

EXTERIOR ELEVATION KEYNOTES

MATERIAL LEGEND:

1. EXTERIOR PLASTER WALL
2. ARCHITECTURAL DECORATIVE AWNING
3. VINYL WINDOW
4. ROOF GARDEN
5. GARAGE DOOR
6. METAL RAILING
7. GLASS RAILING
8. ALUMINUM FIXED STOREFRONT GLAZING SYSTEM
9. PAINTED STUCCO PATIO WALL
10. DECORATIVE GATE
11. METAL CANOPY
12. HAND TOOLED JOINT
13. DECORATIVE BAHAMA SHUTTERS



EAST ELEVATION



SOUTH ELEVATION

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

RIVERSIDE, CA

TYPE III - EAST & WEST ELEVATIONS

SCALE : 3/32"= 1'-0"

DATE: 02-05-2021

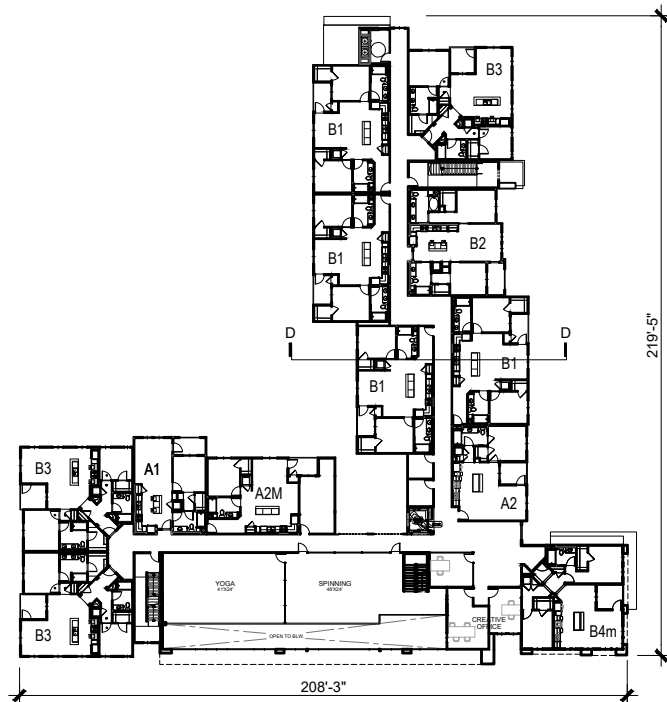
JOB NO.: 2018-549

ARCHITECTS ORANGE

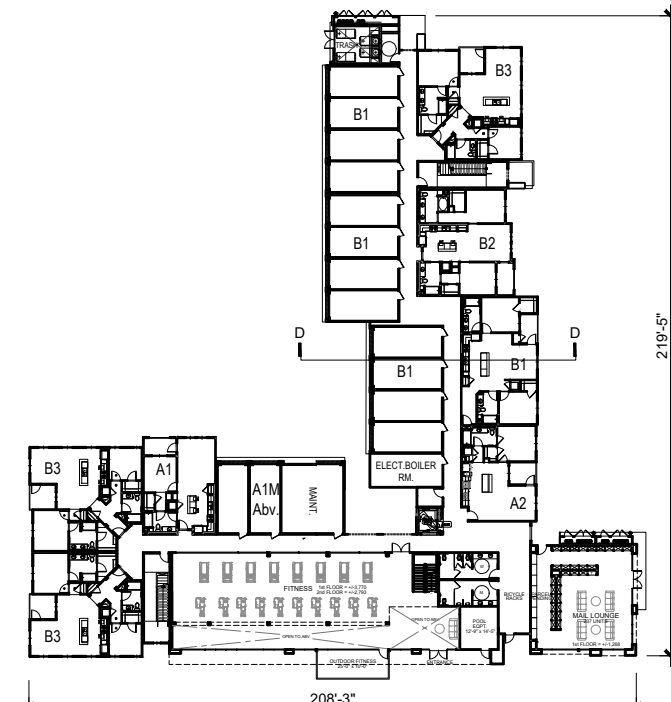
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

A-18





2nd LEVEL FLOOR PLAN



1st LEVEL FLOOR PLAN

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

RIVERSIDE, CA

TYPE III - BUILDING COMPOSITE LEVEL 1 & 2

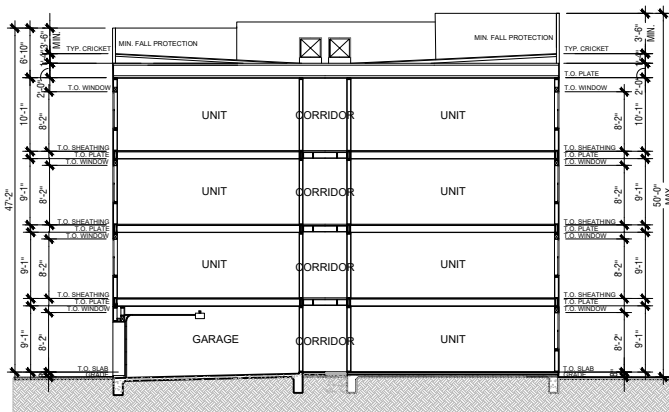
SCALE: 1:20
DATE: 02-05-2021
JOB NO.: 2018-549

ARCHITECTS ORANGE

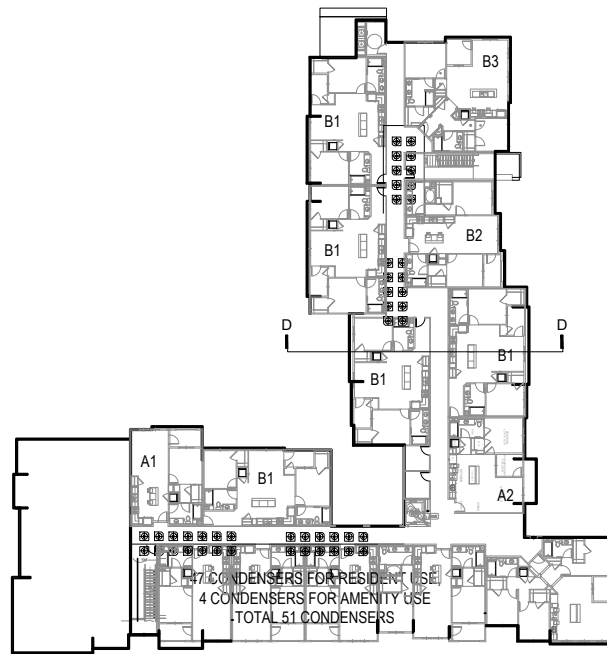
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

A-19





SECTION D-D



ROOF PLAN



3rd & 4th LEVEL FLOOR PLAN

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

RIVERSIDE, CA

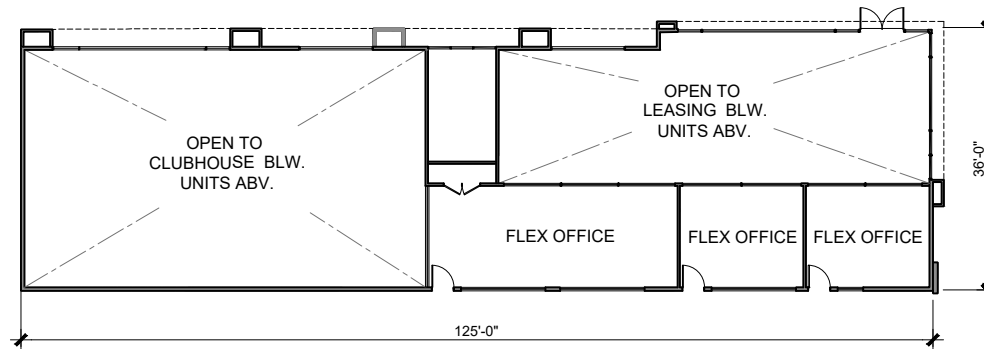
TYPE III - BUILDING COMPOSITE
LEVEL 3, 4 , ROOF & SECTION

SCALE: 1:20
DATE: 02-05-2021
JOB NO.: 2018-549

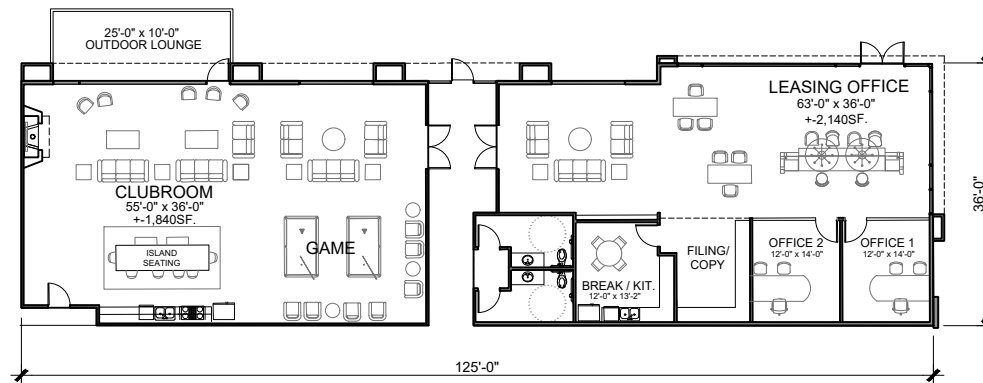
ARCHITECTS ORANGE
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

A-20





SECOND FLOOR PLAN
TOTAL=+/-1,067 SQ.FT.



FIRST FLOOR PLAN
TOTAL=+/-3,980 SQ.FT.

