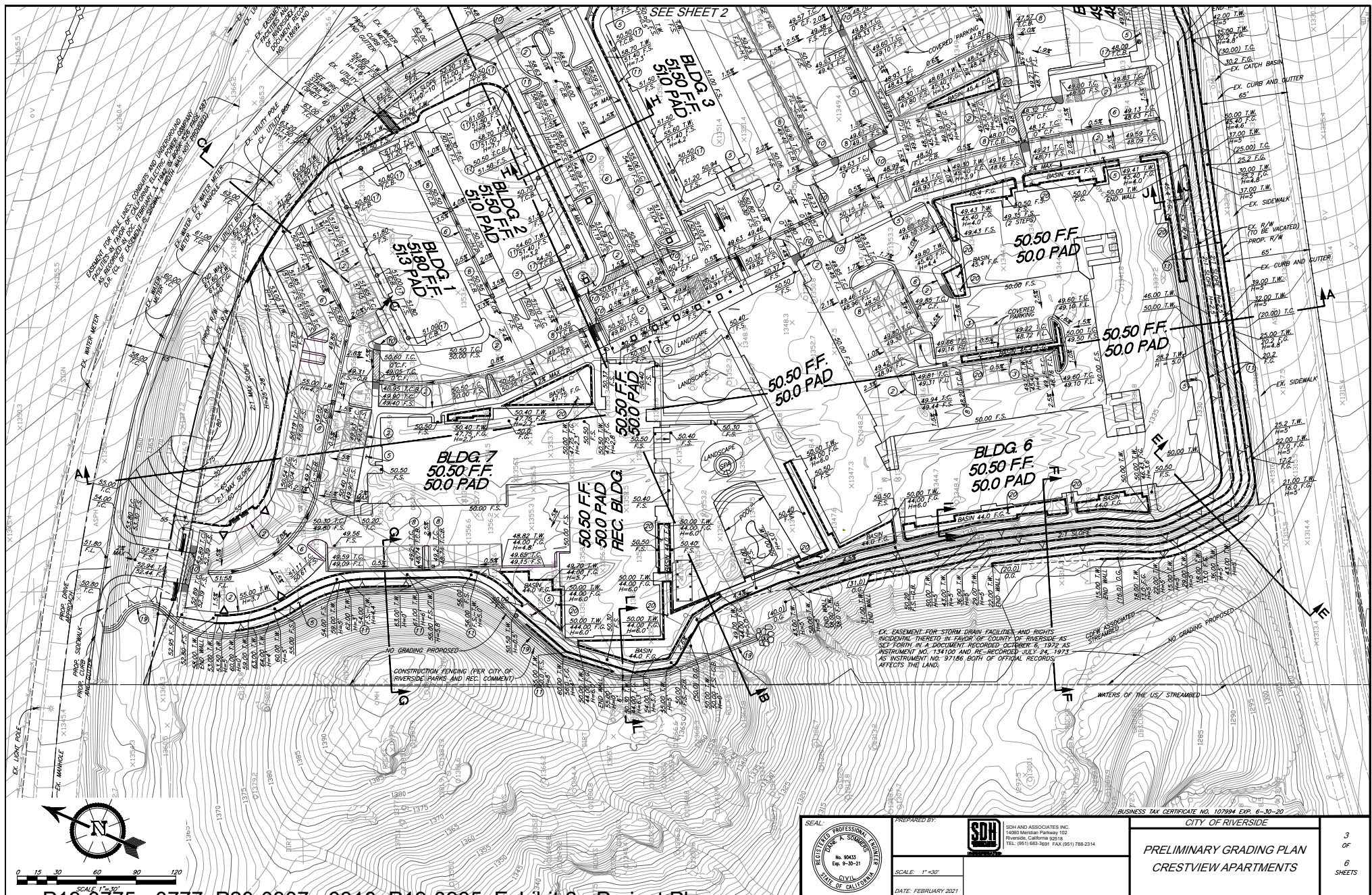
PREPARED BY:
SDH
SCALE: 1" = 30"
DATE: FEBRUARY 2021

