



*Community Development Department
Planning Division*

Conditional Use Permit, Design Review and Vacation

AGENDA ITEM NO.: 2

WARD NO: 2

NEIGHBORHOOD: Eastside

PLANNING COMMISSION HEARING DATE: May 5, 2011

I. CASE NUMBER(S): **P09-0808** (Conditional Use Permit)
P09-0809 (Design Review)
P09-0810 (Vacation)

II. PROJECT SUMMARY:

- 1) Proposal:** To consider a Conditional Use Permit and the Design Review of a plot plan and building elevations to establish a four-story, maximum 121 unit senior housing facility and the street vacation of approximately 4,000 square feet of Eucalyptus Avenue, southerly of Vasquez Place
- 2) Location:** 2340 Fourteenth Street, situated on the northerly side of Fourteenth Street, easterly of Sedgwick Avenue and southerly of Georgia Street in the R-1-7000 – Single Family Residential Zone
- 3) Applicant:** Kevin Wolf
Germania Corporation
7095 Indiana Avenue
Riverside, CA 92506
- 4) Case Planner:** Kyle Smith, Associate Planner
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III. RECOMMENDATION:

Staff Recommendation:

1. **RECOMMEND** that the City Council **DETERMINE** that this proposed project will not have a significant effect on the environment based on the findings set forth in the case record and recommend the City Council adopt a Negative Declaration;
2. **RECOMMEND APPROVAL** of Planning Cases P09-0808 (Conditional Use Permit), P09-0809 (Design Review) and P09-0810 (Vacation) to the City Council, based on the findings outlined in the staff report and summarized in the following and subject to the recommended conditions attached:

- a. The project is substantially compatible with other existing and proposed uses in the area, including factors relating to the nature of its location, operation, building design, site design, traffic characteristics and environmental impacts;
- b. This project serves a need for senior housing and helps meet General Plan objectives of providing “adequate housing and supportive services for Riverside residents with special needs” (Goal H-4) and “supporting the development of accessible and affordable senior rental housing readily accessible to support services” (Policy H-4.1);
- c. The proposal will not be materially detrimental to the health, safety and general welfare of the public or otherwise injurious to the environment or to the property or improvements within the area;
- d. The project will be consistent with the purposes of the Zoning Code and the application of any required development standards is in the furtherance of a compelling governmental interest and is the least restrictive means of furthering that compelling governmental interest;
- e. The project is in compliance with the majority of the standards applicable to senior housing developments, and as detailed in this staff report, any requested variances to implement the project as proposed can be justified, as detailed in this report;
- f. Substantial evidence exists to support the conclusion that the remaining portion of Eucalyptus Avenue, southerly of Vasquez Place, is no longer needed for vehicular or pedestrian traffic and is unnecessary for present or future public use, such that the subject street can be vacated without having a significant impact on vehicular or pedestrian circulation;
- g. Findings can be made to vacate the subject public right of way in accordance with the provisions of the Public Streets, Highways, and Services Easements Vacation Law (commencing with Section 8300 of the Streets and Highway Code of the State of California);
- h. The Public Works, Police and Fire Departments support or have no objection to the proposed street vacation, as adequate access and circulation will continue to be provided via the existing street network throughout the existing neighborhood;
- i. The proposal will “Integrate housing components that add critical mass and complement the character of the area”, furthering the objectives of Seizing Our Destiny, Strategic Route 7: Transforming Spaces into Places. Further, the proposed use compliments Initiative 10.6 of Seizing Our Destiny which seeks to promote the development of affordable and/or senior housing opportunities; and
- j. The project, as conditioned, represents a compatible addition to the adjacent single family residential neighborhood based on the project design and would

allow for an integrated, cohesive development with desirable amenities for its residents.

IV. BACKGROUND/HISTORY:

The subject site is approximately three acres in area and triangular in shape, with frontage on Fourteenth Street, Georgia Street and Eucalyptus Avenue. Riverside Faith Temple is located on the southerly side of Fourteenth Street, across the street from the project site and single family residences are located in the neighborhood to the north and east of the project site, across Georgia Street and Eucalyptus Avenue. The signalized intersection of Sedgwick Avenue and Fourteenth Street is located adjacent to the project site to the northwest, as is Dario Vasquez Park on the westerly side of Sedgwick Avenue. The terminus of the Georgia Street cul-de-sac is located directly adjacent to the intersection of Sedgwick Avenue and Fourteenth Street, where a widened public sidewalk and unimpeded pedestrian access to Georgia Street are provided.

The applicant requested continuance of this matter from the April 7, 2011 Planning Commission meeting to the May 5, 2011 meeting to allow adequate time for the project to be presented to community groups and organizations.

V. DETAILED PROJECT DESCRIPTION:

The proposed project entails the development of an independent living senior housing complex with up to 121 units within a four-story, 59-foot tall, approximately 101,974 square-foot building. The generally horseshoe-shaped building is proposed to be oriented to face Fourteenth Street, with the main entrance into the building located near the center of the building along the Fourteenth Street frontage. Parking for employees and guests will be located along the Fourteenth Street frontage, while a majority of the resident parking area will be provided within a fenced, secure area on the northerly portion of the site, along Georgia Street.

Amenities for the residents are proposed to consist of a pool and spa, a putting green, a bocce ball court, BBQ and outdoor eating areas, and a dog run. The pool and patio area will be located on the northeasterly side of the site. Inside the building, proposed services include a beauty salon and spa, a library with Wi-Fi connectivity and computers, an entertainment center with large screen television, and a shuttle service for residents. Additionally, each unit is designed to contain at least 70 square feet of private open space (on a ground floor patio or upper story balcony) and each unit would include a kitchenette and space for a stackable washer and dryer.

Vehicular access to the site will be provided obtained from two driveways along the Fourteenth Street frontage. The easterly of the two driveways will be the main entrance into the facility. An acceleration and deceleration lane is provided to provide safe and efficient ingress to and egress from the main driveway along Fourteenth Street. Further, an emergency ingress/egress only secured driveway with an emergency only “crash” gate is proposed along the Georgia Street frontage.

The applicant has indicated that the number of units may end up being as few as 115 units, with a potential maximum of 121 units, based on the financing mechanisms to be secured prior to building permit issuance. The applicant has indicated that there will be seven different foot floor plans ranging from 431 to 876 square feet, consisting of seven studio units, 100 one bedroom units, and 14 two

bedroom units (See Exhibit 7). Further, the proposed building is designed as to provide all units with at least 70 square feet of private open space, either on ground floor patios or upper story balconies.

As of the writing of this report, a preliminary management/operations plan and a security plan have not been submitted as requested to the City. In conversations with the applicant, he has indicated that a community vanpool service, an on-site resident manager and state of the art emergency call systems will be provided. This issue is discussed in more detail in the project analysis.

The project involves a request to vacate a portion of Eucalyptus Avenue, southerly of Vasquez Place. The area to be vacated totals approximately 4,000 square feet in area and is roughly 40 feet in width and 100 feet in length. The area to be vacated is contiguous to the project site, which will be accessible from Fourteenth Street and to a single family residence addressed 2290 Vasquez Place, located easterly of the project site, which will retain public access as it exists today, from Vasquez Place.

Several variances are being requested by the applicant to allow the project to be established as proposed. These variances are described and analyzed in the site design section of this report.

VI. LOCATION/SURROUNDING LAND USES:

	Existing Land Use	General Plan Designation	Zoning Designation
Project Site	Vacant	MDR – Medium Density Residential	R-1-7000 – Single Family Residential
North (across Georgia St)	Single Family Residential and Vacant	MDR – Medium Density Residential	R-1-7000 – Single Family Residential
East (across Eucalyptus Ave)	Single Family Residential	MDR – Medium Density Residential	R-1-7000 – Single Family Residential
South (across Fourteenth St)	Church and Vacant	C – Commercial	CR – Commercial Retail
West (across Sedgwick Ave)	Dario Vasquez Park	P – Public Park	R-1-7000 – Single Family Residential

VII. PROJECT ANALYSIS:

• General Plan/Specific Plan/Zoning Conformance:

	Existing	Proposed
General Plan	MDR – Medium Density Residential	Not proposed to change
Zoning	R-1-7000 – Single Family Residential	

The MDR – Medium Density Residential General Plan Land Use Designation is intended to provide for residential development with a density of up to 8.0 dwelling units per acre. However, the Zoning Code allows Senior Housing projects of a density of greater than 8.0 dwelling units per acre in single family residential zones subject to the granting of a Conditional Use Permit.

The need for additional quality senior housing projects within the City of Riverside to provide housing for a rapidly growing segment of the City's population has been recognized for several years. In fact, the General Plan objectives include provision for "adequate housing and supportive services for Riverside residents with special needs" (Goal H-4) and "supporting the development of accessible and affordable senior rental housing readily accessible to support services" (Policy H-4.1). A number of senior projects have recently been approved and/or completed that provide housing opportunities for senior citizens. Despite the overall need for additional senior citizen housing, senior complexes such as the proposed project are best suited to sites that are in close proximity to commercial centers and other services desired by senior citizens, including health care, public transportation, and religious institutions. The proposed site is located within walking distance to three RTA bus stops and is in close proximity to the Lincoln Community Center at Dario Vasquez Park and the Stratton Community Center at Bordwell Park, the Riverside Faith Temple and Kansas Avenue Church, and is relatively close to shopping and medical services along University and Chicago Avenues. . Further, the site is located on an arterial street on the fringe of a residential neighborhood with no vehicular access from the site onto local streets. This site, in the judgment of staff, complies with the desired location criteria for senior housing.

Furthermore, while specific standards do not exist pertaining to the required number and type of amenities for a senior housing project, multiple-family residential projects consisting of greater than 76 units are required to have at least four outdoor amenities. This project exceeds this standard by providing at least five outdoor amenities, thus exceeding what would normally be required for non-age restricted multiple-family residential developments. Finally, the project fulfills specific goals and objectives recommended by the Mayor's Commission on Aging and the appointed Senior Housing Taskforce and supported by the City Council, providing additional living opportunities that will be desirable and enhance the quality of life for the City's increasing senior citizen population, promoting Riverside as a Senior-Friendly community.

As proposed, the maximum project density will be approximately 39 dwelling units per acre. This density is at the high end of the range of densities typically found in existing or previously approved senior apartment projects, as reflected in the table below:

Project	Address	Number of Units	Acres	Density (du/acre)
Victoria Springs	2801 Adams Street	240	7.6	32
Tyler Springs	10406 Indiana Avenue	273	9.44	29
Brandon Place	3941 Polk Street	197	6.35	31
Friend Development	8507 Magnolia Avenue	90	2.5	36
Goldware Senior	6730 Streeter Avenue	162	6.38	25
Raincross Senior	5200 Central Avenue	172	6.1	28
Snowberry Creek	8400 Colorado Avenue	224	10.7	21
Las Fuentes	1807 Eleventh Street	75	2.13	35
El Paseo	4030 Harrison Street	75	2.08	36
Proposed Project	2340 Fourteenth Street	121	3.03	39

The appropriateness of the proposed density is to be considered during the Conditional Use Permit process. Generally, the projects listed above that are less than 30 dwelling units per acre are located in areas where the prominent surrounding land use is single family residential. In those cases, residential structures are typically limited to two stories in height to reduce any potential land use compatibility issues. In this instance, however, the subject in-fill site is along a six-lane arterial street, within an area which includes a wide variety of uses, including institutional uses and single family residences and is near public transportation. Furthermore, it has been the City's experience that senior housing projects typically make good neighbors, as they are a low impact use, with substantially reduced noise and traffic generation as compared to other types of multiple family residential developments. For these reasons, staff is supportive of the proposed density and does not anticipate significant impacts with regard to density.

In addition to the above, the proposal will "Integrate housing components that add critical mass and complement the character of the area", furthering the objectives of Strategic Route 7: Transforming Spaces into Places of the City's Seizing Our Destiny initiative. Further, the proposed use compliments Initiative 10.6 of Seizing Our Destiny which seeks to promote the development of affordable and/or senior housing opportunities.

While senior housing facilities are allowed in the R-1-7000 – Single Family Residential Zone with a Conditional Use Permit, there are no codified development standards that are unique to such uses, other than those relating to parking quantity and covered parking ratios, which are discussed below. The

proposed project complies with, or has been conditioned to comply with a majority of the applicable development standards for the proposed use. However, to facilitate the project as proposed, variances relating to parking, building height and landscape setbacks are proposed. These variances are listed and analyzed in detail below in the site design section of this report and detailed findings are attached to this report.

In analyzing all variances, it was taken into consideration that the project site is triangular in shape with frontage on three streets, which represents some unique challenges in developing the site. It was also taken into consideration that the R-1-7000 Zone standards were not created or tailored to senior housing; rather they were crafted with conventional single family residential development in mind. In fact, the City is currently working on an amendment to the Zoning Code that would include specific development standards for senior housing projects. It is anticipated that this amendment will be before the Planning Commission for consideration before the end of 2011. In the meantime, the applicant has attempted to balance setback, parking, open space and height requirements while at the same time creating a viable development scenario for the site that fulfills a specific housing goals and needs for the community and minimizes any potential land use compatibility concerns .

With respect to project operations, a preliminary management/operations plan and a security plan have not been submitted as requested to the City. Under most circumstances, such preliminary plans would have been submitted in conjunction with the CUP application. Despite this, the applicant has indicated that a community vanpool service, an on-site resident manager and state of the art emergency call systems will be provided. To address this issue, conditions of approval has been incorporated in to the recommended conditions requiring detailed management, operations and security plans for review and approval of Planning Division staff (and Police Department staff, as applicable) prior to the issuance of building permits.

- **Design Analysis:**

Preface:

Staff has met with the applicant on numerous occasions since the applications were originally submitted. Most of the comments and design considerations mentioned during these prior meetings have been addressed by the applicant. Also, those comments that came out of a series of neighborhood meetings have been taken into consideration in staff's analysis of the project. Based on neighborhood comments and staff's analysis, there are a few relatively minor outstanding issues that can be addressed through implementation of the recommended conditions of approval during the plan check review process.

Site Planning:

The project site presents unique challenges due to its shape, topography and interface with surrounding land uses, as detailed in upcoming subsections of this analysis. To address these unique circumstances, the building has been sited toward the middle of the property to minimize impacts to surrounding residents, while allowing for a common open space area with several amenities to the rear of the site for optimum enjoyment for the projects' future residents. Overall, the project as designed will be an asset to the neighborhood and community at large, based on the project description provided earlier in this report and thus the proposed site plan (building plotting, common open space location and parking configuration) can be supported, subject to implementation of the recommended conditions of approval.

The recommendations involving improvements to the site plan are relatively minor, including provision for a shade structure and seating adjacent to the shuttle pick-up area and the inclusion of solid architecturally treated back walls for all carport structures adjacent to Georgia Street. In conjunction with the latter recommendation, it is recommended that a solid decorative theme wall be continued westward to screen the westernmost row of parking spaces facing the Georgia Street cul-de-sac to protect the existing residential neighborhood from activities in the project parking lot.

Fourteenth Street Frontage:

The proposed project meets all development standards that pertain to setbacks, with the exception of a landscape setback variance to allow an approximately 5-foot wide landscape setback along the Fourteenth Street frontage, where a minimum 15-foot wide landscape setback is required for parking lots with 21 or more parking spaces. This variance is being requested as a result of the requirement of the City to provide a dedicated acceleration/deceleration lane along a majority of the Fourteenth Street frontage. The acceleration/deceleration lane was deemed necessary by the Public Works Department to provide safe vehicular access to and from the main travel lanes along this curved segment of Fourteenth Street. However, as a result, the public sidewalk along approximately 380 feet of the Fourteenth Street frontage will be within a sidewalk easement, which effectively reduces the amount of landscaped area that would otherwise be normally be able to be provided on-site. The actual depth of landscape setback along a majority of Fourteenth Street will be approximately 8 ½ feet. To allow for an additional four feet of landscaping along the Fourteenth Street frontage, it is recommended that a variance be granted to allow for a two foot bumper overhang for the row of (32) parking spaces closest to Fourteenth Street, and that the drive aisle closest to Fourteenth Street be reduced to 24 feet in width (the latter does not require a variance). This recommended solution will not require the building footprint to be reconfigured and will allow more space for undulating berming, shrubbery and trees to be planted in the landscape setback area to assist in screening vehicles and expanses of asphalt area in the parking lot from view along Fourteenth Street. Justifications to support this variance can be found in the attached applicant prepared variance justifications (Exhibit 10) and the supplemental staff prepared variance justifications (Exhibit 11).