CRESTVIEW APARTMENTS

RIVERSIDE, CA

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

LEASING / CLUBHOUSE FLOOR PLANS

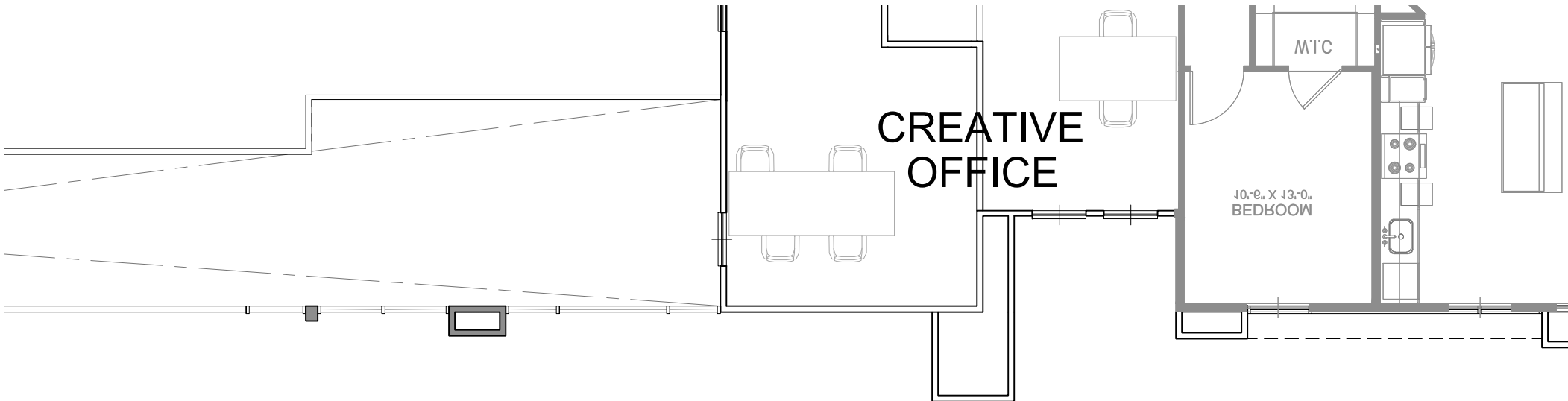
SCALE : 1/8"= 1'-0"
DATE: 02-05-2021
JOB NO.: 2018-549

ARCHITECTS ORANGE

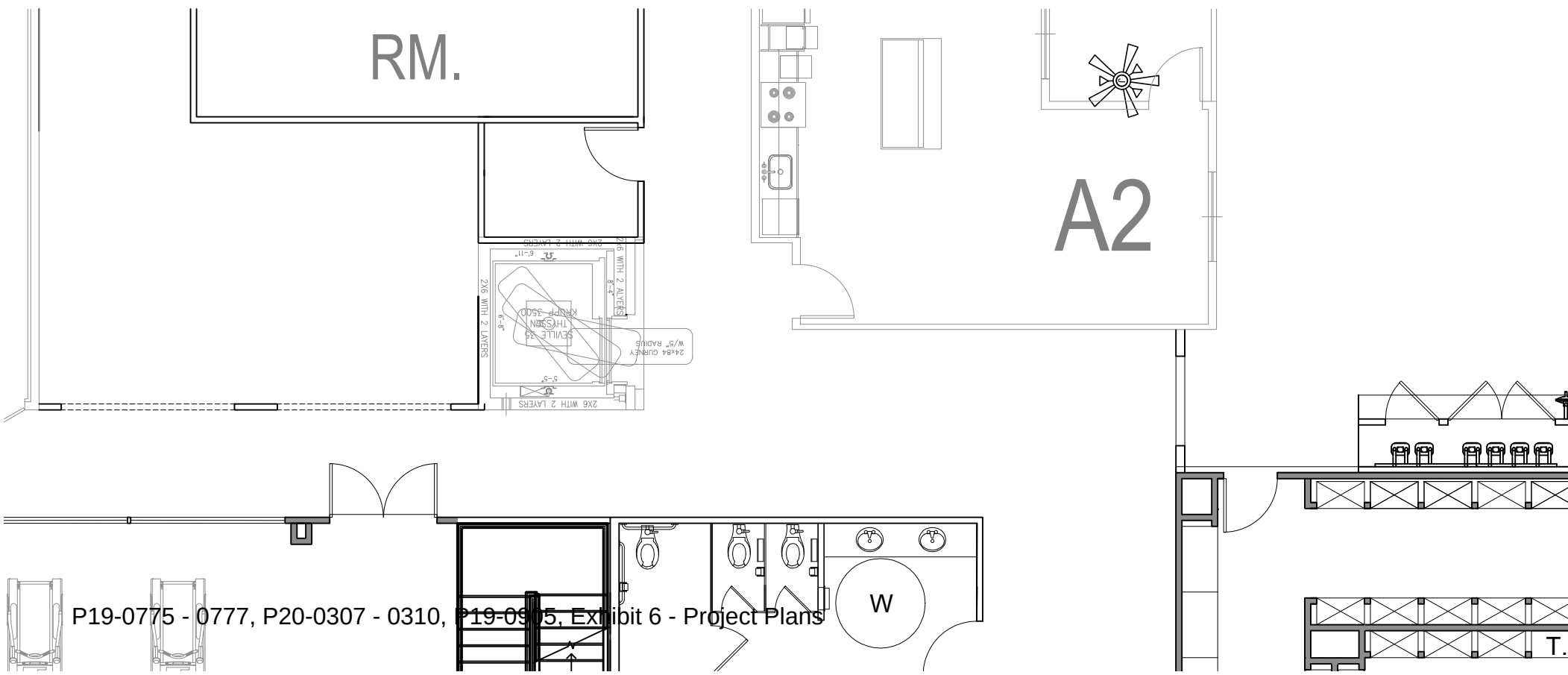
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

A-21

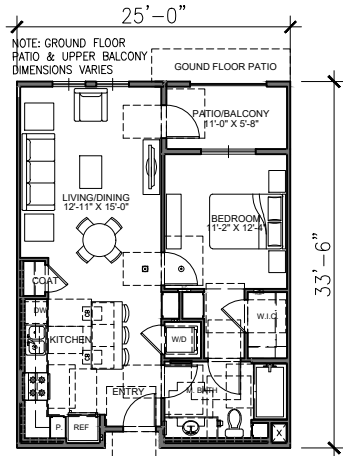




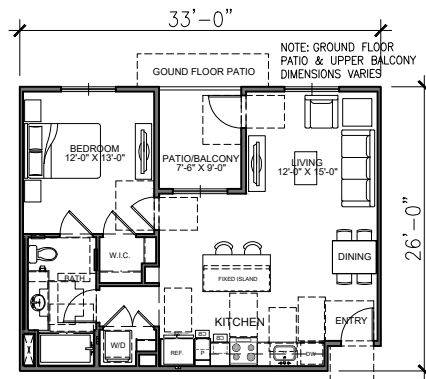
160'-2"



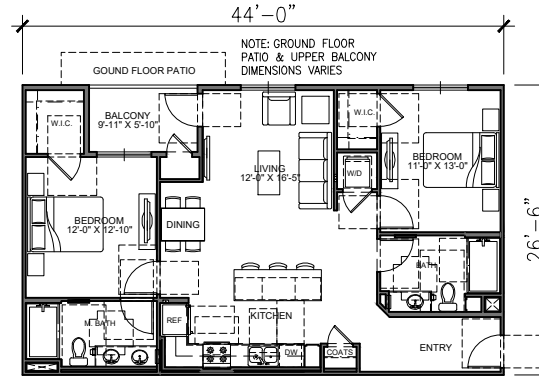
P19-0775 - 0777, P20-0307 - 0310, P19-0905, Exhibit 6 - Project Plans



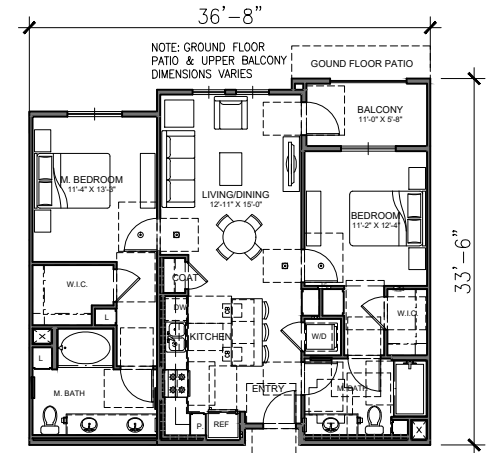
UNIT A1 / 1BR/1BA:
LIVABLE: 760 SQ. FT.
PATIO/DECK: 63 SQ.FT.



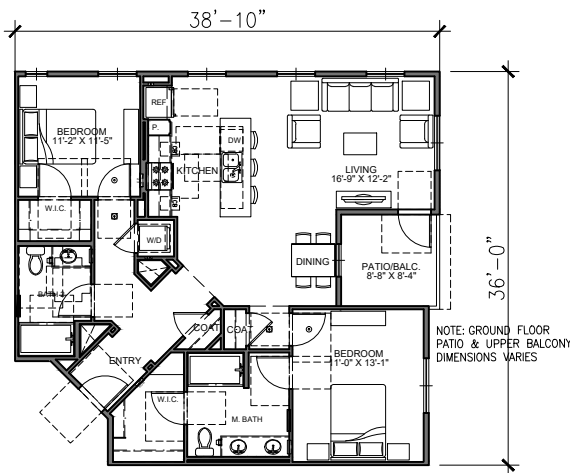
UNIT A2 / 1BR/1BA:
LIVABLE: 777 SQ. FT.
PATIO/DECK: 68 SQ.FT.



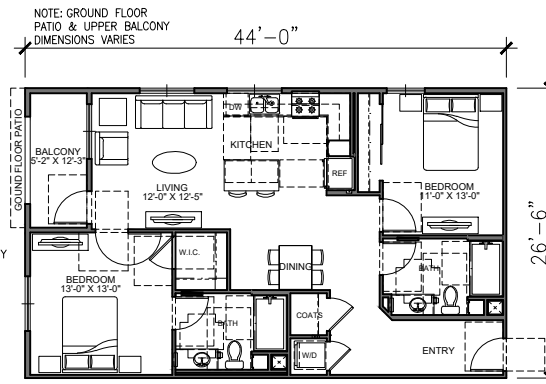
UNIT B1: 2BR/2BA
LIVABLE: 1,097 SQ. FT.
PATIO/BALCONY: 58 SQ.FT.



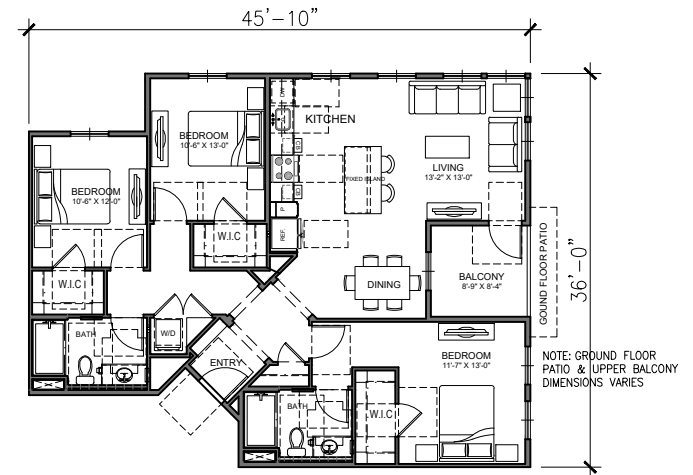
UNIT B2: 2BR/2BA
LIVABLE: 1,102 SQ. FT.
DECK: 63 SQ.FT.



UNIT B3: 2BR/2BA
LIVABLE: 1,241 SQ. FT.
PATIO/DECK: 73 SQ.FT.



UNIT B4: 2BR/2BA
LIVABLE: 1,094 SQ. FT.
PATIO/DECK: 64 SQ.FT.



UNIT C1: 3BR/2BA
LIVABLE: 1,389 SQ. FT.
PATIO/DECK: 73 SQ.FT.