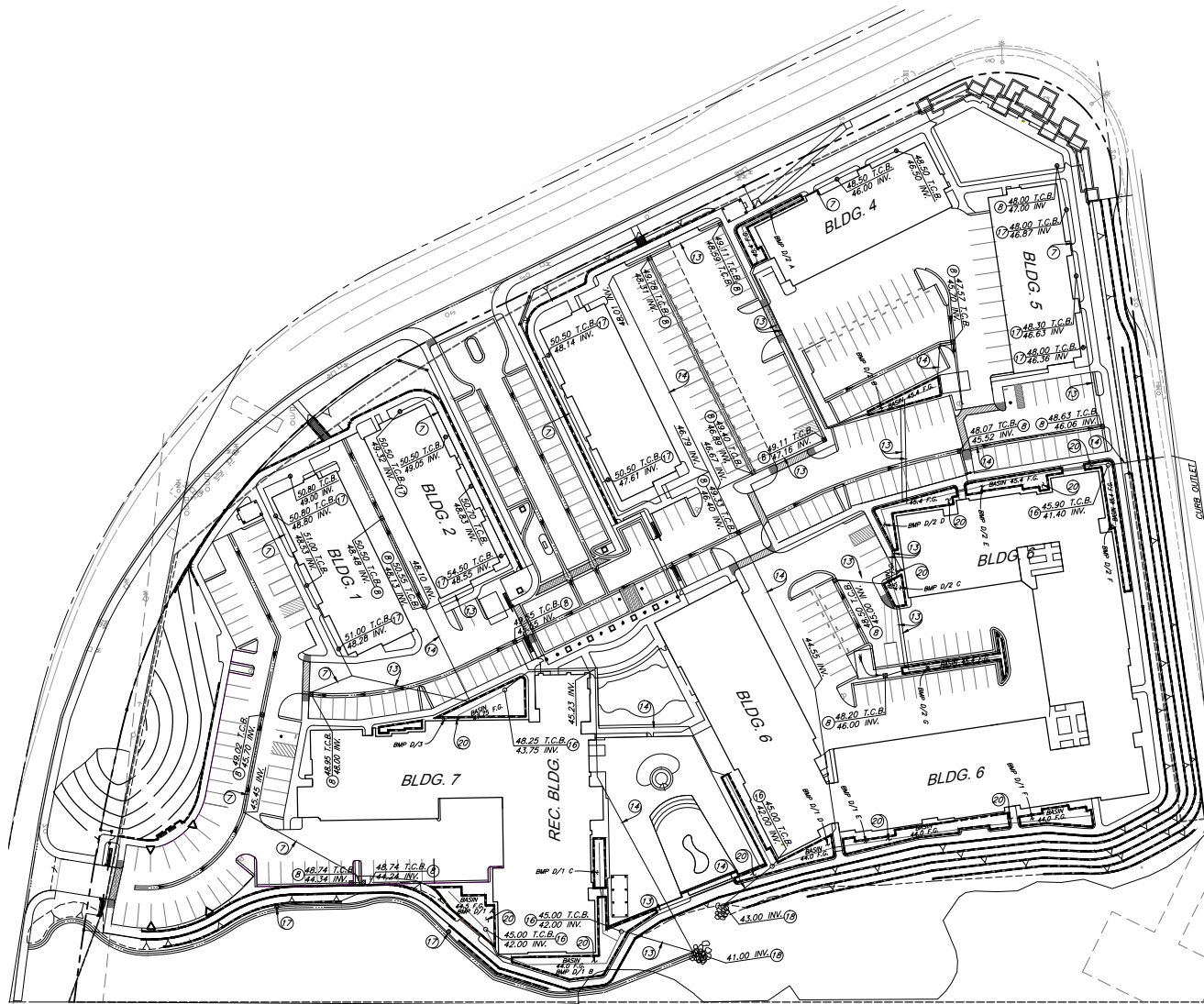


SMITH AND ASSOCIATES, INC.
14000 Meridian Parkway 102
Riverside, California 92518
TEL: (951) 683-3691 FAX: (951) 788-2314