Parking:

Use	Parking Ratio	Number of Units	Parking Spaces Required	Proposed Parking Spaces	Required Variance
Senior Housing	1.1 spaces per unit	121	133	121	12 spaces
	50% of spaces covered		67 (50%)	57 (43%)	10 spaces

A total of 121 parking spaces (a ratio of 1.0 spaces per unit) are proposed to serve the project where the Zoning Code requires 133 spaces (a ratio of 1/1 spaces per unit) for this project. Generally, the 1.1 parking spaces/unit ratio was derived to allow one parking space for each resident and for sufficient visitor/employee parking on-site at all times. Thus a variance is being requested to allow for a parking deficiency of 12 spaces.

In this instance, the parking deficiency can be justified. While future residents can be of an age of 55 years, studies have shown that the average age for residents in senior housing complexes such as this is approximately 75 years. Thus, as has been observed at other senior housing projects (including market

rate projects), not all senior citizen residents will have or need vehicles. This fact is only augmented if the developer chooses to set aside some of the units as “affordable” senior housing units within the project prior to occupancy. Additionally, the project description includes provision for a shuttle program, which will provide transportation to residents for scheduled events and appointments. Also, three Riverside Transit Agency (RTA) bus stops are located within 900 feet of the site that serve at least four different routes traveling both east and westbound from the site. To accommodate the anticipated increase in bus ridership originating from the project site, it is recommended that applicant work with RTA to construct a bus shelter at one of the three adjacent bus stops; either the existing bus stop adjacent to Dario Vasquez Park the bus stop at the Kansas Avenue Church at the northwest corner of Fourteenth Street and Kansas Avenue, or at the bus stop adjacent to the Riverside Faith Temple located across Fourteenth Street from the project site. It is recommended that that the applicant work with the Riverside Transit Agency (RTA) and Planning Division staff to develop a bus pass program for residents. Based on these facts, the variance relating to parking space quantity can be supported. It is not anticipated that the proposal will result in inadequate parking capacity.

In addition to the above variance for parking quantity, the applicant is proposing to have 57 carport covered parking spaces where the Zoning Code requires a minimum of 50% of the required number of parking spaces within a senior housing complex to be covered by a carport or within an enclosed garage. For this project to comply with the Zoning Code, 67 parking spaces would need to be covered, or 10 more than the number proposed. As proposed the covered parking spaces are all located toward the rear of the site, within the secured parking area between Georgia Street and the new building in an area of the site where the carports would not block views of the building from Fourteenth Street. To require 10 additional covered spaces would place the carports in prominent view from Fourteenth Street and place carports in the front setback area, triggering a different variance related to carports. As the benefit of allowing unobstructed views of the residential building from Fourteenth Street outweighs the need for 10 additional covered spaces, in the judgment of staff, it would be appropriate to grant the requested variance in this instance. As mentioned earlier, to protect the residents along the northerly side of Georgia Street from view of the on-site parking lot, solid architecturally treated back walls for all carport structures are recommended adjacent to Georgia Street and a solid decorative theme wall be should be continued westward to screen the westernmost row of parking spaces facing the Georgia Street cul-de-sac.

Finally, as mentioned earlier, a variance is requested to allow for 32 spaces along Fourteenth Street to have a 2-foot bumper overhang into the adjacent landscaping. This modification, in conjunction with the recommendation to reduce the width of the drive aisle serving these spaces from 26 to 24 feet in width, will allow for a minimum of approximately 12 ½ feet of landscaping along the Fourteenth Street frontage. This variance can be justified based on the unique challenges associated with the site configuration and the fact that sufficient area will still be available to screen the parking area from Fourteenth Street. Based on the above, staff is supportive of the requested variances related to parking quantity and design. Detailed staff prepared justifications in support of the parking variance have been attached to this report (Exhibit 11).

Circulation:

As noted earlier, resident, visitor and employee access will be exclusively from Fourteenth Street, thereby eliminating a substantial increase in traffic volume in the surrounding residential neighborhood. The primary driveway is proposed to contain a raised “pork chop” island between the ingress and egress to direct traffic appropriately. A center median exists along this portion of Fourteenth Street, thereby

both access points will be limited to right turns only. Motorists in need of travelling eastbound on Fourteenth Street/Martin Luther King Jr. Boulevard will be able to make a U-Turn at the signalized intersection of Fourteenth Street and Sedgwick Avenue. The project site is located just beyond a curve on Fourteenth Street where the posted speed limit is 35 MPH. The proposed acceleration and deceleration lanes, plus the “pork chop” element are all intended to allow for safe vehicular visibility and access to the project site. The proposed configuration has been deemed appropriate by the Public Works Department.

Eucalyptus Avenue interface:

In prior meetings with the applicant, staff expressed concern with the relatively minimal landscape setback along the rear portion of the site, adjacent to the Eucalyptus Street “knuckle” area. In an effort to address these concerns, the applicant is proposing to re-construct the curb and gutter approximately eight feet easterly, of its current location, toward the centerline of Eucalyptus Avenue and thus prohibit vehicular parking along the westerly side of the street in this area. In doing so, the project edge along Eucalyptus Avenue at Vasquez Place adjacent to the outdoor patio/pool area has been reconfigured to allow for a landscape area of 8 to 13 feet in width, outside of the project perimeter fence and including landscaped area with, to provide sufficient space for landscape screening for aesthetic, security and privacy purposes. The Public Works Department has been consulted regarding this matter and does not object to this solution.

Landscaping:

The conceptual landscape plan submitted with the application contains a conceptual design for a variety of trees and shrubs around the project perimeter, parking areas, at the entry area of the building and in the courtyard area. In conjunction with the submission of detailed landscape and irrigation plans for Design Review staff review, conditions have been added to the recommended conditions of approval to require:

- Stamped concrete shall be provided at the primary driveway, to the satisfaction of Planning Staff;
- Landscaping of all common areas;
- A common open space amenities plan including all proposed outdoor furniture decorative hardscape, lighting, etc.;
- Landscape pockets with vertical plantings between along drive aisles;
- Vines trained to grow up all wrought iron perimeter fencing;
- The landscaping along the Fourteenth Street frontage shall include a combination of undulating berms, shrubbery and trees to soften the appearance of the parking areas from view of Fourteenth Street;
- The landscaping along the Georgia Street and Eucalyptus Street frontages shall include shrubbery and trees to soften the appearance of the parking areas from view of Fourteenth Street;

Perimeter Walls/Fences:

Decorative wrought iron fencing is proposed to create a secured parking area to the north of the building. Fencing will be provided to the west of the westerly building wing, along the Georgia Street and Eucalyptus Avenue frontages and along the easterly property line. No fences, walls or security gates are proposed along Fourteenth Street or at the two project vehicular access points along Fourteenth Street frontage as to not obstruct views of the building from Fourteenth Street.

Staff recommends that a comprehensive fence/wall plan for the project be submitted and include details for decorative pilasters to be integrated into the design of the perimeter fencing. At the project's interface with Eucalyptus Avenue, the patio area is proposed to be approximately nine feet below street level with a series of retaining walls and a wrought iron fence proposed at street level. To ensure privacy and security of the patio area for residents, Staff recommends that a six foot high decorative masonry wall with a decorative cap be constructed along the street side perimeter of the outdoor patio area. Finally, as mentioned earlier, it is recommended that a solid decorative theme wall be continued westward to screen the westernmost row of parking spaces facing the Georgia Street cul-de-sac to protect the existing residential neighborhood from activities in the project parking lot. This wall can be behind the perimeter fencing to protect the wall from vandalism (graffiti).

Grading and Drainage:

The project site is currently undeveloped vacant land that generally slopes downward towards the southeast corner of the site. The natural topography is such that proposed on-site grading will result in the 4-story building having a pad elevation as much as 11 feet below the existing street grade near the Georgia Street/Eucalyptus Avenue intersection, such that the building will appear to be 2 to 2 ½ stories in height from this intersection. Furthermore, the topography and proposed grading concept will result in the proposed pool / patio area in the northeast corner of the site being situated approximately eleven feet below the street level and separated by terraced double retaining wall, which will provide privacy for residents of the senior housing complex and reduce any negative impacts to the surrounding residential neighborhood.

Architecture:

The proposed building consists of a Mission-Spanish inspired architectural theme. The four-story building is designed to taper down along the outer wings in one-story "steps", which are orientated closest to the streets, to reduce the apparent height of the structure from Fourteenth Street. A red tile roof with several decorative arched-shaped mission style dormers is proposed. The building is to be stucco clad with a lighter shade of beige stucco generally on the upper floors and darker beige stucco generally on the lower floors. The proposed building contains much articulation and modulation with projecting faux wood corbels, enclosed balconies and patios. Additionally, many details such as tile accents and iron railings are proposed.

The submitted building elevations are illustrative in nature and thus do not necessarily represent a true depiction of the proposed building. In an effort to further clarify the project when presented to the Planning Commission for consideration, the applicant has provided detailed building sections (Exhibit 6), which, in combination with the elevations, provide a detailed account of the proposed building design and articulation to the satisfaction of Staff. Further, a material and sample board has been provided and will be available for review during the Planning Commission meeting.

The conceptual elevations can be supported, subject to implementation of the recommended conditions of approval. The architectural concept, if properly implemented, can serve as a catalyst type development that will “raise the bar” for future development in the Eastside area. That said, the Mission-Spanish inspired architectural theme is quite simplistic overall and thus proper execution relies heavily on the details being properly designed with richness, depth and authenticity. In order to achieve accurate representation of the desired style, it is recommended that the following revisions and clarifications be addressed in the construction plans submitted for plan check review by Design Review staff:

- All windows shall have a minimum modulation (recess or frame out surround) of at least three inches;
- The plans shall reflect rafter tails, rain gutters and score lines as required per the Uniform Building Code;
- Add additional decorative tile and articulation at the main entry and other strategic locations such as the doors to the patio area and shuttle pick up area;
- Roofing material should consist of a high quality concrete “S” tile intended to emulate terra cotta; and
- Provide carport plans which include a decorative pitched roof clad in the same tile as the main building and with colors and materials to match the building and a decorative full rear wall to protect the residential neighborhood to the north, to the satisfaction of Design Review staff.

Building Height:

The proposed four story building is subject to two height related variances, as follows:

- To allow a four story, approximately 59-foot building where the Zoning Code restricts the height of buildings to two stories and 35 feet in the R-1-7000 – Single Family Residential Zone; and
- To allow an architectural feature on the proposed apartment building to have height of approximately 60 feet where the Zoning Code restricts the height of architectural features to not extend more than 10 percent beyond the maximum height limit permitted in the underlying zone (38 ½ feet in the R-1-7000 – Single Family Residential Zone).

As detailed in the attached applicant prepared variance justifications (Exhibit 10) and the supplemental staff prepared variance justifications (Exhibit 11), the proposed building height variances can be justified in that the project site’s topography, which naturally slopes towards the southeast, will be somewhat re-contoured to accommodate the building on-site. With implementation of the proposed grading concept for the project, the new building will be situated well below the grade of the adjacent existing portions of Georgia Street and Eucalyptus Avenue, such the building will appear to be approximately 2 to 2 ½ stories in height from these adjacent perimeter streets and across the street single family residential properties. Furthermore, the project exceeds all the applicable building setback standards for the separation of multiple family residential structures from existing single family residences. The new building is proposed to be set back approximately 65 feet from the nearest existing

single family residence at 2290 Vasquez Place, where a minimum separation of 50 feet is required per the Zoning Code.

- **Street Vacation:**

The street vacation component of this project involves the vacation of an approximately 4,000 square foot segment of Eucalyptus Avenue southerly of Vasquez Place. Pursuant to State law, the City may regulate traffic on its public streets, alleys, and walkways only to the extent expressly authorized. The law permits the City to vacate a street, alley, or walkway only upon a finding supported by substantial evidence that the right-of-way is no longer needed for vehicular or pedestrian traffic and is unnecessary for present or prospective public use. The following facts are provided to support the proposed alley vacation:

- It was once envisioned by the City that Eucalyptus Avenue would continue southbound to connect to Fourteenth Street/Martin Luther King Jr. Boulevard to complete the grid pattern. However, when Fourteenth Street/Martin Luther King Jr. Boulevard was realigned to its current configuration, the extension of Eucalyptus Avenue would result in a potentially dangerous intersection situated on a curve. Therefore, the extension of Eucalyptus Avenue from Vasquez Place to Fourteenth Street is no longer needed or desirable. Sufficient access to Fourteenth Street/Martin Luther King Jr. Boulevard exists for neighborhood residents will continue to be provided via the signalized intersections at Kansas Avenue and Sedgwick Avenue.
- The portion of Eucalyptus Avenue to be vacated is only a 33 foot wide, half dedicated street. When the proposed project is constructed, the boundaries of the senior housing complex will extend to what would be the center line of Eucalyptus Avenue, southerly of Vasquez Place if it were to be fully dedicated as a 66 foot wide local street. The Public Works Department has indicated no intention of extending Eucalyptus Avenue southerly to Fourteenth Street as private property exists between the two streets. Therefore, with the implementation of the proposed senior housing project, Eucalyptus Avenue southerly of Vasquez Place will no longer be needed for street purposes.
- The only affected parcel would be the existing single family residence at 2290 Vasquez Place, which fronts on to Vasquez Place, but includes a garage that takes vehicular access from the subject portion of Eucalyptus Avenue. To address this issue, it is recommended that an access easement be recorded across the area to be vacated to allow for the existing access to the garage on the residence as 2290 Vasquez Place to be maintained.
- Affected nearby property owners have been notified of the proposed vacation request. As of this writing, no opposition has been received specific to the vacation request

Based on the above, it can be concluded that the subject portion of Eucalyptus Avenue is not needed for vehicular or pedestrian traffic and is unnecessary for present or prospective public use.

- **Neighborhood Compatibility:**

For reasons stated throughout this report, the proposed senior housing facility will not be incompatible with the surrounding neighborhood. First, the project has been designed in a manner where the building will be situated toward the middle of the site, over 60 feet from any perimeter property lines, and the site will be graded so as to have the building appear to be 2 to 2 ½ stories in height from the residential neighborhood to the north and east of the project site behind a series of decorative walls and fences and appropriate landscaping. Second, the subject site is located on an arterial street and in close proximity

to services desired by senior citizens, including health care, public transportation, and religious institutions. Third, vehicular access to the site will be exclusive to Fourteenth Street, as to not increase vehicular traffic in the adjacent established residential neighborhood. Finally, as conditioned, the proposed project will represent an example superior design which reflects Riverside's heritage in a contemporary fashion. It is anticipated that the project will serve as a catalyst to improve design aesthetics for future projects in the Eastside neighborhood. As conditioned, the proposed project will not result in any detrimental impacts to the surrounding neighborhood.