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

RIVERSIDE, CA

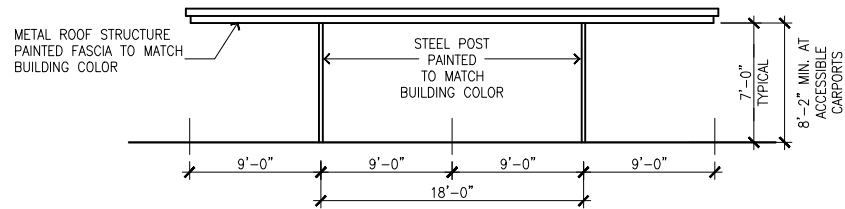
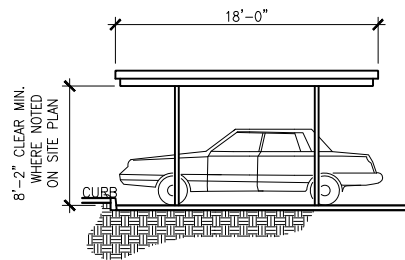
UNIT PLANS DATE: 02-05-2021
JOB NO.: 2018-549

ARCHITECTS ORANGE

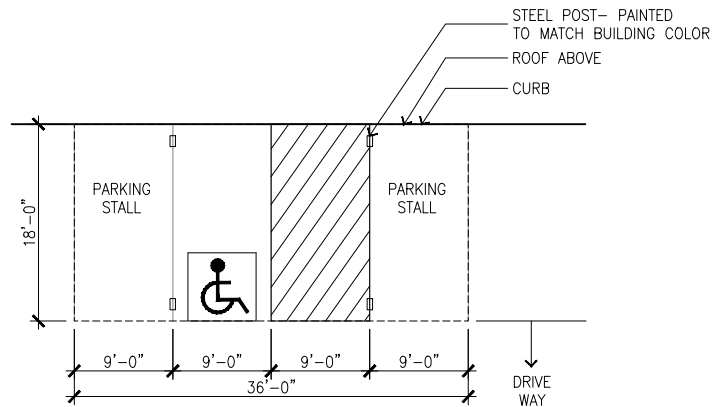
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

A-23

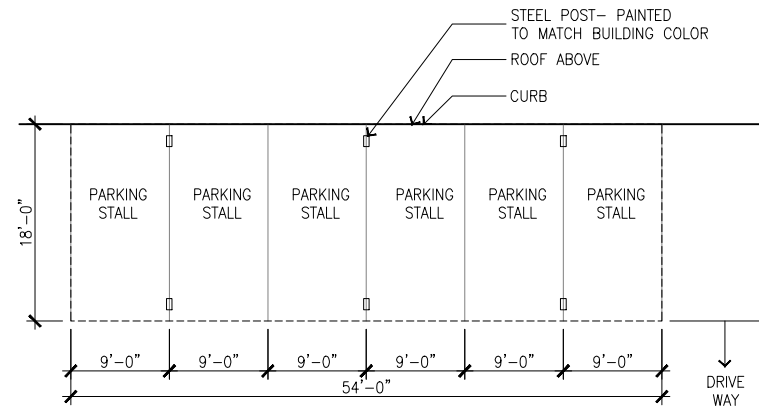




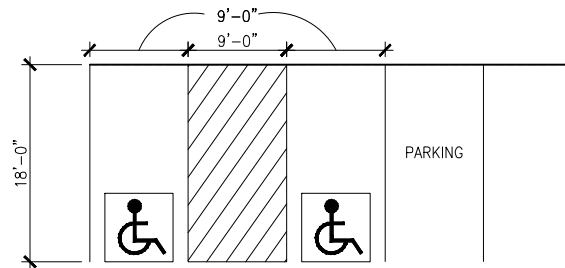
STANDARD CARPORT ELEVATIONS



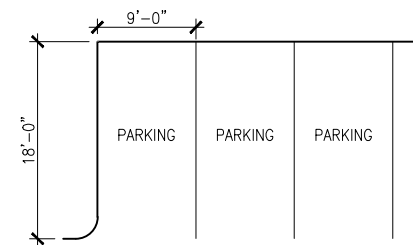
STANDARD HANDICAP CARPORT PLAN



STANDARD CARPORT PLAN



STANDARD HANDICAP PARKING PLAN



STANDARD PARKING PLAN

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
(858) 404-6080

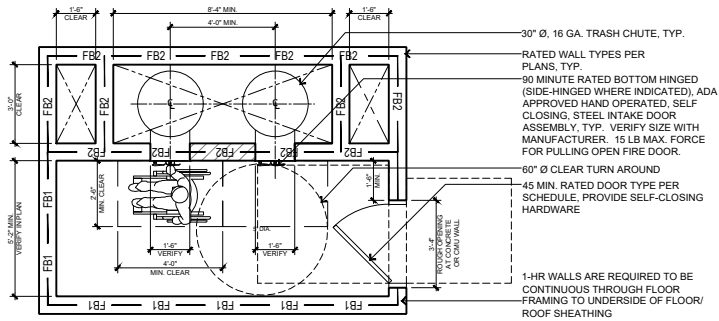
RIVERSIDE, CA

PARKING EXHIBIT DATE: 02-05-2021
JOB NO.: 2018-549

ARCHITECTS ORANGE
144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

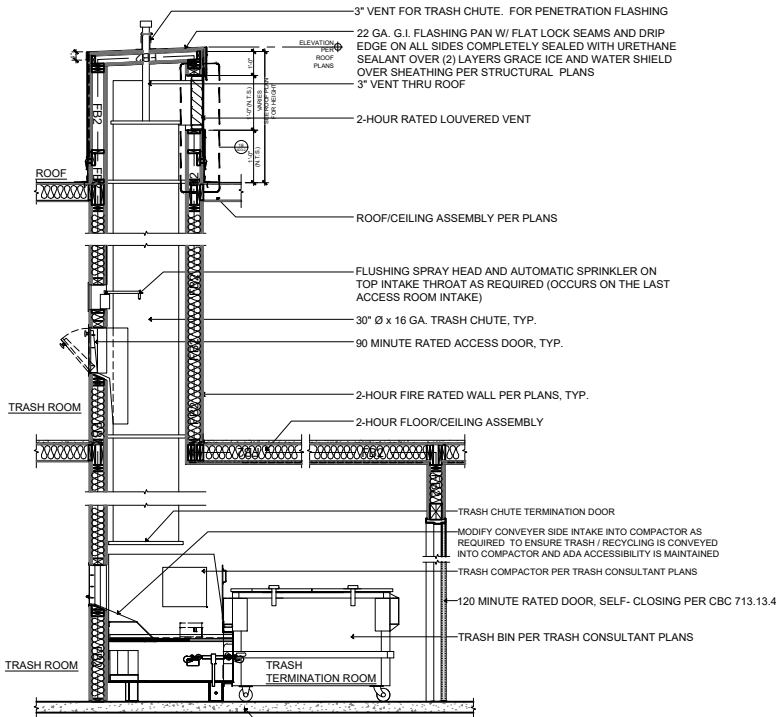
A-24





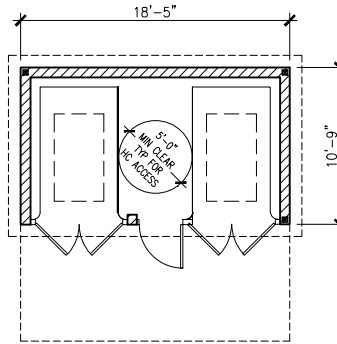
- NOTES:
 1. ENSURE TRASH CHUTE, HARDWARE, LEVER AND DOORS CONFORM TO ALL CBC AND FHA REQUIREMENTS.
 2. VERIFY DOOR ROUGH OPENINGS PRIOR TO MASONRY WALL PLACEMENT, WHERE OCCURS.

TRASH CHUTE ROOM TYP. CLEARANCES

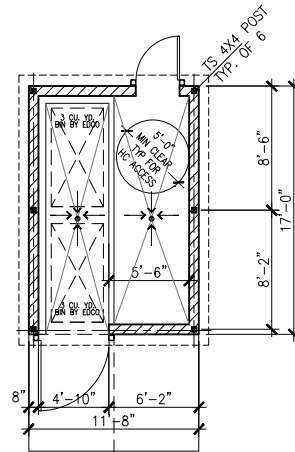


- NOTES:
 1. INSTALL ALL COMPONENTS OF TRASH CHUTE, INCLUDING DOORS AND EQUIPMENT PER MANUFACTURER'S RECOMMENDATIONS.

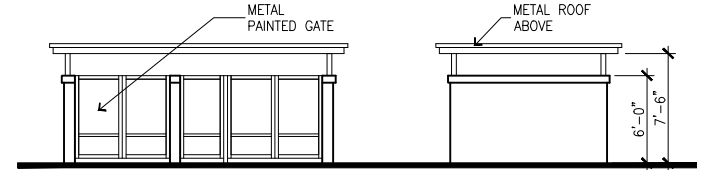
TRASH ROOM - CHUTE SECTION (FRAMED WALLS)