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20
CITY OF RIVERSIDE
PRELIMINARY GRADING PLAN
CRESTVIEW APARTMENTS

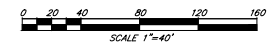
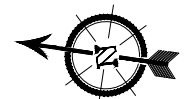
2
OF
6
SHEETS





CONSTRUCTION NOTES

- 7) CONSTRUCT 8" HDPE STORM DRAIN
- 8) CONSTRUCT 24" X 24" DRAIN BOX
- 12) CONSTRUCT SIDE INLET CATCH BASIN
- 13) CONSTRUCT 12" HDPE STORM DRAIN
- 14) CONSTRUCT 18" HDPE STORM DRAIN
- 15) CONSTRUCT 24" HDPE STORM DRAIN
- 16) CONSTRUCT 24" BASIN RISER INLET
- 17) CONSTRUCT 12" LANDSCAPE CATCH BASIN WITH ATRIUM GRATE
- 18) CONSTRUCT 12" MIN. DIA. ANGULAR RIP RAP
- 20) CONSTRUCTION BIO-RETENTION BASIN PER DETAILS HEREON



BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20

CITY OF RIVERSIDE

DRAINAGE PLAN
CRESTVIEW APARTMENTS

4
OF
6
SHEETS



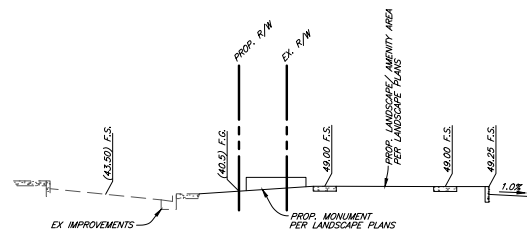
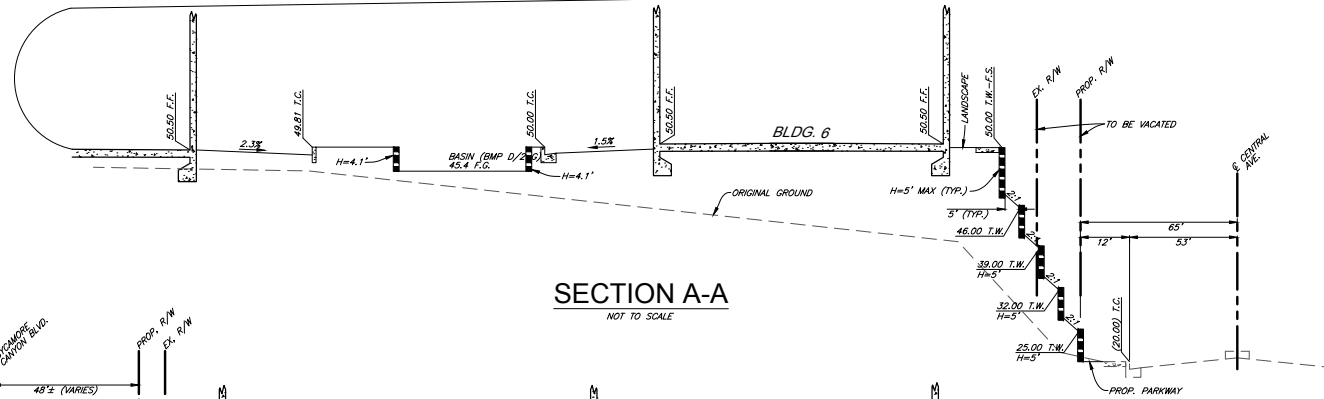
PREPARED BY:



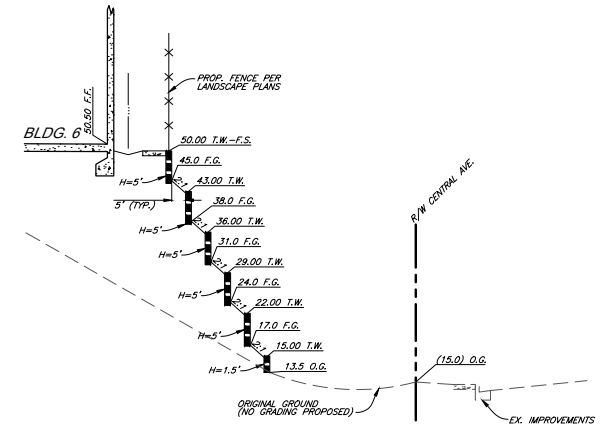
SDHI AND ASSOCIATES INC.
14080 Meridian Parkway 102
Riverside, California 92518
TEL: (951) 683-3691 FAX: (951) 788-2314

SCALE: 1"=40'

DATE: FEBRUARY 2021



SECTION D-D
NOT TO SCALE



BLDG. 6

50.50 F.F.

PROP. FENCE PER LANDSCAPE PLANS

50.00 T.W.-F.S.

45.0 F.G.

43.00 T.W.

3" (TYP.)

38.0 F.G.

36.00 T.W.

H=5' (TYP.)

31.0 F.G.

29.00 T.W.

24.0 F.G.

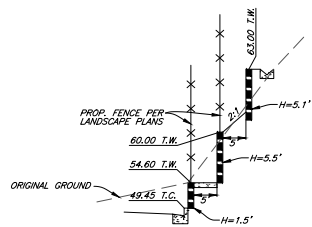
22.00 T.W.

17.0 F.G.

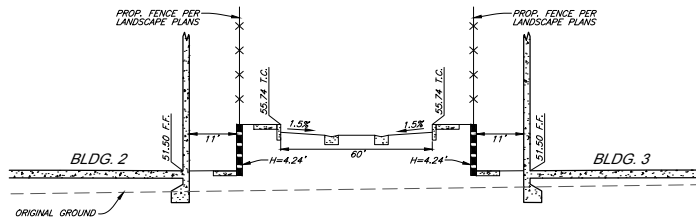
ORIGINAL GROUND (NO GRADING PROPOSED)

(94.5) O.G.

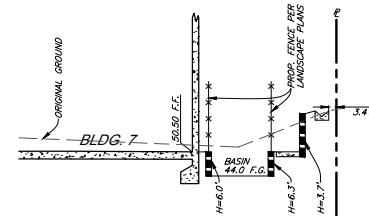
	PREPARED BY:	 SDH AND ASSOCIATES INC. 14080 Medford Parkway 102 Riverside, California 92518 TEL. (951) 683-3691 FAX (951) 788-2314	BUSINESS PHONE NO. 107244 EXT. 80-20-20 CITY OF RIVERSIDE
	SCALE: AS SHOWN DATE: FEBRUARY 2021	SECTIONS AND DETAILS CRESTVIEW APARTMENTS	
			5 OF 6 SHEETS



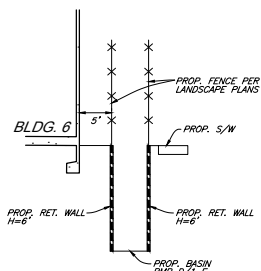
SECTION G-G
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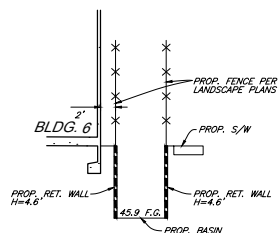
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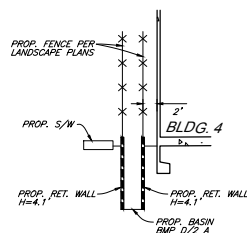
SECTION L-L
NOT TO SCALE



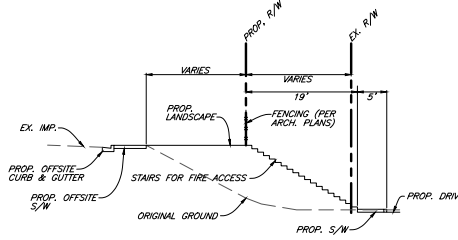
SECTION I-I
SCALE: HORIZ: 1"=10'
VERT: 1"=30'