VIII. PUBLIC NOTICE AND COMMENTS:

Public notices were mailed to property owners and occupants within 300 feet of the site. Additionally, the applicant met with several community groups since early 2010, including a three community groups in the Eastside Neighborhood during the month of April 2010. Most of the comments received from these meetings focused on the proposed project location, the proposed building height and massing, the intended financial demographics of the future residents, and the proposed operations of the facility. After hearing a detailed presentation from the applicant, a majority of the community members did not object to the project as proposed. That said, there was discussion regarding prior dumping of debris, concrete, etc. on the site over the years and whether this dumping resulted in soil contamination and relative to vehicular access from Fourteenth Street. Member of the various groups appreciated that a dedicated right turn pocket for access into the main driveway and a dedicated acceleration lane from the main driveway were proposed to access vehicular ingress/egress concerns. The applicant also acknowledged the need to complete more intensive soils evaluations and committed to complying with all necessary measures to fully address any soil contamination issues prior to issuance of any permits. Members of the Mayor's Commission on Aging were also provided an opportunity to comment on this project. One Commissioner provided an e-mail indicating that the site may not be appropriate for senior housing, but not elaborate as to the reasons for this opinion.

The Riverside Police Department has reviewed this proposal and does not object to the project, subject to implementation of the recommended conditions of approval, which include provision for entering into the City's Crime-Free Multi-housing program.

IX. EXHIBITS:

1. Location/Zoning Map
2. General Plan Map
3. Aerial Photo
4. Proposed management/operational plan
5. Site Plan
6. Building Elevations, Building Sections
7. Floor Plans/Roof Plan
8. Conceptual Landscape Plan
9. Conceptual Grading Plan
10. Applicant's Variance Justifications
11. Staff Prepared Variance Justifications
12. Street Vacation Plat Map
13. Police Department Memorandum

The proposed color and material sample board and decorative time samples will be available for review during the Planning Commission meeting

RECOMMENDED CONDITIONS & GENERAL INFORMATION NOTES

Case Number: P09-0808 (Conditional Use Permit)

Meeting Date: May 5, 2011

CONDITIONS *All mitigation measures are noted by an asterisk (*).*

The applicant is advised that the business or use for which this conditional use permit is granted cannot be legally conducted on the subject property until all conditions of approval have been met to the approval of the Community Development Department, Planning Division.

Case Specific

- **Planning**

1. All applicable conditions of related Planning Cases P09-0809 (Design Review) & P09-0910 (Vacation) shall apply to this project.
2. The senior housing facility shall be developed and operated substantially as described in the text of this staff report and as shown on the plot plan on file with this case, except for any specific modifications that may be required by these conditions of approval. Modifications to these operational characteristics are subject to Zoning Administrator approval.
3. A maximum of 121 units (including any required on-site managers units) are permitted in conjunction with this Conditional Use Permit.
4. The applicant is advised that the business or use for which this conditional use permit is granted cannot be legally conducted on the subject property until all conditions of approval have been met to the satisfaction of the Planning Division.
5. Construction and operation activities on the property shall be subject to the City's Noise Code (Title 7), which limits construction noise to 7:00 a.m. to 7:00 p.m. weekdays, and 8:00 a.m. to 5:00 p.m. Saturdays. No construction noise is permitted on Sundays or federal holidays.
6. The project shall comply with all existing State Water Quality Control Board and City storm water regulations, including compliance with NPDES requirements related to construction and operation measures to prevent erosion, siltation, transport of urban pollutants, and flooding.
7. The Planning Commission makes the necessary findings in the applicant's favor to grant the following variances. The applicant's justifications and staff's supplemental variance justifications are referenced:
 - a. To allow the proposed project to have a parking ratio of 1.0 parking spaces per dwelling unit where the Zoning Code requires a minimum parking ratio of 1.1 parking spaces per dwelling unit for senior housing projects;

- b. To allow the proposed Senior Housing project to have approximately 43% covered parking where the Zoning Code requires a minimum of 50% covered parking spaces (either under a carport or within an enclosed garage) for senior housing projects;
- c. To allow a four story, approximately 59-foot tall building where the Zoning Code restricts the height of buildings to two stories and 35 feet in the R-1-7000 – Single Family Residential Zone;
- d. To allow an architectural feature on the proposed apartment building to have height of approximately 60 feet where the Zoning Code restricts the height of architectural features to not extend more than 10 percent beyond the maximum height limit permitted in the underlying zone (38 ½ feet in the R-1-7000 – Single Family Residential Zone);
- e. To allow an approximately 12 ½ foot landscape setback along the Fourteenth Street frontage, where a minimum 15-foot landscape setback is required for parking lots with 21 or more parking spaces; and
- f. To allow 32 parking spaces along the Fourteenth Street frontage to have a 2 foot bumper overhang into an adjacent landscaped area where the Zoning Code does not allow for parking stalls to be reduced in depth by an overhang into a planter.

Prior to Building Permit Issuance

- 7. The applicant shall coordinate with the Riverside Transit Agency to determine the best location and construct a bus shelter at one of the three adjacent bus stops in close proximity to the project site; either at Dario Vasquez Park, at the Kansas Avenue Church at the northwest corner of Fourteenth Street and Kansas Avenue, or at the Riverside Faith Temple located across Fourteenth Street from the project site.
- 8. The applicant shall provide a client profile and a detailed management/operations plan for Planning Staff review and approval. The plan shall include a profile of the anticipate residents (age, income level, number of vehicles, etc.). Additionally a management/operations profile shall include the number of employees and shift schedule (including on-site manager) and a detailed description of the services and amenities to be provided, including a draft schedule for the shuttle service for residents and the range of services/facilities that the shuttle will service for residents.
- 9. As part of the management plan, rules, regulations and restrictions for resident conducts shall be submitted for Planning Division Staff review and approval. Regulations shall include provisions that prohibit visible storage or barbeques allowed on the balconies or patios.
- 10. As part of the management plan, managers and Assistant Managers shall be required to live onsite. Up-to-date names and contact information shall be placed on file with the Police Department.

11. A detailed written security plan shall be submitted and approved to the satisfaction of the Planning Division and Police Department.
12. The written security plan shall indicate that the development shall be required to participate in the Police Department's Crime Free Multi-Housing Program.
13. The written, security plan shall indicate that adequate lighting shall be maintained throughout the facility in such a manner to discourage criminal activity, unlawful loitering and graffiti vandalism
14. The written security plan shall indicate that trees and shrubs shall be kept trimmed to maintain visibility from the perimeter of the project site.

During Grading/Construction

15. The applicant shall be responsible for erosion and dust control during both the grading and construction phases of the project.
16. Potential soil stability impacts shall be adequately minimized by: 1) Compliance with the recommendations of the project soils engineer included within the required detailed soils report; and 2) adherence to City adopted interim erosion control measures and the Grading Ordinance (Title 17).
17. The project shall comply with all existing State Water Quality Control Board and City storm water regulations, including compliance with NPDES requirements related to construction and operation measures to prevent erosion, siltation, transport of urban pollutants, and flooding.
18. Should cultural, historical or archeological items be found during grading and construction activity, the construction and grading of this project all activity shall be halted in the vicinity of the find and diverted until a qualified archeologist meeting the Secretary of the Interior standards can evaluate the nature and significance of the find. If human remains are uncovered, the applicant shall contact the County Coroner's Office.
19. Construction and operation of the activities on the property will be subject to the City's Noise Ordinance (Title 7), which limits construction noise that would create a noise disturbance across a residential or commercial property line, to 7:00 a.m. to 7:00 p.m. weekdays, and 8:00 a.m. to 5:00 p.m. Saturdays. No construction noise is permitted on Sundays or federal holidays.

Prior to Occupancy

20. A covenant shall be recorded to the satisfaction of the City Attorney's Office and Planning Division stipulating that tenants of the project shall be individuals with a minimum age of 55 years.

21. The required bus shelter shall be constructed to the satisfaction of the Riverside Transit Agency and the City.
22. The applicant shall provide written evidence to the Planning Division and Police Department that they will be participating in the City's Crime Free Multi-housing Program.
23. A Trespass Authorization shall be filed with the Police Department.
24. Install video surveillance cameras to the specifications of the Riverside Police Department which will act as a visual deterrent to crime, give residents a feeling of security and serve as a valuable investigative resource if needed by the Riverside Police Department. Recordings shall be maintained for a minimum of 72 hours.
25. The site address, as well as individual building letter/number shall be clearly posted and illuminated using 18" (min.) lettering.
26. Address and building letters/numbers shall be painted on the roof of each building using 24" (min.) lettering, so they may be easily located from the air
27. *Advisory:* The business operator shall obtain a business tax certificate from the City of Riverside. An active and current business tax shall maintained by the business operator at all time the permit is active. A lapse in business tax shall constitute an abandonment of the permitted use and may result in the voiding of the permit in accordance with the provisions of Section 19.760.090 of the Municipal Code (Voiding of Conditional Use Permits).
28. A site map of the complex shall be posted at the entrance.
29. "Tenant Parking Only" signs shall be posted.

Operational Conditions

30. A copy of the Conditional Use Permit and the final Conditions of Approval shall be available at the site and presented to City staff, including the Police Department and Code Enforcement, upon request. Failure to have the latest approved conditions available upon request will be grounds for revocation.
31. The applicant shall coordinate with the Riverside Transit Agency (RTA) and Planning Staff to develop a bus pass program for residents.
32. Resident parking on the street in front of the complex or on perimeter streets to the north and east of the complex shall be prohibited.

Standard Conditions

• Planning

33. There shall be a two-year time limit in which to commence construction of the project beginning the day following approval by the Planning Commission unless a public hearing is held by City Council; in that event the time limit begins the day following City Council approval.
34. Within 30 days of approval of this case by the City, the developer shall execute an agreement approved by the City Attorney's Office to defend, indemnify, including reimbursement, and hold harmless the City of Riverside, its agents, officers and employees from any claim, action, or proceeding against the City of Riverside, its agents, officers, or employees to attack, set aside, void, or annul, an approval by the City's advisory agency, appeal board, or legislative body concerning this approval, which action is brought within the time period provided for in Section 66499.37 of the Government Code. The City will promptly notify the developer of any such claim, action or proceeding and the City will cooperate in the defense of the proceeding.
35. This project shall fully and continually comply with all applicable conditions of approval, State, Federal and local laws in effect at the time the permit is approved and exercised and which may become effective and applicable thereafter, and in accordance with the terms contained within the staff report and all testimony regarding this case. Failure to do so will be grounds for Code Enforcement action, revocation or further legal action.
36. This use permit may be modified or revoked by the City Planning Commission or the City Council should they determine that the proposed uses or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to public safety, property or improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.
37. The applicant shall comply with all federal, state and local laws and shall cooperate with the Riverside Police Department (RPD) in the enforcement of all laws relating to this permit. Material violation, as determined by the City Planning Commission, of any laws in connection with this use or failure to cooperate with RPD will be cause for revocation of this permit.
38. This permit is issued based upon the business operations plan and information submitted by the applicant, which has been used as the basis for evaluation of the proposed use in this staff report and for the conditions of approval herein. Permittee shall notify Community Development Department, Planning Division, of any change in operations and such change may require a revision to this permit. Failure to notify the city of any change in operations is material grounds for revocation of this conditional use permit.

39. The applicant herein of the business subject to this conditional use permit acknowledges all of the conditions imposed and accepts this permit subject to those conditions and with the full awareness of the provisions of Title 19 of the Riverside Municipal Code. The applicant shall inform all its employees and future operators of the business subject to this permit of the restrictions and conditions of this permit as they apply to the business operations.
40. Failure to abide by all conditions of this permit shall be cause for revocation.
41. The plans shall be submitted for plan check review to assure that all required conditions have been met prior to exercising of this permit.
42. The subject property shall be developed and operated substantially as described in the text of this report and as shown on the plot plan on file with this case except for any specific modifications that may be required by these conditions of approval.
43. The applicant shall continually comply with all applicable rules and regulations in effect at the time permit is approved and exercised and which may become effective and applicable thereafter.

GENERAL INFORMATION NOTES

1. Appeal Information
 - a. Actions by the City Planning Commission, including any environmental finding, may be appealed to the City Council within fifteen calendar days after the decision.
 - g. Appeal filing and processing information may be obtained from the Community Development Department, Planning Division, Public Information Section, 3rd Floor, City Hall.

RECOMMENDED CONDITIONS & GENERAL INFORMATION NOTES

Case Number: **P09-0809** (Design Review)

Meeting Date: May 5, 2011

CONDITIONS **All mitigation measures are noted by an asterisk (*)**

Case Specific

- **Planning**

1. All applicable conditions of related Planning Cases P09-0808 (Conditional Use Permit) & P09-0910 (Vacation) shall apply to this project.

Prior to Grading Permit Issuance:

2. A 40-scale precise grading plan shall be submitted to the Planning Division and include the following:
 - a. Hours of construction and grading activity are limited to between 7:00 a.m. and 7:00 p.m. weekdays and 8:00 a.m. and 5:00 p.m. Saturdays. No construction noise is permitted on Sundays or Federal Holidays;
 - b. Compliance with City adopted interim erosion control measures;
 - c. Compliance with any applicable recommendations of qualified soils engineer to minimize potential soil stability problems;
 - d. Incorporate contour grading in accordance with City policy;
 - e. Include a note requiring the developer to contact Underground Service Alert at least 48 hours prior to any type of work within pipeline easement;
 - f. Note all drainage features will be color treated to match surrounding terrain;
 - g. Slope landscape/irrigation plans for all slopes over 5 feet in vertical height shall be submitted to and approved by the Planning Division; and
 - h. Final BMPs shall be finalized, subject to Public Works Department approval.

Prior to Permit Issuance:

3. Landscaping, irrigation, exterior lighting, perimeter wall/fence and sign plans shall be submitted for Design Review staff approval. Design modifications may be required as deemed necessary. Separate applications and filing fees are required. Landscaping, irrigation and exterior lighting plans must be submitted prior to building permit issuance.