SIDE BY SIDE TRASH / RECYCLE BINS

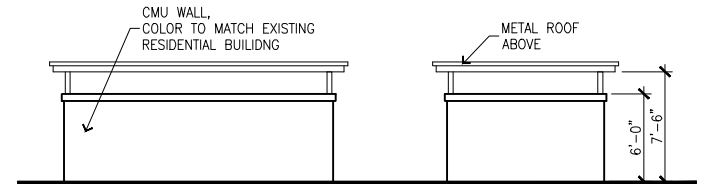


2 BIN TRASH / RECYCLE ENCLOSURE



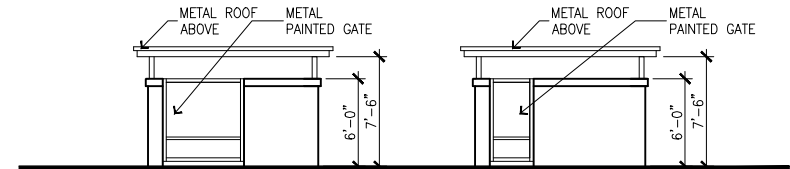
FRONT ELEVATION

RIGHT ELEVATION



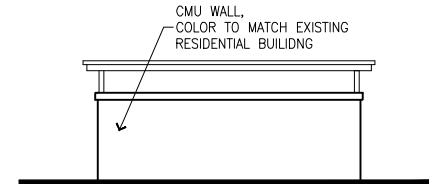
REAR ELEVATION

LEFT ELEVATION



FRONT ELEVATION

REAR ELEVATION



SIDE ELEVATION

CRESTVIEW APARTMENTS

KA ENTERPRISES

5820 OBERLIN DRIVE SUITE 201, RIVERSIDE CA 92121
 (858) 404-6080

RIVERSIDE, CA

TRASH ENCLOSURE EXHIBIT

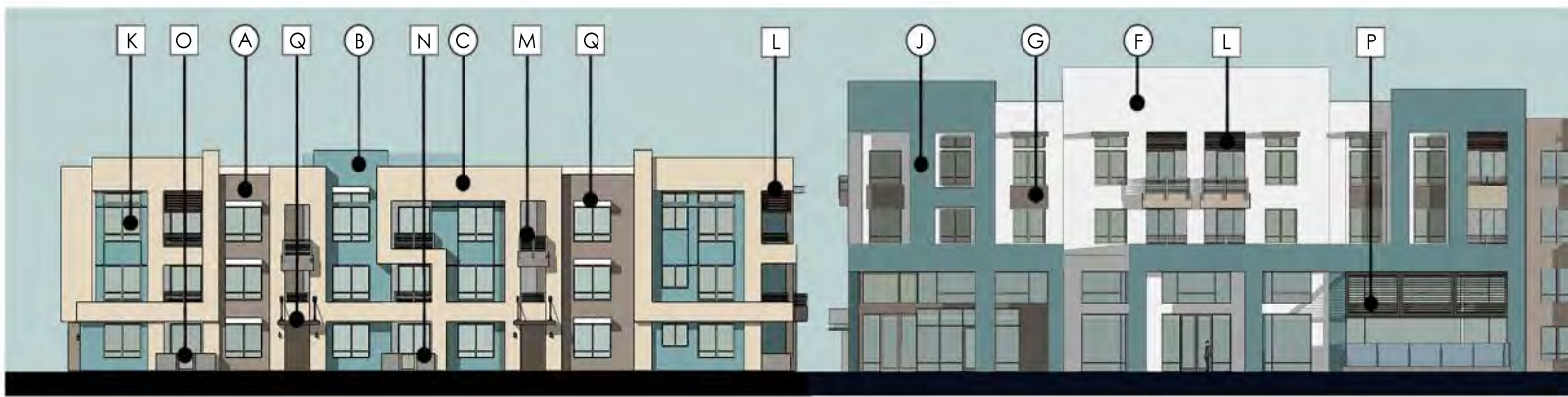
DATE: 02-05-2021
 JOB NO.: 2018-549

ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CA 92866
 (714) 639-9860

A-25





TYPE I ELEVATION

TYPE III - FITNESS ELEVATION



TYPE II ELEVATION



K

VINYL WINDOWS - WHITE



N

EXTERIOR PLASTER



L

ALUMINUM BALCONY LOUVER



O

FABRICATED METAL GATE



M

BALCONY METAL RAILINGS



P

DECORATIVE BAHAMA SHUTTERS



A

STUCCO,
SHERWIN WILLIAMS
SW 7037 BALANCE
BEIGE



B

STUCCO,
SHERWIN WILLIAMS
SW 0016 BILLIARD GREEN



C

STUCCO,
SHERWIN WILLIAMS
SW 6396 DIFFERENT GOLD



D

STUCCO,
SHERWIN WILLIAMS
SW 7042 SHOJI WHITE



E

STUCCO,
SHERWIN WILLIAMS
SW 7530 BARCELONA
BEIGE



F

STUCCO,
SHERWIN WILLIAMS
SW 7570 EGRET WHITE



G

STUCCO,
SHERWIN WILLIAMS
SW 0038 LIBRARY
PEWTER



H

STUCCO,
SHERWIN WILLIAMS
SW 7635 PALISADE



I

STUCCO,
SHERWIN WILLIAMS
SW 9089 LLAMA WOOL



J

STUCCO,
SHERWIN WILLIAMS
SW 7612 MOUNTAIN
STREAM



Q

METAL CANOPY

CRESTVIEW APARTMENTS

RIVERSIDE, CA

KA ENTERPRISES

5820 CRENSHAW BLVD, SUITE 207, RIVERSIDE, CA 92506
(858) 404-6080

MATERIAL BOARD DATE: 06-02-2020
JOB NO.: 2018-549

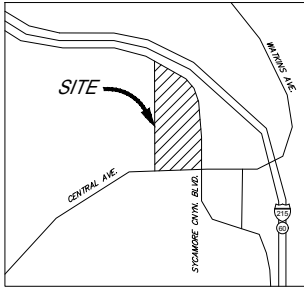
ARCHITECTS ORANGE

144 NORTH ORANGE ST., ORANGE, CA 92866
(714) 639-9860

A-26



IN THE CITY RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.
PRELIMINARY GRADING PLAN
CRESTVIEW APARTMENTS
 FEBRUARY 2021



VICINITY MAP
NOT TO SCALE

OWNER/APPLICANT

KA ENTERPRISES
 55820 OBERLIN DR. STE. 201
 SAN DIEGO, CA 92121
 TEL (858) 404-6080
 ATTN: EUGENE MARINI

ENGINEER

SDH & ASSOCIATES, INC.
 14080 MERIDIAN PARKWAY 102
 RIVERSIDE, CALIFORNIA 92518
 TEL (951) 683-3691
 FAX (951) 788-2314
 ATTN: STEPHEN SOMMERS

ARCHITECT

ARCHITECTS ORANGE
 321 CHAPMAN AVE
 ORANGE, CA 92666
 TEL (714) 639-9860

SOILS ENGINEER

ARCHITECTS ORANGE
 321 CHAPMAN AVE
 ORANGE, CA 92666
 TEL (714) 639-9860

UTILITY PURVEYORS

WATER.....CITY OF RIVERSIDE
 GAS.....SO. CALIF. GAS
 ELECTRICAL.....CITY OF RIVERSIDE
 TELEPHONE.....PACIFIC BELL
 SEWER.....CITY OF RIVERSIDE

ZONING AND LAND USE

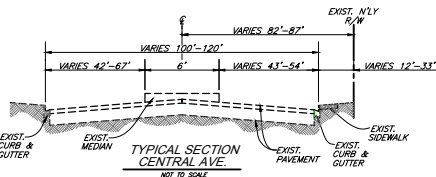
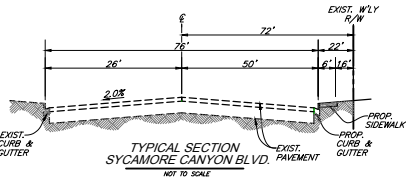
EXISTING ZONING: C2 COMMERCIAL GENERAL ZONE
 PROPOSED ZONING: R-4

ASSESSORS PARCEL NO.

256-050-012-5

SCHOOL DISTRICT

RIVERSIDE UNIFIED
 SCHOOL DISTRICT



SURROUNDING GENERAL PLAN DESIGNATION

NORTH.....HR - HILLSIDE RESIDENTIAL
 EAST.....HR - HILLSIDE RESIDENTIAL
 SOUTH.....P - PUBLIC PARK
 WEST.....VHQR - VERY HIGH DENSITY RES./ OS - OPEN SPACE

SURROUNDING ZONING

NORTH.....RC RESIDENTIAL COMMERCIAL
 EAST.....COMMERCIAL
 SOUTH.....(COUNTY) C-P-S, W-1-B, R-2-BD, R-1-BD
 WEST.....R1 RESIDENTIAL CONSERVATION ZONE
 R-3-3000 MULTI FAMILY RESIDENTIAL

PROJECT INFO

GROSS SITE AREA: 9.77 AC.
 UNIT COUNT: 237
 PARKING REQUIRED: 427
 PARKING PROVIDED: 427

SHEET INDEX

SHEET 1: TITLE SHEET
 SHEET 2: PRELIMINARY GRADING PLAN
 SHEET 3: PRELIMINARY GRADING PLAN
 SHEET 4: DRAINAGE PLAN
 SHEET 5: SECTIONS AND DETAILS
 SHEET 6: SECTIONS AND DETAILS

LEGEND

T.C.B. - TOP CATCH BASIN
 F.G. - FINISHED GRADE
 F.L. - FLOW LINE
 H.P. - HIGH POINT
 EXIST. - EXISTING
 P.E. - PAD ELEVATION
 G.B. - GRADE BREAK
 - STEM WALL HEIGHT
 - FIRE HYDRANT