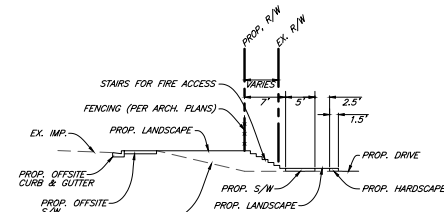
SECTION J-J
SCALE: HORIZ: 1"=10'
VERT: 1"=30'



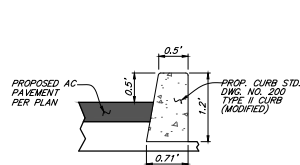
SECTION K-K
SCALE: HORIZ: 1"=10'
VERT: 1"=30'



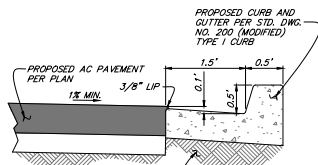
FIRE STAIRWAY DETAIL 1
1"=10'



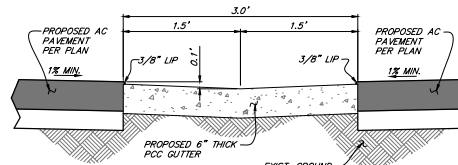
FIRE STAIRWAY DETAIL 2
1"=10'



CURB ONLY
NO SCALE



CURB & GUTTER
NO SCALE



RIBBON GUTTER
NO SCALE

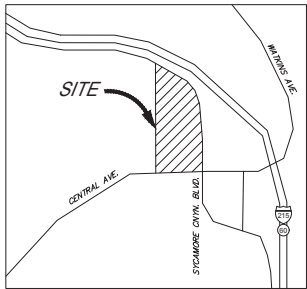


SEAL: SDH AND ASSOCIATES INC.
14080 Meridian Parkway 102
Riverside, California 92518
TEL: (951) 683-3691 FAX: (951) 788-2314
PREPARED BY: SDH
SCALE: AS SHOWN
DATE: JANUARY 2021

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20
CITY OF RIVERSIDE

SECTIONS AND DETAILS
CRESTVIEW APARTMENTS

6
OF
6
SHEETS



VICINITY MAP
NOT TO SCALE

OWNER/APPLICANT

KA ENTERPRISES
55820 OBERLIN DR. STE. 201
SAN DIEGO, CA 92121
TEL (658) 404-6080

ENGINEER

SDH & ASSOCIATES, INC.
14060 MERIDIAN PARKWAY 102
RIVERSIDE, CALIFORNIA 92518
TEL (951) 683-3691
FAX (951) 788-2314

ASSESSORS PARCEL NO.