4. Submit three sets of plans depicting the exact size, design and location of the domestic water backflow preventer and all on and off-site utility cabinets to the Planning Division. These plans will be reviewed and approved by the Water Department and Planning Division. The design shall include the smallest preventer possible, painted green with some form of screening. The applicant is advised to consult with the Water Department prior to preparing these plans.
5. Submit three sets of plans depicting the preferred location for an above ground utility transformer of capacity to accommodate the planned or speculative uses within the subject site. These plans shall be reviewed and approved by the Planning Division and Public Utilities Department - Electric Division prior to the issuance of a building permit. The proposed location of the transformer shall be level, within 100 feet of the customer's service point, accessible to service trucks and in a location where the transformer can be adequately screened from public view, either by buildings or landscape screening. If landscape screening is the preferred screening method, no landscaping except ground cover shall be allowed within 10 feet of the transformer. The applicant is advised to consult with the City of Riverside Public Utilities, Electrical Engineering Division, at (951) 826-5489 prior to preparing these plans.
6. An exterior lighting plan shall be submitted to Design Review staff for review and approval. A photometric study and manufacturer's cut sheets of all exterior lighting on the new buildings and within the common open space areas shall be submitted with the exterior lighting plan. All on-site lighting shall provide a minimum intensity of one foot-candle and a maximum intensity of ten foot-candles at ground level throughout the areas serving the public and used for parking, with a ratio of average light to minimum light of four to one (4:1). The light sources shall be shielded to minimize off-site glare, shall not direct light skyward and shall be directed away from adjacent properties and public rights-of-ways. If lights are proposed to be mounted on buildings, down-lights shall be utilized. Light poles shall not exceed twenty (20) feet in height, including the height of any concrete or other base material.
7. The Building Elevations shall be submitted for Design Review staff approval, and shall include the following:
 - a. Plans shall indicate that all units on above ground floor patios or upper story balconies will be at least 50 square feet in area, with no dimension less than five feet;
 - b. The building elevations submitted for building permits shall clearly specify all building materials and colors to comply with the recommended conditions of approval as specifically required under this condition;
 - c. All windows shall have a minimum modulation (recess or frame out surround) of at least three inches;
 - d. The plans shall reflect rafter tails, rain gutters and score lines as required per the Uniform Building Code;

- e. Add additional decorative tile and articulation at the main entry and other strategic locations such as the doors to the patio area and shuttle pick up area;
 - f. Roofing material shall consist of a high quality concrete “S” tile intended to emulate terra cotta;
 - g. Upper floor balcony railings shall be constructed of wrought iron or comparable to allow visibility;
 - h. The building elevations submitted for building permits shall include carport plans which include a decorative pitched roof with colors and materials to match the building, and a decorative rear wall, to the satisfaction of Planning Staff; and
 - i. The back walls of the carports along the Georgia Street frontage shall be decorative in nature to completely screened and designed in a manner complementary to the proposed building.
8. Manufacture’s Cut sheets of the proposed building details (i.e. decorative sconce lighting, decorative tile, shutters, metal railings, and decorative columns, etc.) shall be submitted to Planning Staff for approval.
9. A sight line study shall be submitted for review and approval of Design Review staff, indicating that any existing and new roof mounted mechanical equipment will be completely screened from view of all perimeter streets. Parapet walls shall be designed so the top of these walls are higher than the tallest mechanical equipment on the roof of the building. Additionally, mechanical equipment screening details shall be provided as follows:
- Where exposed pitched roofs are proposed, locate NO mechanical equipment on any roof pitch, except as specifically approved by the Planning Commission or Design Review staff;
- a. Where exposed roof pitches are not proposed (i.e., “flat” roofs) specify all roof mounted equipment for screening on all sides with either separate screens or parapet walls at least as high as the equipment to be screened;
 - b. Specify all electric meters and panels for 1) placement in enclosures or 2) color and materials to match the adjacent building wall surface; and
 - c. Indicate all gas meters, pipes and valves, ground mounted AC units, etc., for screening devices indicated materials and design complimentary to building architecture subject to Design Review staff approval.
10. **Staff Required Site Plan Conditions:** Site plans shall be submitted for Design Review staff approval, and shall include the following:

- a. The on-site security gate and turnaround configurations shall be designed to comply with an underlying easement agreement and the final design be subject to approval of the Planning, Public Works and Fire Departments;
 - b. Verify that all internal drive aisles meet the minimum standards, as specified in Section 19.58.080 of the Zoning Code;
 - c. Decrease the width of the drive aisle closest to Fourteenth Street to 24 feet in width;
 - d. Provision for minimum 12-inch wide concrete walkways, including curb width, along the sides of landscape planters whenever the side of a parking stall is adjacent to it;
 - e. Indicate the use of colored textured paving material within common open space areas throughout the project;
 - f. Provision for handicap accessible parking as deemed necessary by Building and Safety Division;
 - g. Include the delineation of wheel stops where parking spaces are adjacent to pedestrian walkways, screen walls or building walls;
 - h. Right turn only signs shall be installed at both egress points along Fourteenth Street;
11. Trash container/enclosures shall not be located adjacent to buildings for security purposes.
12. Manufacture's Cut sheets of the proposed outdoor furniture shall be submitted to Planning Staff for approval.
13. **Staff Required Fence/Wall Plan Conditions:** Fence/Wall plans shall be submitted for Design Review staff approval, and shall include the following:
- a. The location, height and design of all perimeter and interior fences and retaining walls;
 - b. A six foot high decorative masonry wall with a decorative cap shall be constructed along the Eucalyptus Avenue interface in lieu of the proposed wrought iron fence for privacy of the on-site common open space area, to the satisfaction of Design Review staff.;
 - c. Decorative pilasters shall be integrated into the design of the fences along the street frontages and the gate to the secure parking area to the satisfaction of Design Review staff;
 - d. The fence and wall plan shall include details as to the height, color and material of the proposed emergency "crash" gate along the Georgia Street frontage;

- e. Perimeter fencing adjacent to the public rights-of-way shall be constructed of wrought iron, or comparable, to provide visibility into the complex,
 - f. The back walls of the carports along the Georgia Street frontage shall be decorative in nature to completely screened and designed in a manner complementary to the proposed building;
 - g. A six foot high decorative masonry wall with a decorative cap shall be constructed along the Georgia Street frontage between the westerly-most carport structure and the Fourteenth Street frontage as to screen uncovered parking spaces from the existing adjacent residences on the northerly side of Georgia Street, to the satisfaction of Design Review staff.;
 - h. The developer shall construct all walls and fences in conjunction with construction of the project.
14. **Staff Required Landscape/Irrigation Plans Conditions:** Landscape and irrigation plans submitted for Design Review staff review and approval shall include the following:
- a. Stamped concrete shall be provided at the primary driveway, to the satisfaction of Planning Staff;
 - b. Landscaping of all common areas;
 - c. An amenities plan including all proposed outdoor furniture;
 - d. Landscape pockets with vertical plantings between garage doors along drive aisles;
 - e. Vines trained to grow up all wrought iron perimeter fencing;
 - f. The landscaping along the Fourteenth Street frontage adjacent to the parking areas shall consists of low shrubs and ground cover on the project side as to accommodate two feet of bumper overhang, and decorative low shrubs and hedges to allow visibility into the complex while providing visually appealing landscape design.
 - g. The plant palette shall include the use of drought tolerant plant species in accordance with the City's Water Efficient Ordinance.

Prior to Occupancy:

- 15. Install the landscape and irrigation per the approved plans and submit the completed "Certificate of Substantial Completion" (Appendix C of the water Efficient Landscaping and Irrigation Ordinance Summary and Design Manual) signed by the Designer/auditor responsible for the project. Call Kyle Smith, at (951) 826-5220 to schedule the final inspection at least a week prior to needing the release of utilities.

Standard Conditions

● Planning

16. The project must be completed per the Design Review by the Planning Commission, including all conditions listed in this report. Any substantial changes to the project must be approved by the Planning Commission or minor by Design Review staff. Upon completion of the project, a Design Review staff inspection must be requested, and UTILITIES will not be released until it is confirmed that the approved plans and all conditions have been implemented.
17. This approval is for design concept only, and does not indicated the project has been thoroughly checked for compliance with all requirements of law. As such, it is not a substitute for the formal building permit plan check process, and other changes may be required during the plan check process.
18. There is a 24 month time limit on this approval, which begins following City Council approval of this case.
19. The subject property shall be developed and operated substantially as described in the text of this report and as shown on the plot plan on file with this case except for any specific modifications that may be required by these conditions of approval.

● Public Works

20. Installation of curb and gutter, sidewalk and roadway widening on Fourteenth Street adjacent to the project frontage to provide a right turn pocket and acceleration lane to serve the main entrance to Public Works specifications.
21. Dedication of a public sidewalk easement on Fourteenth Street to Public Works specifications.
22. Installation of curb and gutter at 18 feet from construction centerline, sidewalk and matching paving on Georgia Street to Public Works specifications.
23. Deed for widening Georgia Street to provide 60' total right-of-way to Public Works specifications.
24. Installation of curb and gutter at 13 feet from monument centerline and a knuckle at the intersection of Vasquez Place, sidewalk and matching paving on Eucalyptus Avenue to Public Works specifications. On-street parking shall be prohibited on this portion of Eucalyptus Avenue.
25. Deed for widening Eucalyptus Avenue to provide a minimum 60' total right-of-way and accommodate a knuckle at the intersection of Vasquez Place to Public Works specifications.

26. Main driveway to be located on Fourteenth Street as reflected on the approved site plan, to be curb return-type, radius and width to meet Fire Code with a raised center diverter, all to Public Works specifications.
27. Size, number and location of secondary and emergency vehicle access driveways to Public Works specifications.
28. Off-site improvement plans to be approved by Public Works prior to construction permit issuance.
29. A surety prepared by Public Works to be posted to guarantee the required off-site improvements prior to building permit issuance.
30. Installation of a sewer lateral to serve this project to Public Works specifications.
31. Prior to final inspection for the development project, the applicant shall pay the Transportation Uniform Mitigation Fee (TUMF) in accordance with the fee schedule in effect at the time of payment. If the project improvements include qualifying right-of-way dedications and/or street improvements to a TUMF regional arterial roadway as identified on the Regional System of Highways and Arterials, the developer may have the option to enter into a Credit/ Reimbursement Agreement with the City and Western Riverside Council of Governments (WRCOG) to recover costs for such work based on unit costs as determined by WRCOG.

The terms of the agreement shall be in accordance with the RMC Chapter 16.68 and the TUMF Administrative Plan requirements. Credit/reimbursement agreements must be fully executed prior to receiving any credit/reimbursement. An appraisal is required for credit/reimbursement of right of way dedications and credit/reimbursement of qualifying improvements requires the public bidding and payment of prevailing wages in accordance with State Law. For further assistance, please contact the Public Works Department.

32. Prior to issuance of a building or grading permit, the applicant shall submit to the City for review and approval, a project-specific WQMP that:
 - a. Addresses Site Design BMP's such as minimizing impervious areas, maximizing permeability, minimizing directly connected impervious areas, creating reduced or "zero discharge" areas and conserving natural areas;
 - b. Incorporates the applicable Source Control BMP's as described in the Santa Ana River Region WQMP and provides a detailed description of their implementation;
 - c. Incorporates Treatment Control BMP's as described in the Santa Ana River Region WQMP and provides information regarding design considerations;
 - d. Describes the long-term operation and maintenance requirements for BMP's requiring long-term maintenance; and

- e. Describes the mechanism for funding the long-term operation and maintenance of the BMP's requiring long-term maintenance.
- 33. Prior to issuance of any building or grading permits, the property owner shall record a "Covenant and Agreement" with the County-Clerk Recorder or other instrument acceptable to the City Attorney to inform future property owners of the requirement to implement the approved project-specific WQMP. Other alternative instruments for requiring implementation of the approved project-specific WQMP include: requiring the implementation of the project-specific WQMP in the Home Owners Association or Property Owners Association Conditions, Covenants and Restrictions (C,C&R's); formation of Landscape, Lighting and Maintenance Districts, Assessment Districts or Community Service Areas responsible for implementing the project-specific WQMP; or equivalent may also be considered. Alternative instruments must be approved by the City prior to the issuance of any building or grading permits.
 - 34. If the project will cause land disturbance of one acre or more, it must comply with the statewide General Permit for Storm Water Discharges Associated with Construction Activity. The project applicant shall cause the approved final project-specific WQMP to be incorporated by reference or attached to the project's Storm Water Pollution Prevention Plan as the Post-Construction Management Plan.
 - 35. Prior to building or grading permit closeout or the issuance of a certificate of occupancy or certificate of use, the applicant shall:
 - a. Demonstrate that all structural BMP's described in the project-specific WQMP have been constructed and installed in conformance with approved plans and specifications;
 - b. Demonstrate that applicant is prepared to implement all non-structural BMP's described in the approved project-specific WQMP; and
 - c. Demonstrate that an adequate number of copies of the approved project-specific WQMP are available for the future owners/ occupants.

- **Public Utilities – Water**

Contact Rick Small at (951) 826-5583 with any water questions regarding this project.

- 36. Advisory: A water main extension will be required for development. Approximately 1000' of 12" water main fronting property on 14th Street and 400' of an 8" water main to extend from existing water main on Georgia to Eucalyptus and to connect to existing water main on Vasquez Pl. Contact Water Division for specific requirements.

- **Public Utilities – Electric**

CONTACT SUMMER DELGADO AT 951-826-2129 FOR QUESTIONS REGARDING PUBLIC UTILITIES (ELECTRIC) CONDITIONS/CORRECTIONS LISTED BELOW.

37. All utilities shall be satisfactorily relocated, protected and/or replaced to the specifications of the affected departments and agencies, and easements for such facilities retained as necessary.
38. The provision of utility easements, water, street lights and electrical underground and/or overhead facilities and fees in accordance with the rules and regulations of the appropriate purveyor.

- **Fire Department**

39. Requirements for construction shall follow the currently adopted California Building Code and California Fire Code with City of Riverside amendments.
40. Construction plans shall be submitted and permitted prior to construction.
41. Any required fire hydrants shall be installed and operational prior to Fire Department release of permit.
42. Fire Department access is required to be maintained during all phases of construction.

- **Park and Recreation**

43. Prior to Building Permit Issuance: Payment of all applicable park development fees (local and regional/reserve) as mitigation for the impacts of the project on the park development and open space needs of the City. For questions or concerns regarding this condition contact Park Planning and Design - 826-2000.

GENERAL INFORMATION NOTES

1. Appeal Information
 - a. Actions by the City Planning commission, including any environmental finding, may be appealed to the City Council within ten calendar days after the decision.
 - b. Appeal filing and processing information may be obtained from the Planning Department Public Information Section, 3rd Floor, City Hall.

RECOMMENDED CONDITIONS & GENERAL INFORMATION NOTES

Case Number: P09-0810 (Vacation)

Meeting Date: May 5, 2011

CONDITIONS

Case Specific

- **Planning**

1. All applicable conditions of related Planning Case P09-0808 (Conditional Use Permit) & P09-0909 (Design Review) shall apply to this project.
2. This vacation shall be by resolution or as otherwise approved by the City Attorney's Office.
3. If the disposition of the vacated right-of-way is other than by operation of law, quitclaim deeds shall be exchanged indicating that disposition, subject to Public Works and City Attorney's Office approval.
4. Prior to, or concurrently with the completion of this vacation case, the right-of-way proposed for vacation shall be consolidated with the adjoining parcel(s) via an Administrative Lot Consolidation.
5. The applicant is responsible for all physical improvements associated with this vacation. The final design solution shall be reviewed and approved by the Planning Division prior to finalization of this vacation case. Existing vehicular access to 2290 Vasquez Place from the west shall be retained and an access easement shall be recorded to allow access to the garage at this address.
6. The City Attorney's Office shall determine which, if any, nearby property owners will be significantly affected by the vacation action and the applicant shall provide the appropriate Hold Harmless documents to the specifications of the City Attorney's Office.
7. Hours of construction are limited to between 7:00 a.m. and 7:00 p.m. weekdays and 8:00 a.m. and 5:00 p.m. Saturdays. No construction noise is permitted on Sundays or Federal Holidays.