--- TRACT BOUNDARY
 --- CENTERLINE
 --- CURB AND GUTTER
 --- 1280' EXISTING CONTOUR LINE
 --- LOT LINE
 --- SLOPE

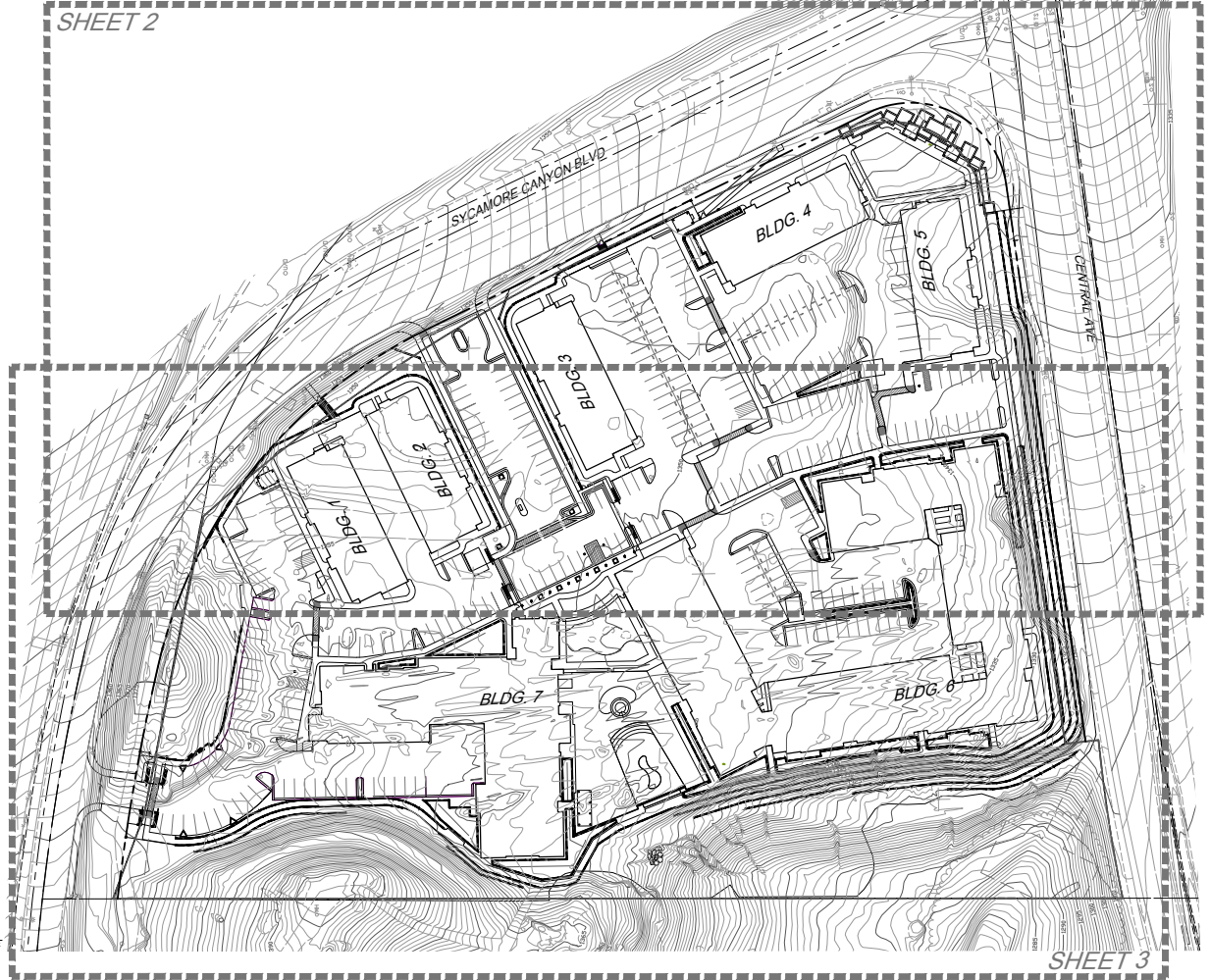
CONSTRUCTION NOTES

- CONSTRUCT P.C.C. DRIVE ISLE & PARKING AREAS
- CONSTRUCT 6" CURB ONLY (PER DETAIL ON SHEET 5)
- CONSTRUCT 6" CURB AND GUTTER (PER DETAIL ON SHEET 5)
- PROPOSED MODULAR WETLANDS
- CONSTRUCT P.C.C. SIDEWALK (FINISHED SURFACE MATERIALS PER ARCH. PLANS)
- CONSTRUCT 3" RIBBON GUTTER
- CONSTRUCT 8" HDPE STORM DRAIN
- CONSTRUCT 24" X 24" DRAIN BOX
- CONSTRUCT GATE PER ARCH. PLANS
- CONSTRUCT A.D.A. COMPLIANT HANDICAP RAMP
- CONSTRUCT RETAINING WALL
- CONSTRUCT SIDE INLET CATCH BASIN
- CONSTRUCT 12" HDPE STORM DRAIN
- CONSTRUCT 18" HDPE STORM DRAIN
- CONSTRUCT 24" HDPE STORM DRAIN
- CONSTRUCT 24" BASIN RISER INLET
- CONSTRUCT 12" LANDSCAPE CATCH BASIN WITH ATRIUM GRATE
- CONSTRUCT 12" MIN. DIA. ANGULAR RIP RAP
- 2" WIDE 12" DEEP CONCRETE "V" DITCH
- CONSTRUCT BIO-RETENTION BASIN PER DETAILS ON SHEET 4

TEMPORARY CONSTRUCTION FENCE NOTE:

PRIOR TO MOBILIZATION OF ANY GRADING EQUIPMENT ON THE PROJECT SITE, A TEMPORARY CONSTRUCTION BOUNDARY SILT FENCE SHALL BE INSTALLED ALONG THE COMMON BOUNDARY BETWEEN THE PROJECT BOUNDARY AND THE PUBLIC LANDS/ LANDSCAPE OR AT THE GRADING LINE LIMIT IF IT IS FURTHER THAN 10' FROM THE PARK LAND BOUNDARY. THE FENCE SHALL BE MINIMUM 6" TALL CHAIN LINK WITH GEOTEXTILE FABRIC ATTACHED, INSTALLED TO PREVENT ANY ENTRY OF CONSTRUCTION EQUIPMENT AND WORKERS ON TO THE PUBLIC LANDS AND TO PREVENT SILT FROM LEAVING THE PROJECT SITE. NO VEHICLES OR EQUIPMENT SHALL ENTER PARK LANDS AND NO GRADING SHALL TAKE PLACE ON PUBLIC PARK LAND

SHEET 2



SHEET 3

INDEX MAP
SCALE 1"=50'



0 25 50 100 150 200
SCALE 1"=50'



PREPARED BY:



SDH & ASSOCIATES, INC.
 14080 MERIDIAN PARKWAY 102
 RIVERSIDE, CALIFORNIA 92518
 TEL: (951) 683-3691 FAX: (951) 788-2314

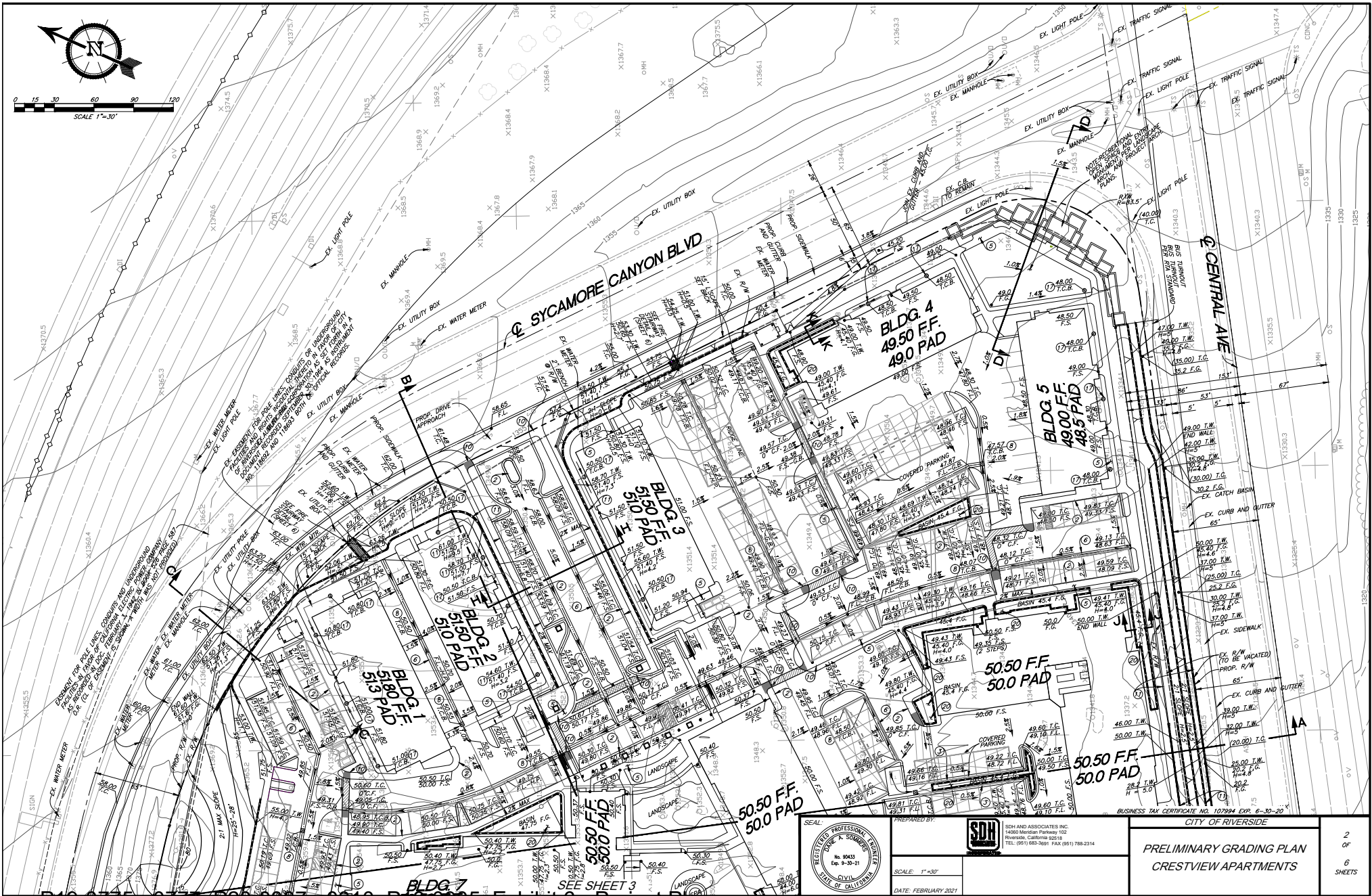
SCALE: 1"=50'
 DATE: FEBRUARY 2021

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20

CITY OF RIVERSIDE

PRELIMINARY GRADING PLAN
CRESTVIEW APARTMENTS

1
OF
6
SHEETS



P19-0775 - 0777, P20-0307 - 0310, P19-0905, Exhibit 6 - Project Plans



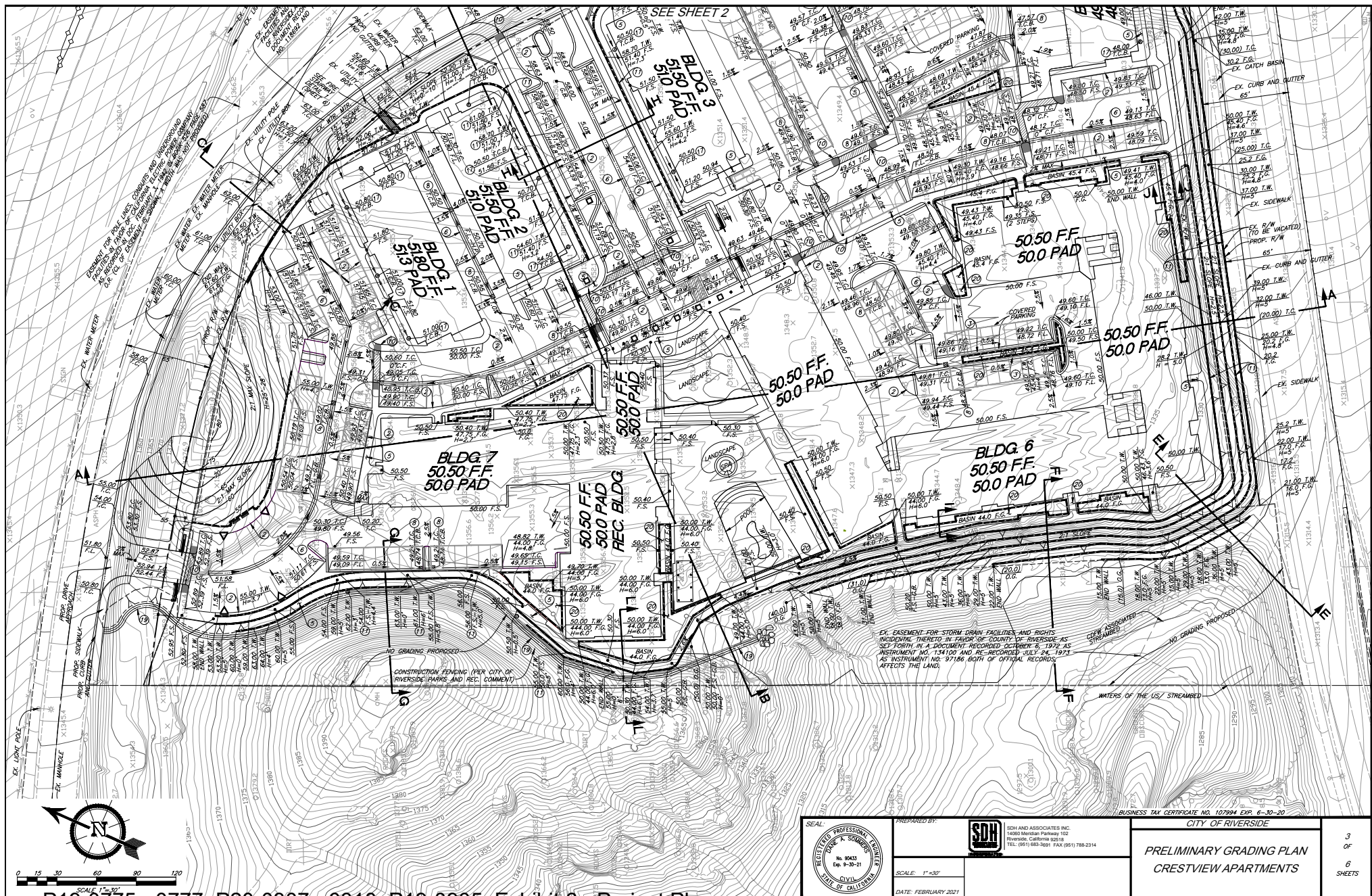
PREPARED BY:
SDH
SCALE: 1"=30"
DATE: FEBRUARY 2021