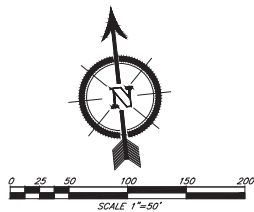
256-050-012-5

SURROUNDING GENERAL PLAN DESIGNATION

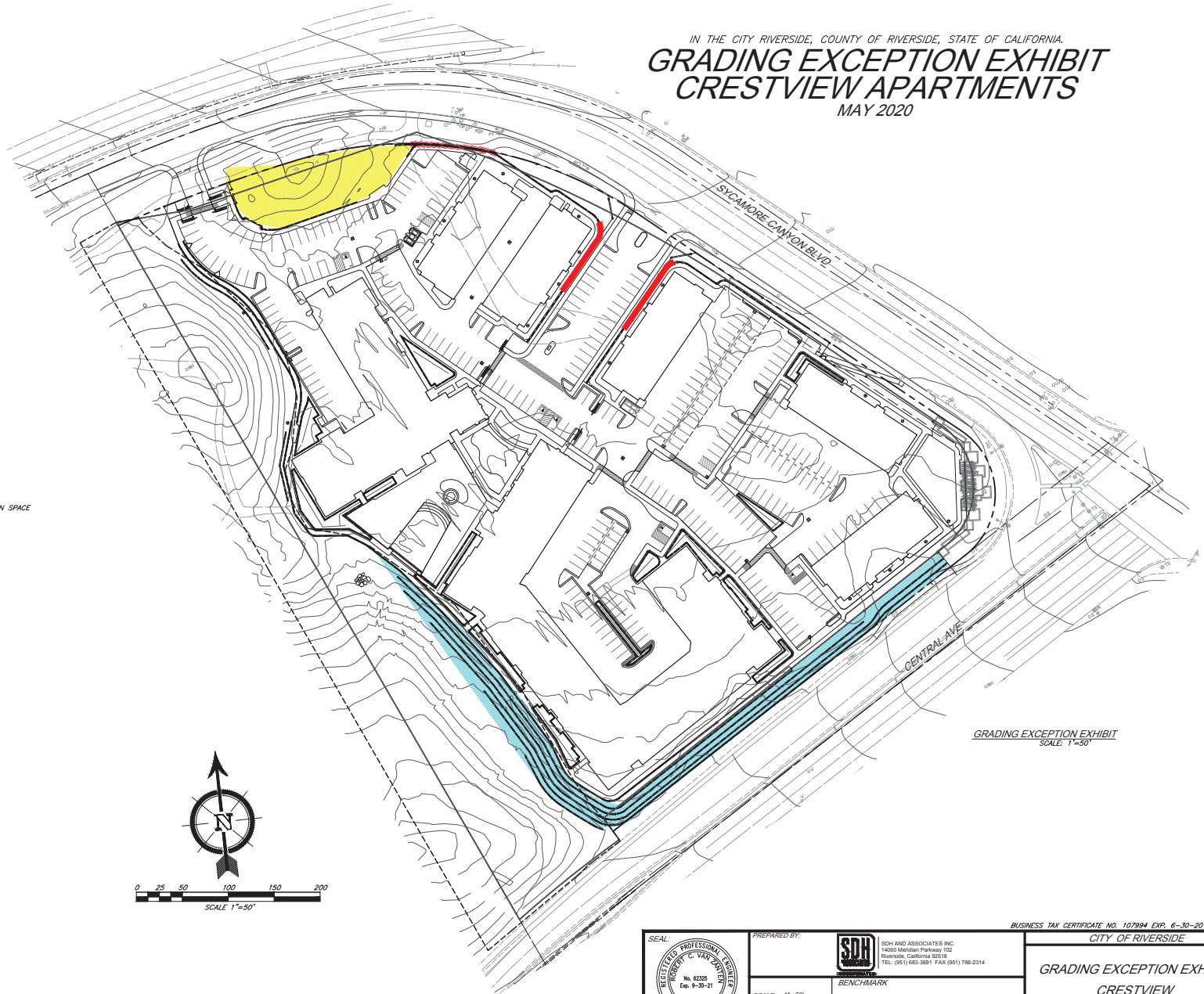
NORTH..... HR - HILLSIDE RESIDENTIAL
EAST..... HR - HILLSIDE RESIDENTIAL
SOUTH..... P - PUBLIC PARK
WEST..... VHDR - VERY HIGH DENSITY RES./ OS - OPEN SPACE

LEGEND

SYMBOL	DESCRIPTION
	SLOPE EXCEEDING 20° IN HEIGHT
	RETAINING WALL EXCEEDING 3' IN HEIGHT
	RETAINING WALL EXCEEDING 6' IN HEIGHT



IN THE CITY RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.
GRADING EXCEPTION EXHIBIT
CRESTVIEW APARTMENTS
MAY 2020



GRADING EXCEPTION EXHIBIT
SCALE: 1"=50'



PREPARED BY:



SDH AND ASSOCIATES INC.
14060 Meridian Parkway 102
Riverside, California 92518
TEL: (951) 683-3691 FAX (951) 788-2314

SCALE: 1"=50'

DATE: MAY 2020

BENCHMARK

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20

CITY OF RIVERSIDE

GRADING EXCEPTION EXHIBIT
CRESTVIEW APARTMENTS

1
OF
1
SHEETS