Standard Conditions

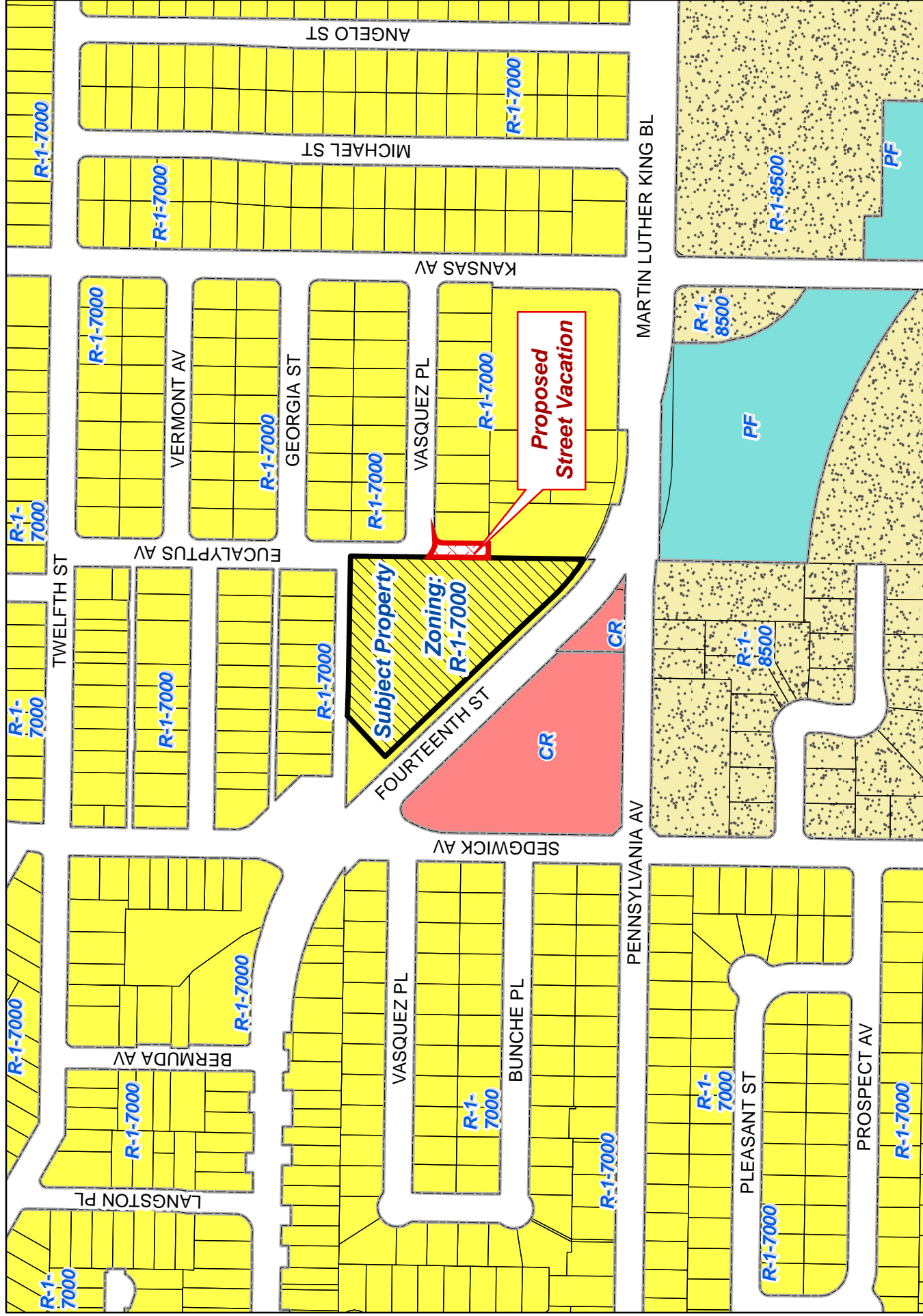
8. There shall be a two year time limit in which to commence the vacation beginning the day following approval by the Planning Commission unless a public hearing is held by City Council; in that event the time limit begins the day following City Council approval.

9. Enumeration of the conditions herein shall not exclude or excuse compliance with all applicable rules and regulations in effect at the time this permit is exercised.
- **Public Works**
 10. All conditions placed upon this case must be fulfilled prior to the recording of the vacation resolution by the City Clerk. The case is not finalized until the City Clerk records the Vacation Resolution.
 11. Council authorizes the City Manager to execute quitclaims documents on behalf of the City of Riverside to extinguish the desired public rights within the vacated right of way that does not revert by operation of law.
 12. Prior to finalization of the case, the adjoining property owners shall provide the appropriate documentation that the lender(s) / trustee(s) has(have) agreed to modify any Trust Deed(s) to reflect the reconfigured parcel(s).
 13. Property transfers to the final proposed parcel configurations must be accomplished concurrently with the finalization of this case. Ownership of the property shall remain undivided prior to recordation of the Certificate of Compliance for Lot Line Adjustment.
 14. All recording fees of the Riverside County Recorder, including transfer documents, grants of right-of-way and the Certificate of Compliance for Lot Line Adjustment are the responsibility of the adjoining property owner.
 15. Applicant shall prepare Grant Deeds that have each owner grant to themselves each of the parcels in their final configuration. This requirement is necessary to insure that the final parcel configurations and ownership's are clearly identified in the Land Title History.
 16. Vacation case P09-0810 to be completed prior to issuance of the Certificate of Compliance.

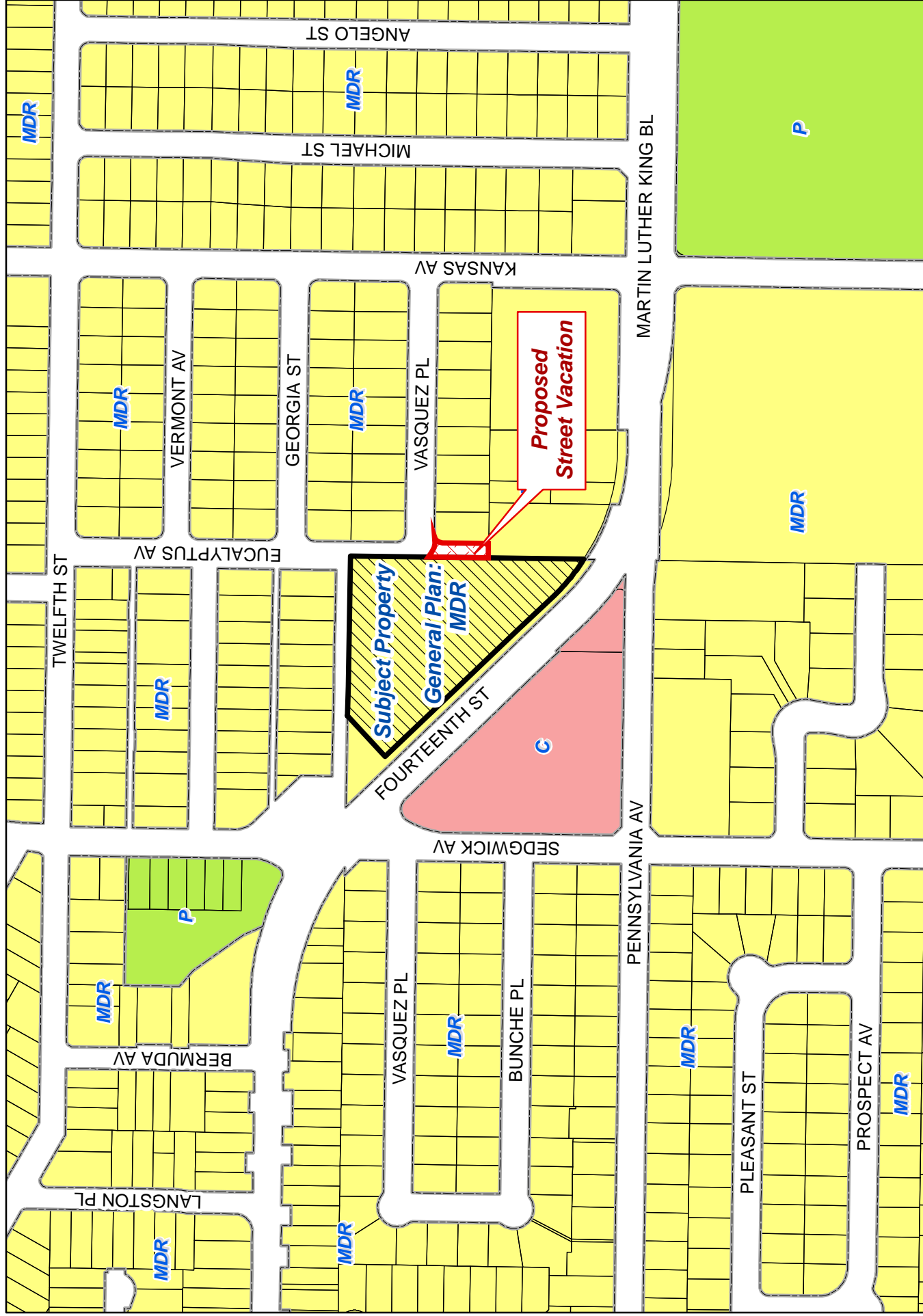
GENERAL INFORMATION NOTES

Appeal Information:

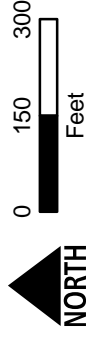
- a. Actions by the City Planning Commission, including any finding that a negative declaration be adopted, may be appealed to the City council within ten calendar days after the decision.
- b. Appeal filing and processing information may be obtained from the Planning Department Public Information Section, 3rd floor, City Hall.



P09-0808/0809/0810, Exhibit 1 - Zoning

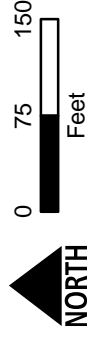


P09-0808/0809/0810, Exhibit 2 - General Plan





P09-0808/0809/0810, Exhibit 3 - 2008 Aerial Photo



Detailed Description and Amenities

Four-story, 121-unit, Mission-style Senior Independent Living Facility

For more detailed information, please see Site Plan - Sheet A1

Common Amenities

Enhanced senior living
Convenience of full on-site staff and administration
Personal assistant services available
Fully secure, gated community with easy card control access throughout
Come and go with ease with flexible travel arrangements

Outdoor Common Space Amenities

Scenic Mission-style architecture
Lavish outdoor landscaping with meditation-style gardens and tranquil waterfalls
Pet-friendly with dog park
Large gathering areas with tables, chairs, and umbrellas

Get active:
- Putting Greens
- Bocce Ball
- Soothing outdoor spa
- Heated swimming pool with poolside lounge recliners
- BBQ areas with covered eating tables

Indoor Common Space Amenities

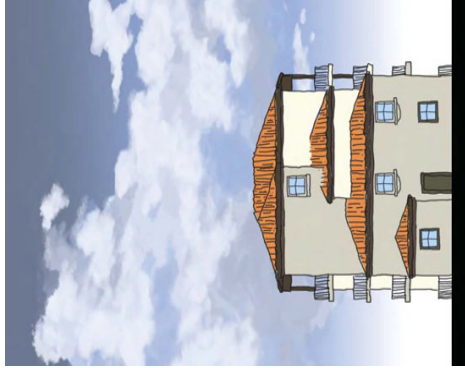
Beauty salon and spa
Mail service
Card/Game room
Library with Wi-Fi connectivity and available computers
Cozy living room with fireplace
Entertainment center with large screen television
Bistro with sit-in deli counter

In YOUR unit:

Individual climate comfort controls
State of the art fire and life safety systems
In-house emergency call system
Full kitchens in every unit (including built-in range/oven, microwave, and refrigerator)
Cable and high-speed internet service
In-unit clothes washer and dryer
Spacious covered balconies add outdoor living opportunities to every unit



RIVERSIDE SENIOR APARTMENTS
RIVERSIDE SENIOR HOUSING PARTNERS, LLC.
RIVERSIDE, CA



4 West End Elevation



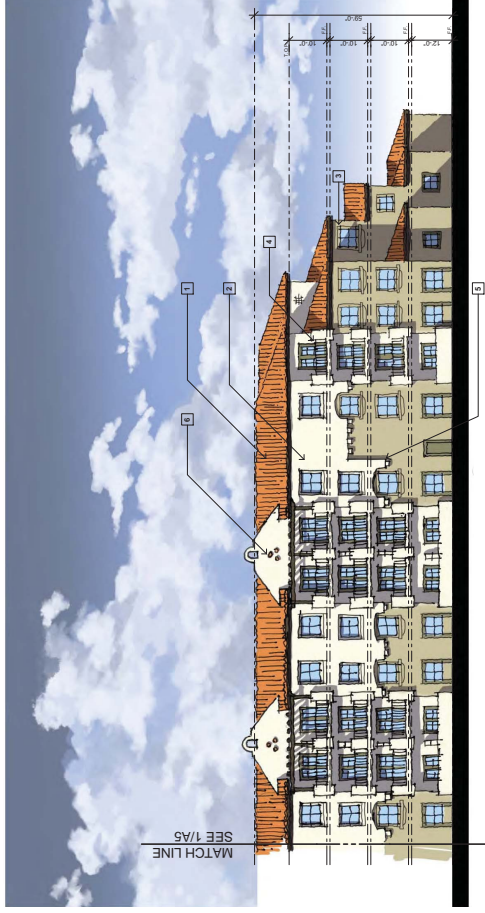
1 Front Elevation



5 South End Elevation



2 South Elevation



3 West Elevation

- LEGEND**
- 1 SPANISH "RED" TILE ROOF
 - 2 STUCCO FINISH
 - 3 BALCONY RAILING
 - 4 BLACK WROUGHT IRON-LOOK STEEL RAILING
 - 5 FAUX WOOD CORBEL
 - 6 FAUX WOOD SHUTTERS
 - 7 CERAMIC TILE ACCENT

P09-0808/0809/0810, Exhibit 6 - Building Elevations



- LEGEND**
- 1 SPANISH 'RED' TILE ROOF
 - 2 STUCCO FINISH
 - 3 BLACK W/ L LOOK STEEL RAILING
 - 4 FAUX WOOD CORBELS
 - 5 FAUX WOOD CORBELS
 - 6 FAUX WOOD CORBELS
 - 7 CERAMIC TILE DETAIL

1 Courtyard Elevation

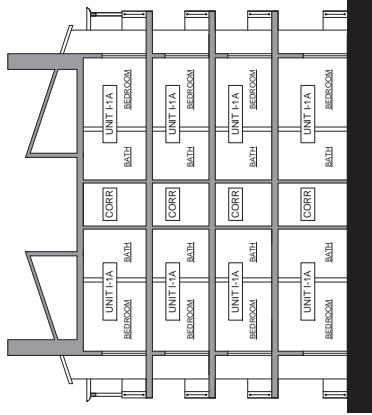


2 East Elevation

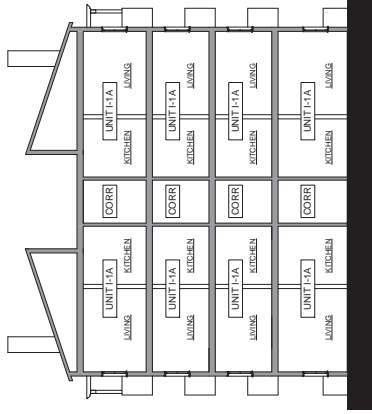


3 North Elevation

P09-0808/0809/0810, Exhibit 6 - Building Elevations

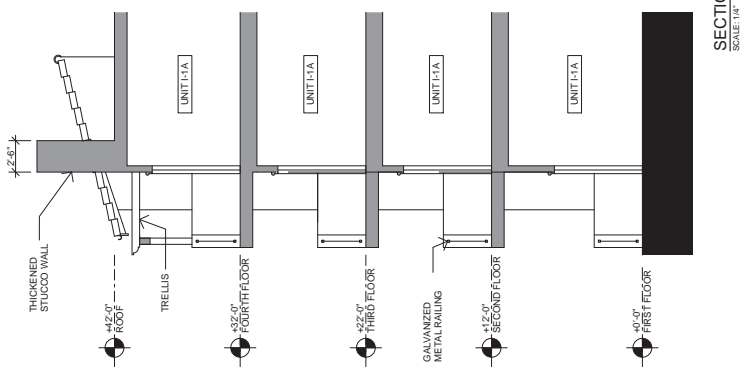
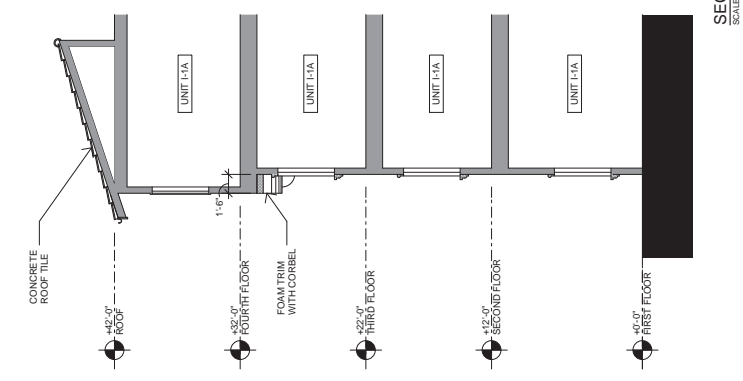
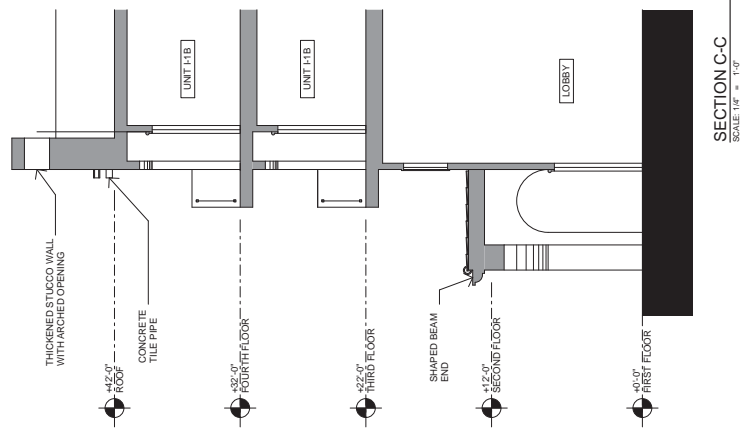
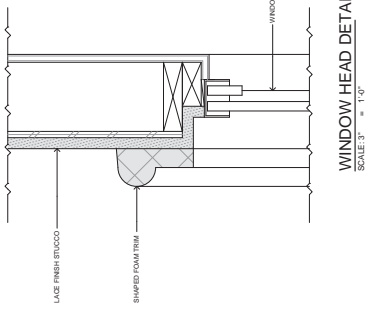
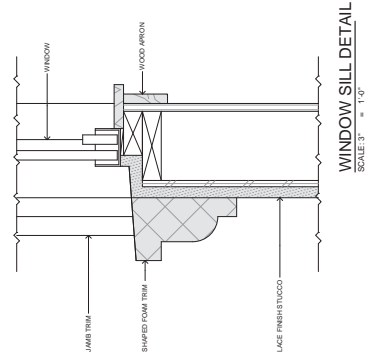