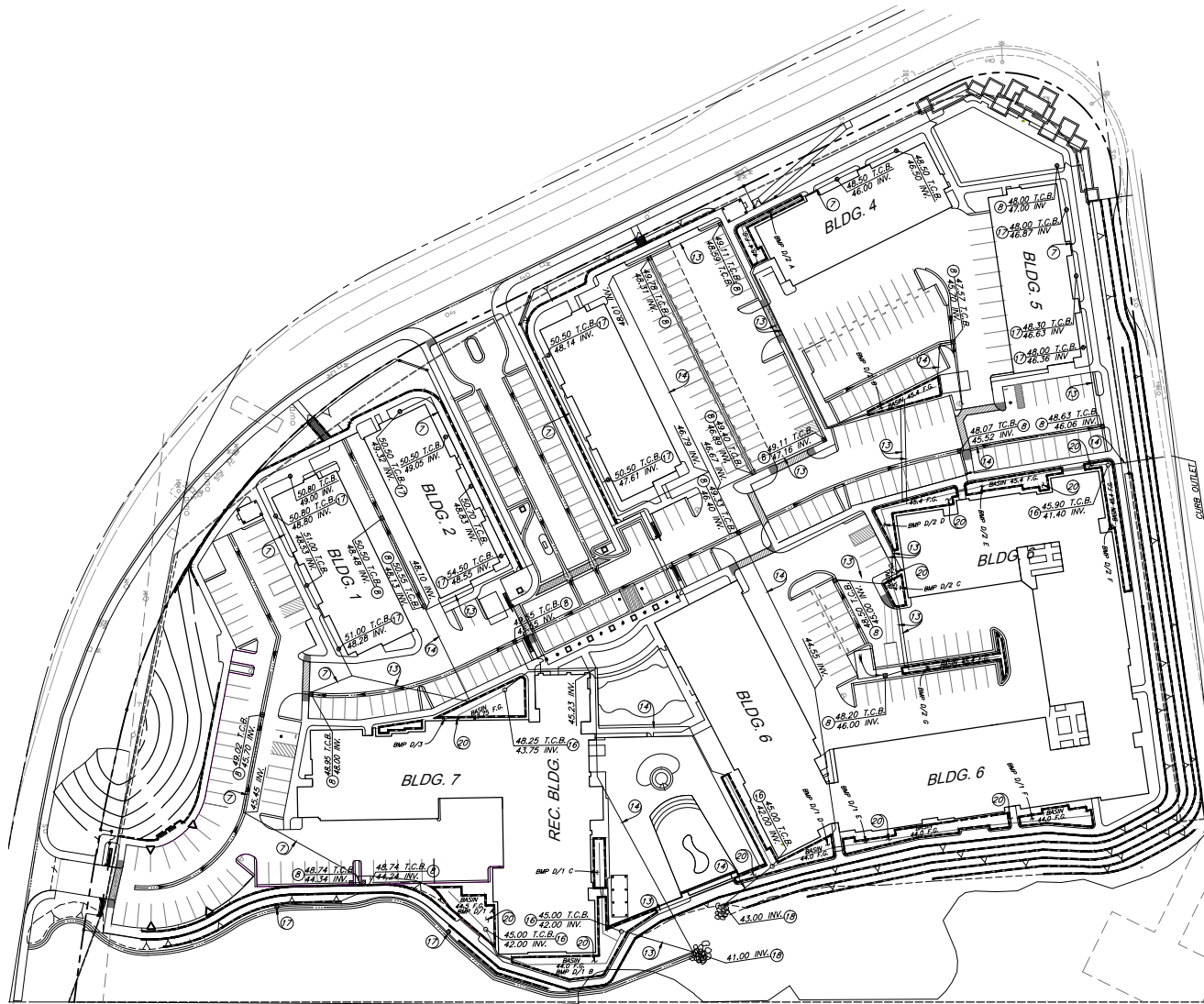


SDH AND ASSOCIATES INC.
14000 Meridian Parkway 102
Riverside, California 92518
TEL: (951) 683-3691 FAX: (951) 788-2314

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20
CITY OF RIVERSIDE
PRELIMINARY GRADING PLAN
CRESTVIEW APARTMENTS

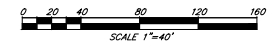
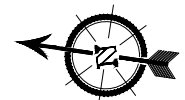
2
OF
6
SHEETS





CONSTRUCTION NOTES

- ⑦ CONSTRUCT 8" HOPE STORM DRAIN
- ⑧ CONSTRUCT 24" X 24" DRAIN BOX
- ⑫ CONSTRUCT SIDE INLET CATCH BASIN
- ⑬ CONSTRUCT 12" HOPE STORM DRAIN
- ⑭ CONSTRUCT 18" HOPE STORM DRAIN
- ⑮ CONSTRUCT 24" HOPE STORM DRAIN
- ⑯ CONSTRUCT 24" BASIN RISER INLET
- ⑰ CONSTRUCT 12" LANDSCAPE CATCH BASIN WITH ATRIUM GRATE
- ⑱ CONSTRUCT 12" MIN. DIA. ANGULAR RIP RAP
- ⑳ CONSTRUCTION BIO-RETENTION BASIN PER DETAILS HEREON



BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20

CITY OF RIVERSIDE

DRAINAGE PLAN
CRESTVIEW APARTMENTS

4
OF
6
SHEETS



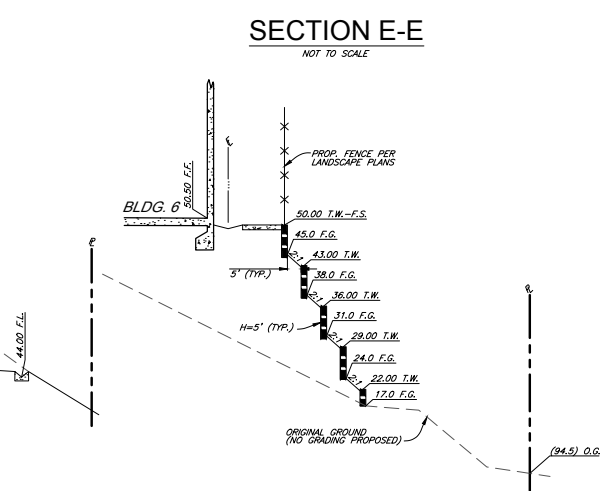
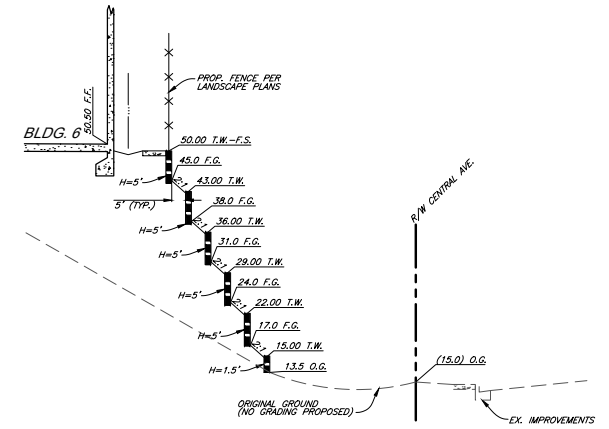
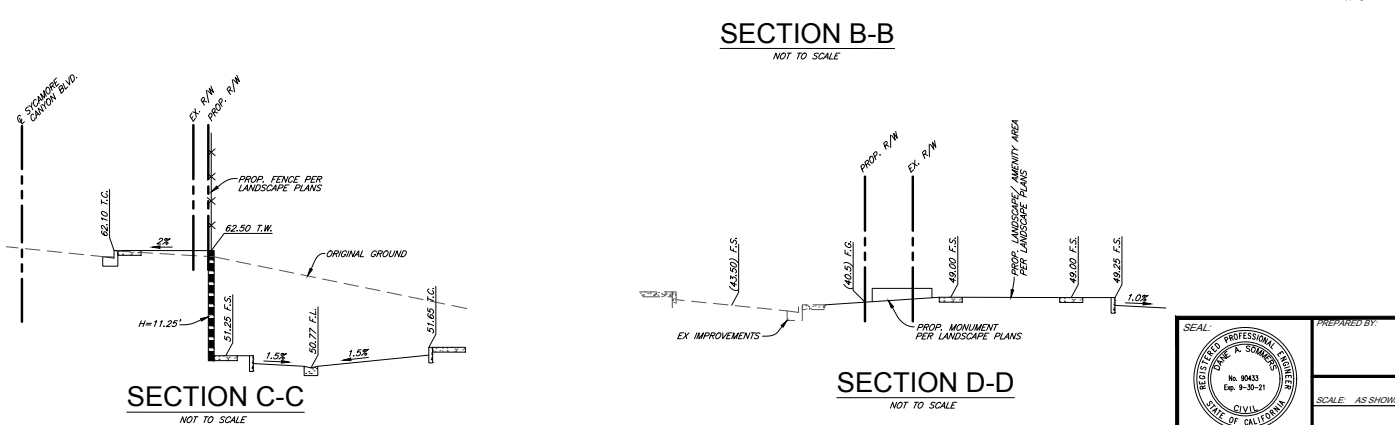
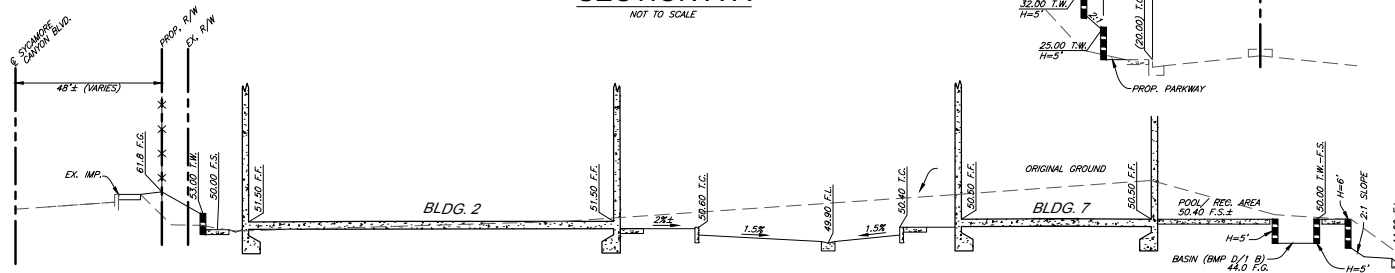
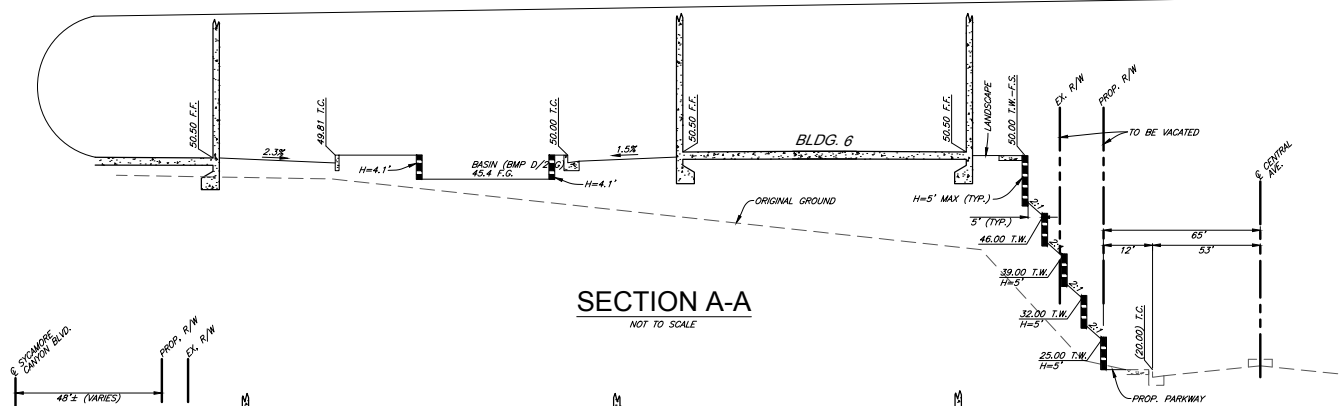
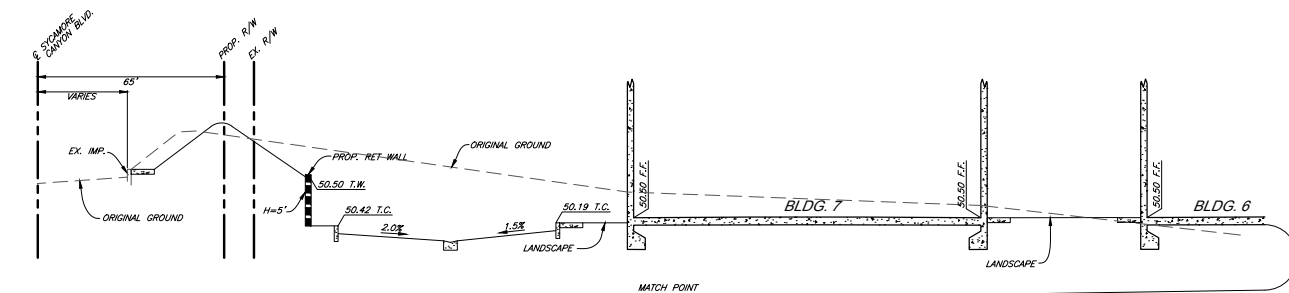
PREPARED BY:

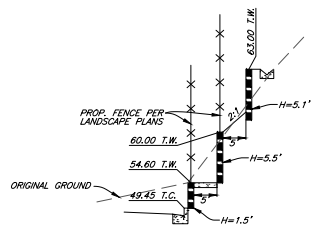


SDHI AND ASSOCIATES INC.
14080 Meridian Parkway 102
Riverside, California 92518
TEL: (951) 683-3691 FAX: (951) 788-2314

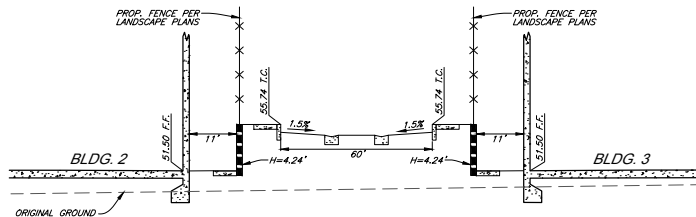
SCALE: 1"=40'

DATE: FEBRUARY 2021

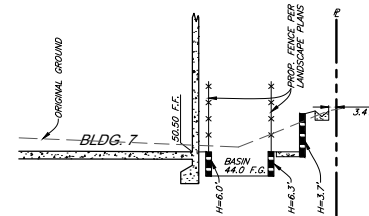




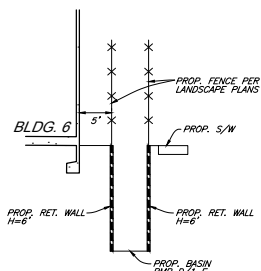
SECTION G-G
NOT TO SCALE



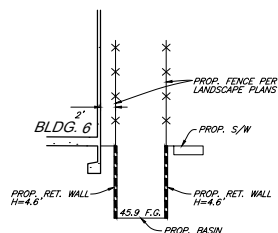
SECTION H-H
NOT TO SCALE



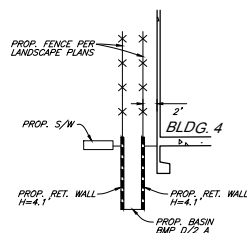
SECTION L-L
NOT TO SCALE



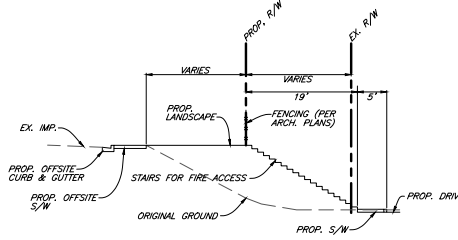
SECTION I-I
SCALE: HORIZ: 1"=10'
VERT: 1"=30'



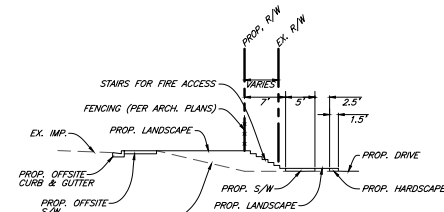
SECTION J-J
SCALE: HORIZ: 1"=10'
VERT: 1"=30'



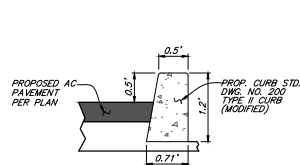
SECTION K-K
SCALE: HORIZ: 1"=10'
VERT: 1"=30'



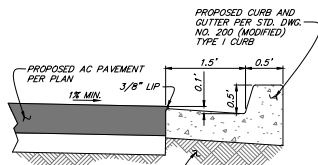
FIRE STAIRWAY DETAIL 1
1"=10'



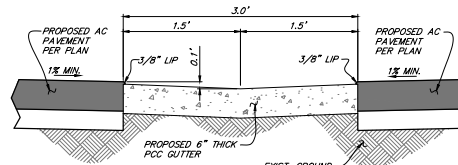
FIRE STAIRWAY DETAIL 2
1"=10'



CURB ONLY
NO SCALE

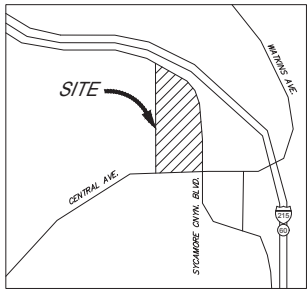


CURB & GUTTER
NO SCALE



RIBBON GUTTER
NO SCALE

SEAL: 	PREPARED BY: SDH AND ASSOCIATES INC. 14080 Meridian Parkway 102 Riverside, California 92518 TEL: (951) 683-3691 FAX: (951) 788-2314	BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20 CITY OF RIVERSIDE	6 OF 6 SHEETS
	SCALE: AS SHOWN DATE: JANUARY 2021	SECTIONS AND DETAILS CRESTVIEW APARTMENTS	



VICINITY MAP
NOT TO SCALE

OWNER/APPLICANT

KA ENTERPRISES
55820 OBERLIN DR. STE. 201
SAN DIEGO, CA 92121
TEL (658) 404-6080

ENGINEER

SDH & ASSOCIATES, INC.
14060 MERIDIAN PARKWAY 102
RIVERSIDE, CALIFORNIA 92518
TEL (951) 683-3691
FAX (951) 788-2314

ASSESSORS PARCEL NO.