2 SECTION B
SCALE: 1/8" = 1'-0"

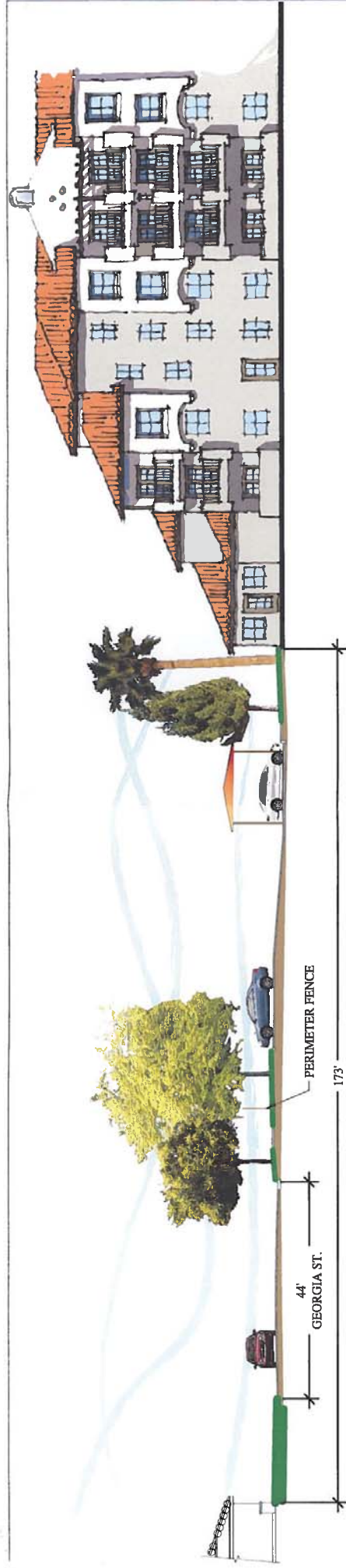


1 SECTION A
SCALE: 1/8" = 1'-0"

P09-0808/0809/0810, Exhibit 6 - Building Sections



P09-0808/0809/0810, Exhibit 6 - Building Sections



SECTIONS

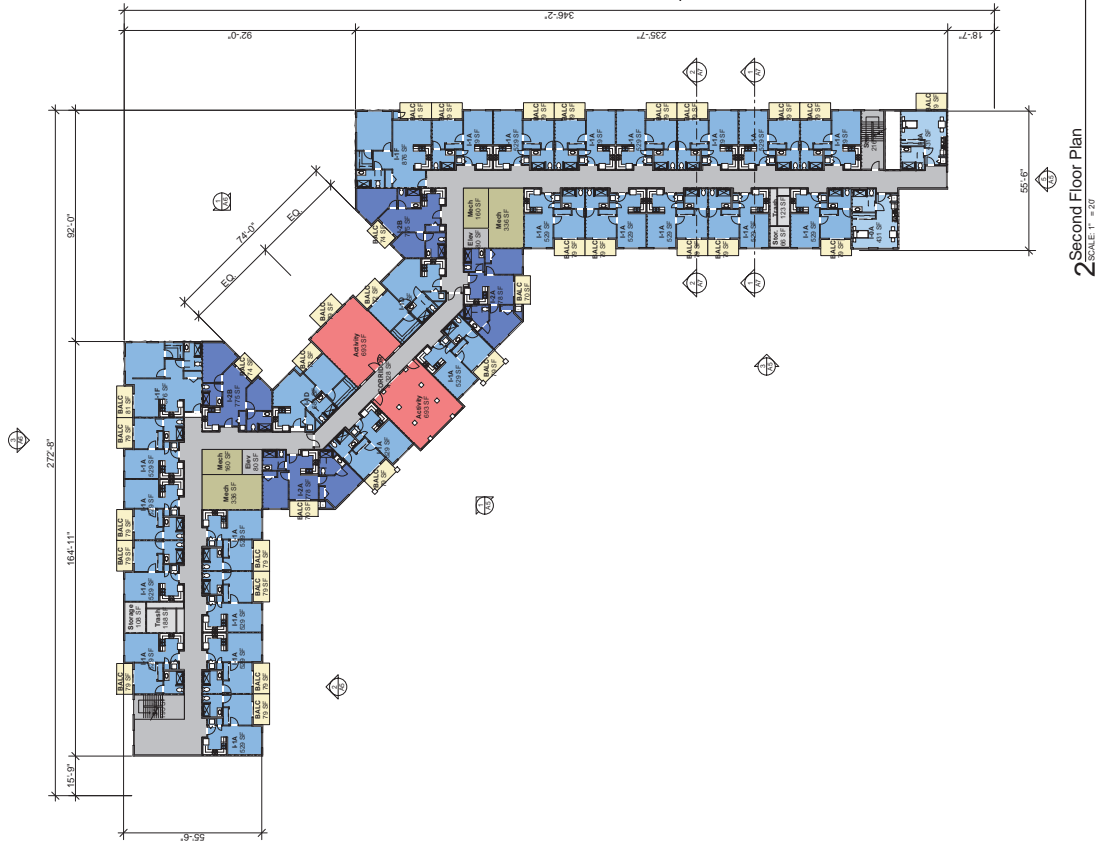
14th STREET SENIOR HOUSING

CITY OF RIVERSIDE

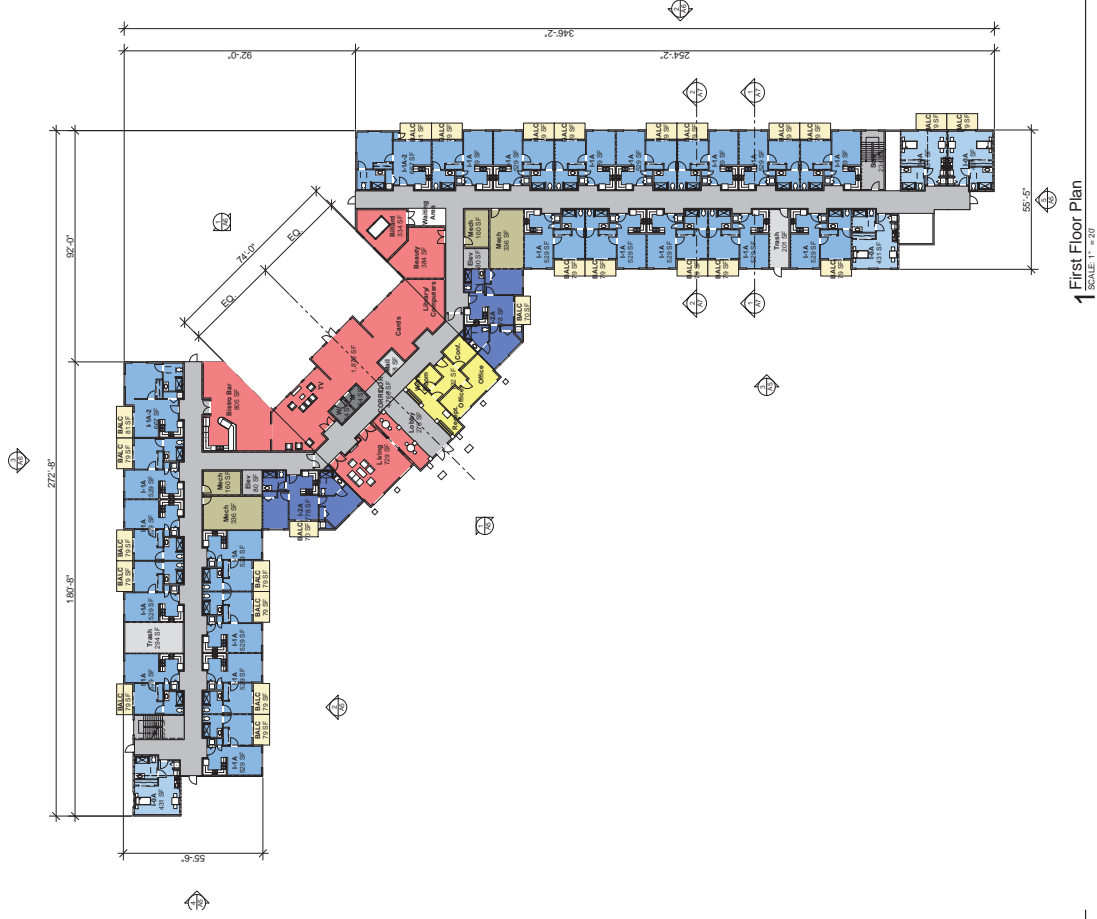


4449 Brockton Ave.
Riverside, CA 92506
(951) 366-0700
Fax (951) 366-4339
http://www.wandrar.com





2 Second Floor Plan
SCALE: 1" = 20'

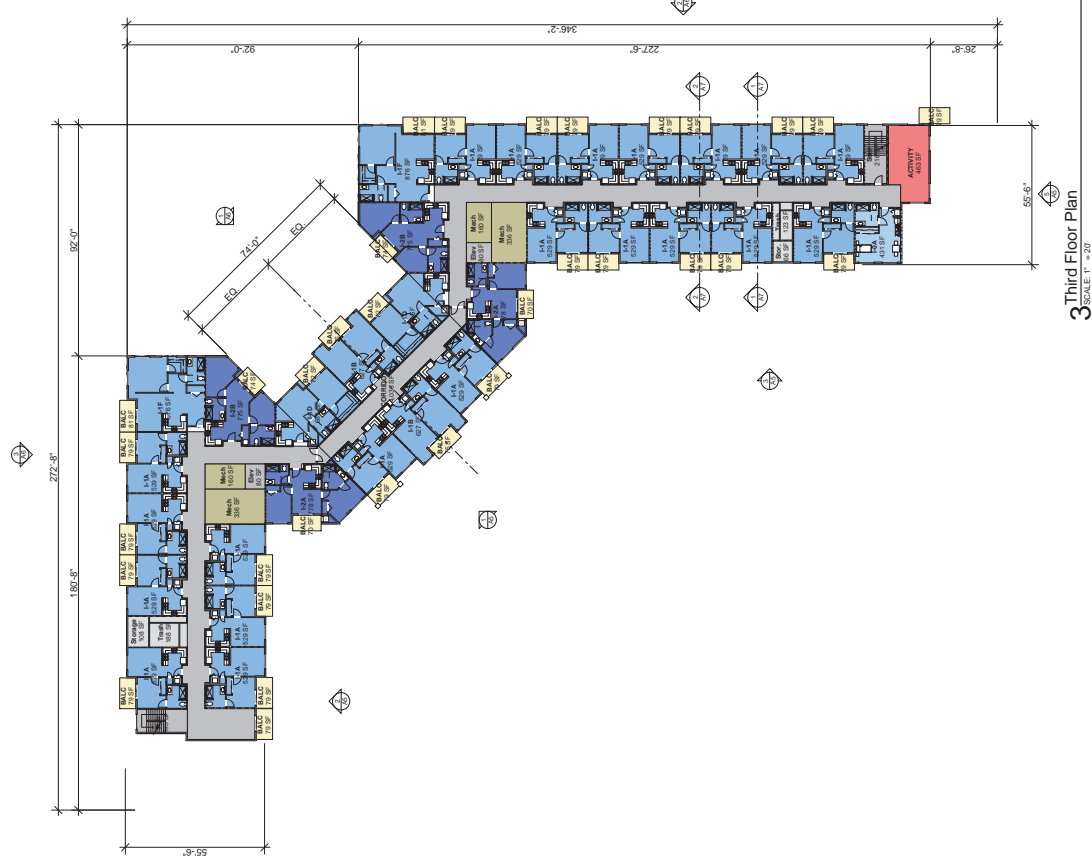
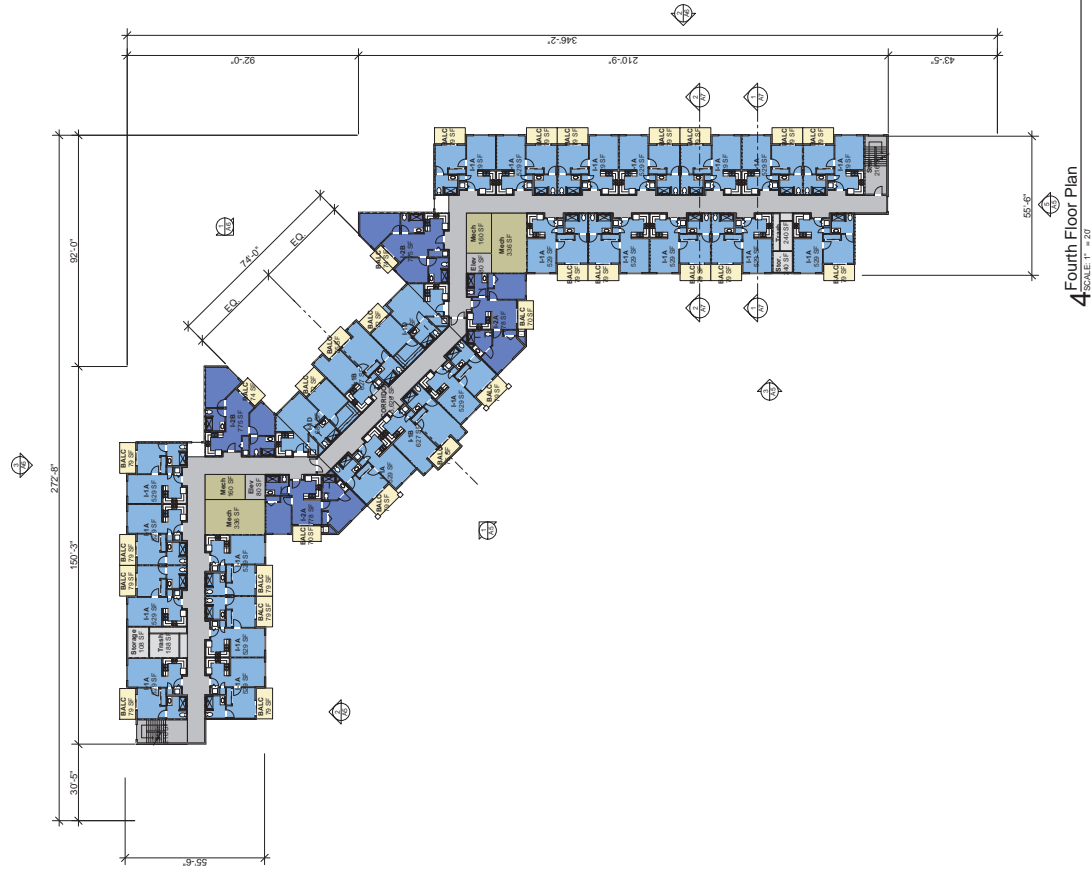