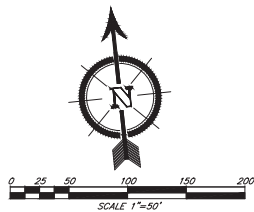
256-050-012-5

SURROUNDING GENERAL PLAN DESIGNATION

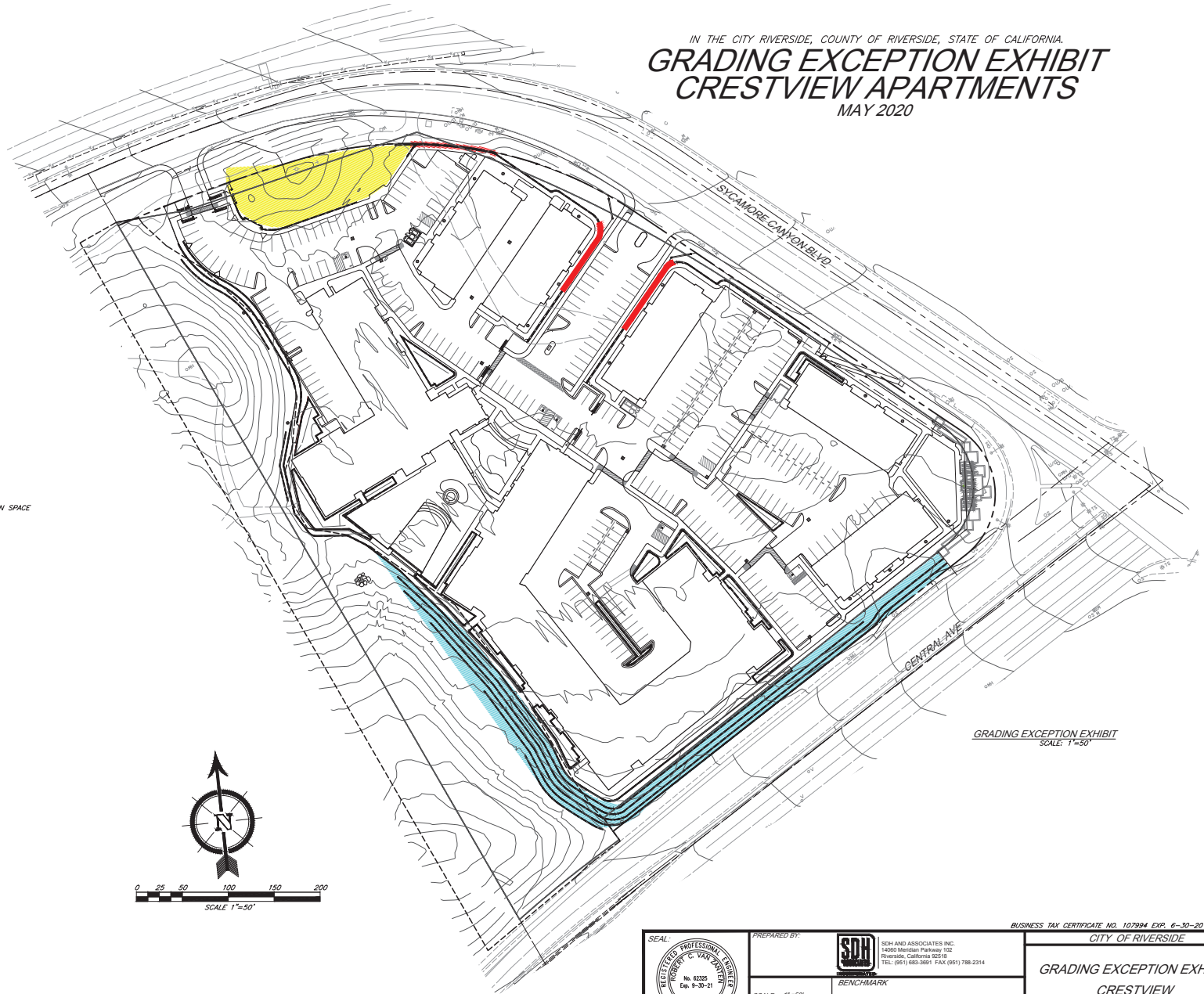
NORTH..... HR - HILLSIDE RESIDENTIAL
EAST..... HR - HILLSIDE RESIDENTIAL
SOUTH..... P - PUBLIC PARK
WEST..... VHDR - VERY HIGH DENSITY RES./ OS - OPEN SPACE

LEGEND

SYMBOL	DESCRIPTION
	SLOPE EXCEEDING 20' IN HEIGHT
	RETAINING WALL EXCEEDING 3' IN HEIGHT
	RETAINING WALL EXCEEDING 6' IN HEIGHT



IN THE CITY RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.
GRADING EXCEPTION EXHIBIT
CRESTVIEW APARTMENTS
MAY 2020



GRADING EXCEPTION EXHIBIT
SCALE: 1"=50'



PREPARED BY:



SDH AND ASSOCIATES INC.
14060 Meridian Parkway 102
Riverside, California 92518
TEL: (951) 683-3691 FAX (951) 788-2314

SCALE: 1"=50'

DATE: MAY 2020

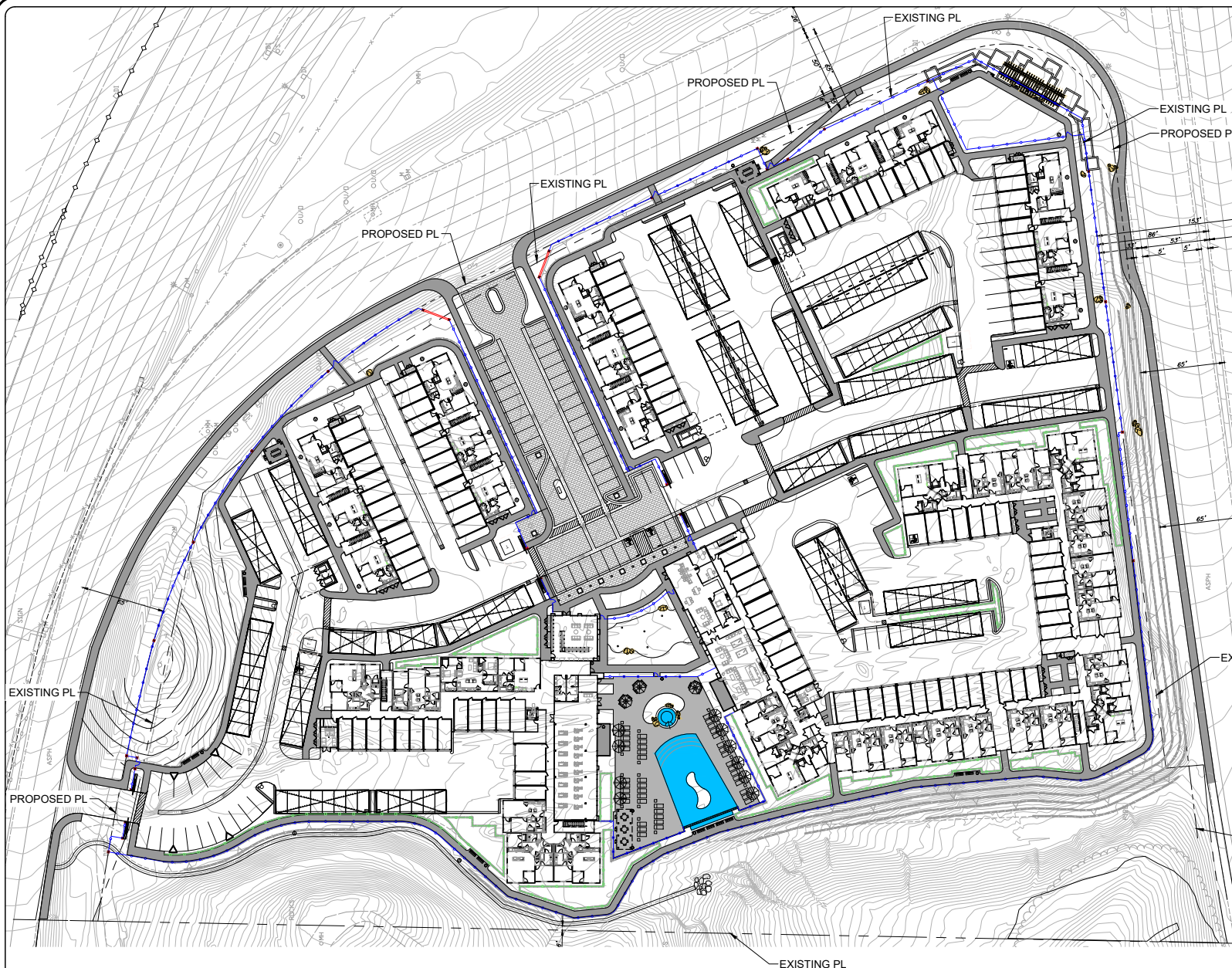
BENCHMARK

BUSINESS TAX CERTIFICATE NO. 107994 EXP. 6-30-20

CITY OF RIVERSIDE

GRADING EXCEPTION EXHIBIT
CRESTVIEW
APARTMENTS

1
OF
1
SHEETS



FENCE AND WALL LEGEND

- 4" HIGH TUBULAR STEEL FENCE AND GATES BOTH VERTICAL AND HORIZONTAL LINE COLOR TO BE DARK METALLIC GREY TO MATCH ARCHITECTURE
- 4" HIGH 4" SQUARE BLOCK PILASTER WITH SMOOTH PLASTER FINISH PLASTER COLOR TO BE SHERRIN WILLIAMS SW7530 BARCELONA BEIGE TO MATCH ARCHITECTURE
- 4" HIGH CONCRETE BLOCK MONUMENT WALL WITH SMOOTH PLASTER FINISH PLASTER COLOR TO BE SHERRIN WILLIAMS SW7530 BARCELONA BEIGE TO MATCH ARCHITECTURE. PROJECT SIGNAGE TREATMENT TO BE DETERMINED.
- CORNER OF CENTRAL AVENUE AND CYPRESS CANYON BOLLARD TREATMENT TO INCLUDE CAST IN PLACE CONCRETE VARYING HEIGHTS RAISED PLANTER BEDS WITH PROJECT SIGNAGE. SIGNAGE TREATMENT TO BE DETERMINED.
- LOCK-LOAD QUARRY ROCK TEXTURE BLOCK RETAINING WALLS. BLOCK COLOR TO BE TAN.
- 42" HIGH TUBULAR STEEL FENCE ON TOP OF BOLLARD TREATMENT RETAINING WALLS. COLOR TO BE DARK METALLIC GREY TO MATCH ARCHITECTURE.

FENCE, PILASTERS, MONUMENTS, AND PLANTER EXAMPLE PHOTOS



Crestview Apartments

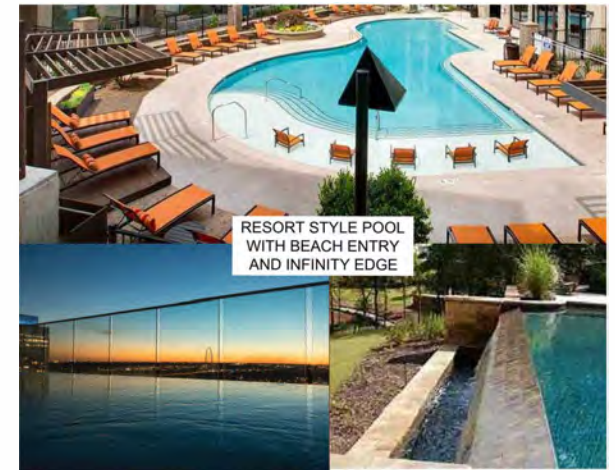
KA Enterprises
P19-0775 - 0777, P20-0307 - 0310, P19-0905, Exhibit 6 - Project Plans

Conceptual Wall and Fence Exhibit

RHA Project # 19102

February 1, 2021

RHA
LANDSCAPE
ARCHITECTS
PLANNERS, INC.



SHADE STRUCTURE

PUTTING GREEN



VIEWING AREA

Crestview Apartments

KA Enterprises

Conceptual Community Recreational Center Exhibit

P19-0775 - 0777, P20-0307 - 0310, P19-0905, Exhibit 6 - Project Plans



DOG RUN AREA



PET FRIENDLY DRINKING FOUNTAIN



DOG WASH STATION

Crestview Apartments

KA Enterprises

Conceptual Community Dog Park Exhibit

P19-0775 - 0777, P20-0307 - 0310, P19-0905, Exhibit 6 - Project Plans