1 First Floor Plan
SCALE: 1" = 20'



SCALE: 1" = 20'

P09-0808/0809/0810, Exhibit 7 - Floor Plans



SCALE: 1" = 20'

P09-0808/0809/0810, Exhibit 7 - Floor Plans

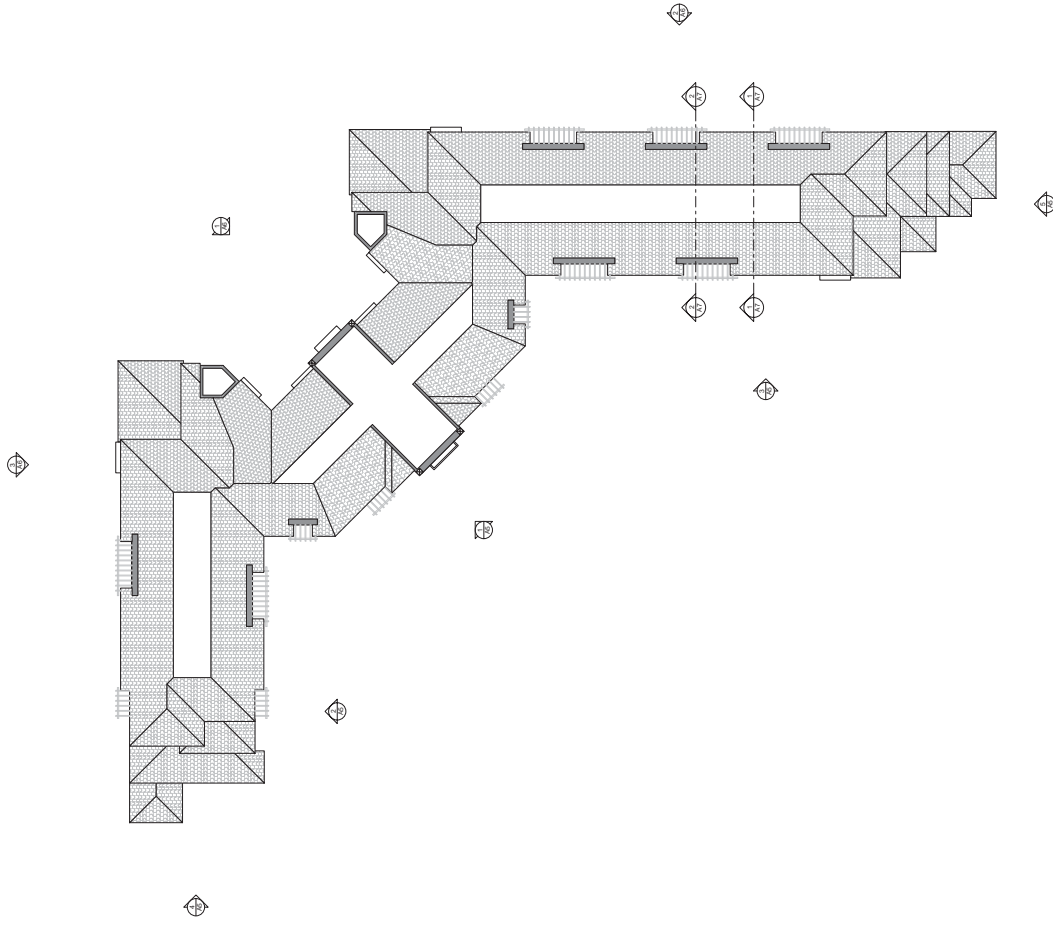
Douglas Pancake
ARCHITECTS
1470 Ambrose Road, Second Floor, Newport Beach, CA 92660
949-720-3850 FAX 949-720-3843 www.pancakearchitects.com

RIVERSIDE SENIOR APARTMENTS
RIVERSIDE SENIOR HOUSING PARTNERS, LLC.
RIVERSIDE, CA

Floor Plans
A3
PROJECT NO: 07004_01
PLOT DATE: 3/3/2011



P09-0808/0809/0810, Exhibit 7 - Floor Plans



SCALE: 1" = 20'



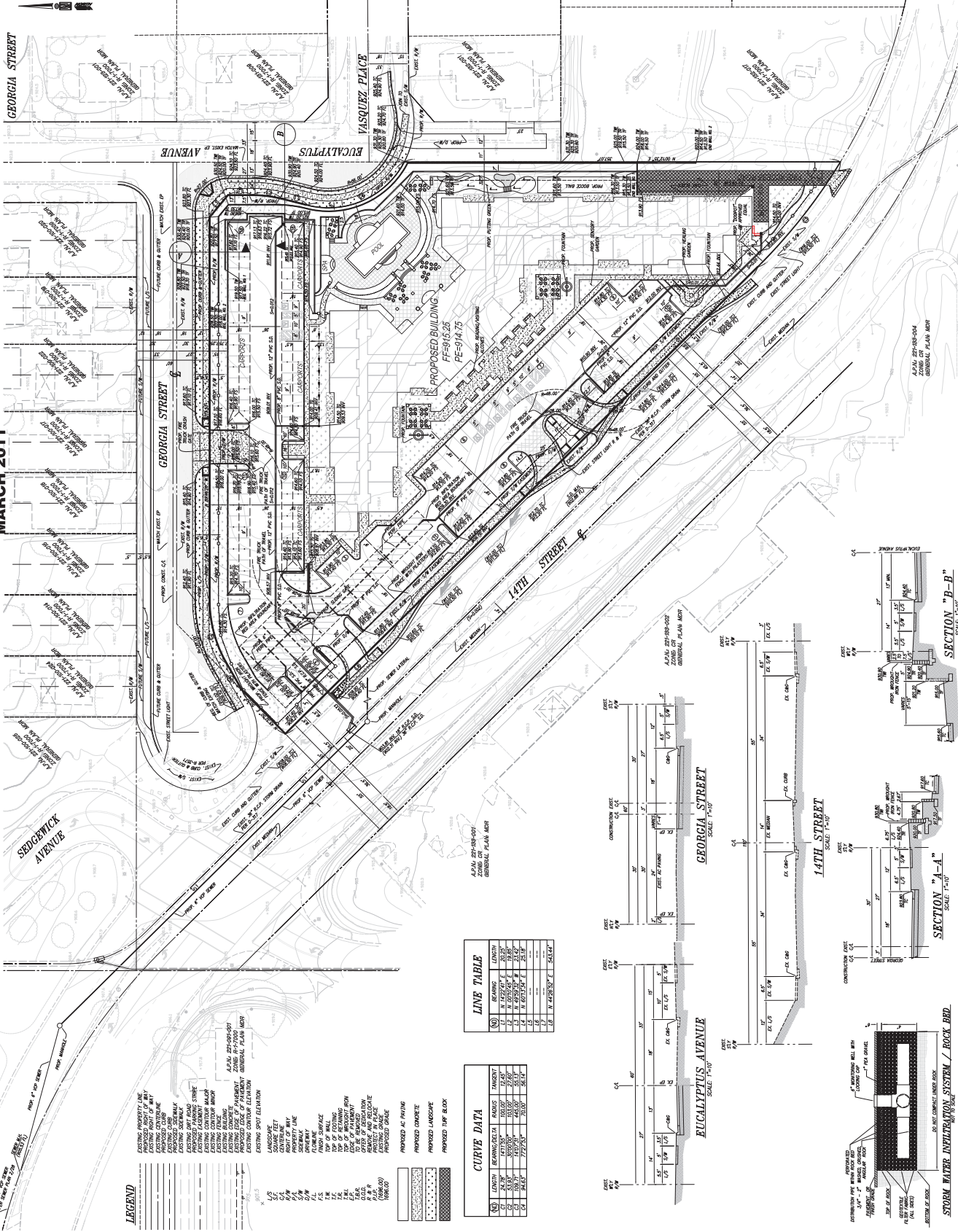
P09-0808/0809/0810, Exhibit A [Redacted]

Douglas Pancake
ARCHITECTS
3819 72nd Street, Suite 200
San Diego, CA 92121
619.594.7200 | www.pancakearchitects.com

RIVERSIDE SENIOR APARTMENTS
RIVERSIDE SENIOR HOUSING PARTNERS, LLC.
RIVERSIDE, CA

Roof Plan
A4
PROJECT NO. 07004_01
PLOT DATE: 3/3/2011

CONDITIONAL USE PERMIT CONCEPTUAL GRADING PLAN CITY OF RIVERSIDE MARCH 2011



OWNER/APPLICANT
ENGINEER
TOPOGRAPHY SOURCE

OWNER/APPLICANT
THOMAS RIOS, INC.
1400 S. G ST. SUITE 100
RIVERSIDE, CA 92507
PHONE (951) 507-1313
FAX (951) 507-1313

ENGINEER
THOMAS RIOS, INC.
1400 S. G ST. SUITE 100
RIVERSIDE, CA 92507
PHONE (951) 507-1313
FAX (951) 507-1313

TOPOGRAPHY SOURCE
CHRISTOPHER S. JONES & ASSOCIATES
1400 S. G ST. SUITE 100
RIVERSIDE, CA 92507
PHONE (951) 507-1313
FAX (951) 507-1313

LEGAL DESCRIPTION
3.13 ACRES N.W. 1/4 OF LOT 19 AB. 03/29/79 38 GASTAVIA AND
SECTION 25, TOWNSHIP 2 SOUTH, RANGE 5 WEST
ASSASSOR'S PARCEL NO.

ZONING/LAND USE/GENERAL PLAN
EXISTING LAND USE: RESIDENTIAL
PROPOSED LAND USE: COMMERCIAL (GENERAL RESIDENTIAL)
PROPOSED ZONING: C-2 (COMMERCIAL)
PROPOSED GENERAL PLAN: COMMERCIAL (GENERAL RESIDENTIAL)

UTILITY PURVEYORS
WATER: CITY OF RIVERSIDE
SEWER: THE GAS. STATION
ELECTRIC: THE GAS. STATION
CABLE: CHARTER

SCHOOL DISTRICT
SCHOOL DISTRICT

ACREAGE
APR. 27-12-08
3.13 ACRES
3.13 ACRES
3.13 ACRES
3.13 ACRES
3.13 ACRES

FMMA ZONE A4 FLOOD PLAN
APR. 27-12-08
3.13 ACRES
3.13 ACRES
3.13 ACRES
3.13 ACRES
3.13 ACRES

PARKING INFORMATION
PARKING REQUIRED PER LANDMARKS
1. SPACES PER UNIT (100 UNITS)
PARKING PROVIDED: 47 SPACES
UNCOVERED ACCESSIBLE PARKING: 7 SPACES (1 MIN. ACCESSIBLE)
COVERED ACCESSIBLE PARKING: 7 SPACES (1 MIN. ACCESSIBLE)
TOTAL PARKING PROVIDED: 54 SPACES
STANDARD (90%): 47 SPACES
TOTAL: 54 SPACES
STANDARD (100%): 54 SPACES
ACCESSIBLE PARKING: 7 SPACES (1 MIN. ACCESSIBLE)
TOTAL: 54 SPACES

GENERAL NOTES:
1. THOMAS RIOS, INC. HAS COMPLETED 2008 EDITION MAP 605, SECTION 3-A.
2. THE PROJECT SITE SHALL COMPLY WITH ALL REQUIREMENTS OF SUPPLEMENT "A" OF
FMMA AND THE PROJECT SPECIFIC WATER QUALITY MANAGEMENT PLAN.

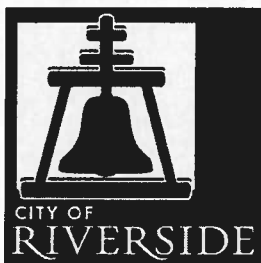
SECTION "A-A"
SCALE: 1"=10'
SECTION "B-B"
SCALE: 1"=10'

SECTION "A-A"
SCALE: 1"=10'
SECTION "B-B"
SCALE: 1"=10'

SECTION "A-A"
SCALE: 1"=10'
SECTION "B-B"
SCALE: 1"=10'

SECTION "A-A"
SCALE: 1"=10'
SECTION "B-B"
SCALE: 1"=10'

SECTION "A-A"
SCALE: 1"=10'
SECTION "B-B"
SCALE: 1"=10'



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

VARIANCE JUSTIFICATION FORM

PLEASE TYPE OR PRINT CLEARLY

Project Description: 14th Street Senior Housing

Project Location: 14th Street

Assessor's Parcel Number (APN): 221-132-016

VARIANCES REQUESTED – State variance(s) requested specifically and in detail. Please attach separate sheets(s) as necessary.

To allow the proposed Senior Housing project to have less than 50% covered parking spaces in either a garage or carport

REQUIRED FINDINGS -- Answer each of the following questions yes or no and then explain your answer in detail. Questions 1 and 2 must be answered "yes" and 3 and 4 "no" to justify granting of a variance. Attach written details if insufficient space is provided on this form. Economic hardship is not an allowable justification for a variance.

1. Will the strict application of the provisions of the Zoning Code result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the Zoning Code? Explain in detail.

Yes. We are providing carports for most of the spaces behind the sliding gates, with the exception of spaces at the northwest corner of the site - a group of seven spaces along a curve and a group of three spaces along 14th Street. A curved carport would be aesthetically awkward, with strange roof lines and angled structural members which would not fit in with the vernacular style we are proposing. Also, the proximity of these spaces to the frontage along 14th Street makes it an undesirable location for carports. The height of a carport would be a distracting element along 14th Street and would obscure views of landscaping and the articulated main building.

2. Are there special circumstances or conditions applicable to your property or to the intended use or development of your property that do not apply generally to other property in the vicinity and under the identical zoning classification? Explain in detail.

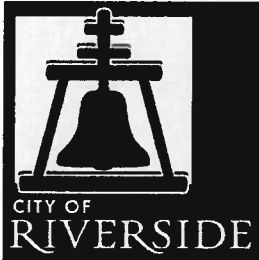
Yes. The intended use is Senior Housing, which has a lower parking need than other types of housing. It is anticipated that a number of residents will not have cars, and thus will not need covered parking spaces. The triangular shape of the site limits the possible parking arrangements, especially that of carports or other covered spaces. Also, this site fronts 14th Street, a busy corridor, where the addition of carports would create a visual obstruction, as noted in Item #1 above.

3. Will the granting of such variance prove materially detrimental to the public welfare or injurious to the property or improvements in the zone or neighborhood in which your property is located? Explain in detail.

No. The total required number of spaces are to be provided, with just four short of half of the spaces covered. The lack of structure over these four spaces will not negatively impact the public or the surrounding area. Rather, the inclusion of a carport at the northwest are of the site could be a detriment, as noted in Item #1 above.

4. Will the granting of such variance be contrary to the objectives of any part of the General Plan? Explain in detail.

No. The General Plan does not address such specifics. This project would provide a use (Senior Housing) that is needed per the General Plan, and will provide sufficient parking for such use.



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

VARIANCE JUSTIFICATION FORM

PLEASE TYPE OR PRINT CLEARLY

Project Description: 14th Street Senior Housing

Project Location: 14th Street

Assessor's Parcel Number (APN): 221-132-016

VARIANCES REQUESTED – State variance(s) requested specifically and in detail. Please attach separate sheets(s) as necessary.

To allow a four-story and approximately 60-foot building where the Zoning Code restricts the height of buildings to two stories in the R-1-7000 - Single Family Residential Zone

REQUIRED FINDINGS – Answer each of the following questions yes or no and then explain your answer in detail. Questions 1 and 2 must be answered “yes” and 3 and 4 “no” to justify granting of a variance. Attach written details if insufficient space is provided on this form. Economic hardship is not an allowable justification for a variance.

1. Will the strict application of the provisions of the Zoning Code result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the Zoning Code? Explain in detail.

Yes. The two-story restriction is appropriate for small, residential neighborhoods, but as this site is along a busy corridor, a four-story senior housing apartment building would be a suitable and efficient use of the site. The proposed building would not be four stories over its entire footprint, rather, it would step up gradually from its edges. A limit of two stories could lead to a stout, sprawling building, with limited space for parking. Four stories allows the building to have enough presence to face the divided portion of 14th Street (which the Eastside Neighborhood Plan refers to as an arterial linking Downtown and the 60 Freeway), as well as the Commercial Retail Zone directly across the street, which has a building height limit of 75 feet.

2. Are there special circumstances or conditions applicable to your property or to the intended use or development of your property that do not apply generally to other property in the vicinity and under the identical zoning classification? Explain in detail.

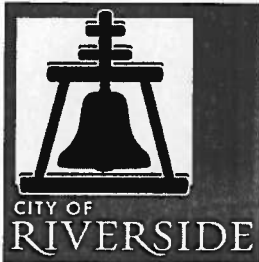
Yes. The intended use is Senior Housing, which generally has less of an impact than other types of residential uses. This population would most likely generate less traffic and noise than a younger population. There are also various accessory indoor and outdoor amenity spaces proposed. The triangular shape of the site limits the usable area available for providing well-connected spaces. Also, as noted in Item #1 above, this site fronts 14th Street, a busy corridor, and is also across the street from a Commercial Retail Zone.

3. Will the granting of such variance prove materially detrimental to the public welfare or injurious to the property or improvements in the zone or neighborhood in which your property is located? Explain in detail.

No. Many strategies have been utilized to address sensitivity to height concerns. Retaining walls at the northeast corner of the site take advantage of the topography to make the base of the building considerably lower than Eucalyptus and Georgia Avenues. The appear a full story shorter when viewed from the neighboring single-family homes. Also, the massing of the building is such that the tallest portion of the building is concentrated in the center of the site, away from the adjacent residences.

4. Will the granting of such variance be contrary to the objectives of any part of the General Plan? Explain in detail.

No. The General Plan does not address such specifics. This project would provide a use (Senior Housing) that is needed per the General Plan, and would serve as an effective transition and buffer between 14th Street and the single-family homes to the north and east of the site.



COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION

VARIANCE JUSTIFICATION FORM

PLEASE TYPE OR PRINT CLEARLY

Project Description: 14th Street Senior Housing

Project Location: 14th Street

Assessor's Parcel Number (APN): 221-132-016

VARIANCES REQUESTED – State variance(s) requested specifically and in detail. Please attach separate sheets(s) as necessary.

To allow architectural features on the proposed apartment building to have a height of approximately 60 feet where the Zoning Code restricts the height of architectural features to not extend more than 10 percent beyond the maximum height limit permitted in the underlying zone (38½ feet in the R-1-7000 - Single Family Residential Zone)

REQUIRED FINDINGS – Answer each of the following questions yes or no and then explain your answer in detail. Questions 1 and 2 must be answered “yes” and 3 and 4 “no” to justify granting of a variance. Attach written details if insufficient space is provided on this form. Economic hardship is not an allowable justification for a variance.

1. Will the strict application of the provisions of the Zoning Code result in practical difficulties or unnecessary hardships inconsistent with the general purpose and intent of the Zoning Code? Explain in detail.

Yes. The 38-1/2-foot height restriction is appropriate for small, residential neighborhoods, but as this site is along a busy corridor, a 60-foot senior housing apartment building is suitable for the site. The proposed building would not be 60 feet over its entire footprint, rather, it would step up gradually from its edges. A limit of 38-1/2 feet could lead to a stout, sprawling building, with limited space for parking. Sixty feet allows the building to have enough presence to face the divided portion of 14th Street (which the Eastside Neighborhood Plan refers to as an arterial linking Downtown and the 60 Freeway), as well as the Commercial Retail Zone directly across the street, which has a building height limit of 75 feet.

2. Are there special circumstances or conditions applicable to your property or to the intended use or development of your property that do not apply generally to other property in the vicinity and under the identical zoning classification? Explain in detail.

Yes. The intended use is Senior Housing, which generally has less of an impact than other types of residential uses. This population would most likely generate less traffic and noise than a younger population. There are also various accessory indoor and outdoor amenity spaces proposed. The triangular shape of the site limits the usable area available for providing well-connected spaces. Also, as noted in Item #1 above, this site fronts 14th Street, a busy corridor, and is also across the street from a Commercial Retail Zone.

3. Will the granting of such variance prove materially detrimental to the public welfare or injurious to the property or improvements in the zone or neighborhood in which your property is located? Explain in detail.

No. Many strategies have been utilized to address sensitivity to height concerns. Retaining walls at the northeast corner of the site take advantage of the topography to make the base of the building considerably lower than Eucalyptus and Georgia Avenues. The appear a full story shorter when viewed from the neighboring single-family homes. Also, the building is designed so that the tallest portion of the building would be concentrated in the center of the site, away from the adjacent residences.

4. Will the granting of such variance be contrary to the objectives of any part of the General Plan? Explain in detail.

No. The General Plan does not address such specifics. This project would provide a use (Senior Housing) that is needed per the General Plan, and provides a vernacular aesthetic which is characterized by such architectural features. Prominent stucco parapets and pitched clay roofs are signature features of the Mission Style, both of which are inherently elements of height.

P09-0808/0809/0810, Exhibit 10
Applicant's Variance Justifications

February 9, 2011

City of Riverside
Planning Department
Mr. Kyle Smith, Associate Planner
3900 Main Street
Riverside, California 92522

Re: Riverside Seniors - Variance for Parking Ratio - P09-0808 (CUP), P09-0809 (DR) & P09-0810 (Vacation).

Dear Mr. Smith,

This letter is written to provide justification for the requested parking ratio variance. This project proposes a parking ratio of 1.0 parking space per dwelling unit where the Zoning Code requires a minimum parking ration of 1.1 parking spaces per dwelling unit for a senior housing project.

Question No. 1:

Yes, the strict application of the provisions of the Zoning Regulations for R-1-7000 will result in practical difficulties and unnecessary hardships. The site is an irregular shaped triangle bounded on all sides by public rights of ways which provides a challenge for laying out an efficient parking lot. In addition, since this is a senior project a good portion of the residence will not have vehicles and transportation will be provided as part of the on-site services.

Question No. 2:

Yes, there are exceptional circumstances and conditions applicable to this property and the intended use which do not generally apply to other property in the same zone and neighborhood. As mentioned above, a good portion of the residence will not have a vehicle or driver's license. Also, as part of the site operations, transportation will be provided. 14th Street is along RTA's bus line and is designated as a City bikeway. This project does not require the minimum allotted parking spaces as mandated by the zoning code and any additional parking spaces are simply not necessary for the day to day use of this site.

Question No. 3:

No, the granting of this Variance will **not** prove materially detrimental to the public welfare or injurious to the property or improvements within the immediate neighborhood. On the contrary, by building a parking lot that is smaller than one required by code, it will have less of a visual impact and more pervious areas for landscaping and storm water run-off.

Question No. 4:

No, the granting of this request will **not** be contrary to the objective of the General Plan. Since this project is a Conditional Use Permit it allows for project specific information, like the project specific parking demand, to be taken into consideration.

Respectfully Submitted,
IW Consulting Engineers, Inc.



Andrew Walcker, Principal



February 9, 2011

City of Riverside
Planning Department
Mr. Kyle Smith, Associate Planner
3900 Main Street
Riverside, California 92522

Re: Riverside Seniors – Front Landscape Variance - P09-0808 (CUP), P09-0809 (DR) & P09-0810 (Vacation).

Dear Mr. Smith,

This letter is written to provide justification for the front landscape variance. This project proposes down to a eight and one half (8.5) foot landscape setback along a portion of the 14th Street frontage, where a fifteen (15) foot landscape setback is required by code.

Question No. 1:

Yes, the strict application of the provisions of the Zoning Regulations for R-1-7000 will result in practical difficulties and unnecessary hardships. The site is an irregular shaped triangle bounded on all sides by public rights of ways and is therefore a difficult site to develop in an efficient manner. Also, from input of neighborhood meetings with the residence, it was determined that access should be limited to 14th Street. In order to establish good relationships and garner support, all day to day activities will be conducted from the two driveways on 14th Street. The developer elected to install acceleration and deceleration lanes on his own accord, which come at the expense of being able to provide additional landscaping along 14th Street. As the project is proposed, only emergency vehicles will be able to access the site from Georgia Street.

Question No. 2:

Yes, there are exceptional circumstances and conditions applicable to this property and the intended use which do not generally apply to other property in the same zone and neighborhood. As mentioned above, the project developer has elected to install acceleration and deceleration lanes along 14th Street. This 10 foot lane is proposed to enhance public safety for both the residence of this project and people traveling along 14th Street. The areas along the lane have less than the 15 foot of required landscaping, with some limited areas as narrow as 8.5 feet from the back of the public sidewalk to the on-site parking stall curb.

In addition, the project has integrated landscape mitigation measures to ensure that the 8.5 foot areas will look aesthetically pleasing. There will not be a fence in the area and the landscaping in this area will be greatly enhanced from the City's minimum standards.

Question No. 3:

No, the granting of this Variance will **not** prove materially detrimental to the public welfare or injurious to the property or improvements within the immediate neighborhood. On the contrary, by voluntarily constructing the acceleration and deceleration lane it will have a positive effect on public safety in this area.



IW Consulting Engineer inc.

- Civil Engineering
- Surveying
- Land Planning

P09-0808/0809/0810, Exhibit 10
Applicant's Variance Justifications

Question No. 4:

No, the granting of this request will **not** be contrary to the objective of the General Plan. Since this project is a Conditional Use Permit it allows for project specific information, like the decreased landscape area, to be taken into consideration.

Respectfully Submitted,
IW Consulting Engineers, Inc.

Andrew Walcker, Principal



Staff Prepared Variance Justifications

CASE NUMBERS: **P09-0808** (Conditional Use Permit)
P09-0809 (Design Review)
P09-0810 (Vacation)

HEARING DATE: May 5, 2011

STAFF PREPARED VARIANCE JUSTIFICATION FINDINGS:

VARIANCE A: To allow the proposed project to have a parking ratio of 1.0 parking spaces per dwelling unit where the Zoning Code requires a minimum parking ratio of 1.1 parking spaces per dwelling unit for senior housing projects;

VARIANCE B: To allow the proposed Senior Housing project to have approximately 43% covered parking where the Zoning Code requires a minimum of 50% covered parking spaces (either under a carport or within an enclosed garage) for senior housing projects;

VARIANCE C: To allow a four story, approximately 59-foot building where the Zoning Code restricts the height of buildings to two stories and 35 feet in the R-1-7000 – Single Family Residential Zone;

VARIANCE D: To allow an architectural feature on the proposed apartment building to have height of approximately 60 feet where the Zoning Code restricts the height of architectural features to not extend more than 10 percent beyond the maximum height limit permitted in the underlying zone (38 ½ feet in the R-1-7000 – Single Family Residential Zone);

VARIANCE E: To allow an approximately 12 ½ foot landscape setback along the Fourteenth Street frontage, where a minimum 15-foot landscape setback is required for parking lots with 21 or more parking spaces; and

VARIANCE F: To allow 32 parking spaces along the Fourteenth Street frontage to have a 2 foot bumper overhang into an adjacent landscaped area where the Zoning Code does not allow for parking stalls to be reduced in depth by an overhang into a planter.

FINDINGS:

- 1. The strict application of the provisions of the Zoning Regulations would result in practical difficulties or unnecessary hardships in the development of this property.**

VARIANCE A: The proposal complies with this finding. The project proposes the construction of a 121-unit senior housing facility with 121 parking spaces for residences, employees and guests. The Zoning Code requires a parking ratio of 1.1 parking spaces per dwelling unit for senior housing, where a 1.0 ratio is proposed. Strict application of the Zoning Code would require that the proposal provide an additional 12 parking spaces on site. This would result in unnecessary hardships in the development of this property as proposed, given that a parking analysis of other similarly situated senior housing projects with an average parking ratio of approximately 0.5 parking spaces per dwelling unit indicated that only an average of 72 percent of parking spaces were utilized by tenants on a daily basis. Furthermore, it would be practically difficult to provide additional parking on the premises without sacrificing the quality of services and amenities or the architectural quality of the project. For these reasons, it can be expected that not all residents will have or need personal vehicle, thus providing justification for the requested variance.

VARIANCE B: The proposal complies with this finding. As proposed 43% (or 57) of the required 133 parking spaces to be covered under carports where the Zoning Code requires 50% of the required number of spaces be covered. Strict application of the Zoning Code would require that the proposal provide an additional 10 covered parking spaces on site. Compliance with this standard would necessitate an additional variance for carport structures located in the front setbacks and would create an undesirable streetscape where carport structures are prominent. For these reasons, the requested variance can be justified.

VARIANCES C & D: The proposal complies with this finding. The strict application of the provisions of the Zoning Code would require the applicant to limit the proposed building to two stories with a maximum building height of 35 feet, thus dramatically reducing the density of the project and eliminating two floors and approximately 60 units. This would result in an unnecessary hardship in the development of the property given that there is a need for senior housing. Furthermore, the residential building is located over 65 feet from the nearest single family residence and will be buffered from residences by densely planted landscaping and masonry walls. Also, in the most sensitive areas, across the street from single family residences, the building will appear to be 2 to 2 ½ stories in height given the topography and grading for the site, where the building pad will be situated as much as 13 feet below street level at the Eucalyptus Avenue, Vasquez Place “knuckle”. Further, the proposed building, which has a maximum height of approximately 60 feet, will provide aesthetic value and enhance the overall neighborhood. For these reasons, the requested variances related to building height can be justified.

VARIANCES E & F: The proposal complies with this finding. The strict application of the provisions of the Zoning Code would require the applicant to provide at least 15 feet of landscaping along the front property line (Fourteenth Street). An approximately 12 1/2 foot wide landscape planter is proposed along approximately 380 feet of street frontage. To achieve this width, the applicant is requesting to allow for the front row of (32) parking spaces along Fourteenth street to overhang 2 feet into the adjacent planter. This concept would not preclude the applicant’s ability to

provide appropriately species to screen the parking lot and add to the overall aesthetic appeal of the site. The recommended configuration will not constitute any design hazards and will meet the intent of the Zoning Code by providing sufficient depth for all parking stalls. For these reasons, the requested variances can be justified.

- 2. There are exceptional circumstances or conditions applicable to this property or to the intended use or development of this property which do not apply generally to other property in the same zone or neighborhood.**

VARIANCES A & B: The proposal complies with this finding. In addition to the facts provided under Finding 1 above, the project site is adjacent to three Riverside Transit Agency (RTA) bus stops within 900 feet that serve at least four different routes traveling both east and westbound from the site. The applicant also proposes a shuttle program for residents that will provide transportation to residents, and Staff recommends that the applicant coordinate work with the Riverside Transit Agency (RTA) and Planning Division staff to develop a bus pass program for residents. Further, the proposed project would contain 67 spaces (or 50% of the required number of spaces) located within the secure parking area along the northerly side of the site. While a 10 covered parking space deficiency would result, evidence exists that not all residents will have or need personal vehicles as noted earlier. These locational and operational characteristics of the proposed project can be considered exceptional circumstances to warrant the requested parking quantity and design variances.

VARIANCES C & D: The proposal complies with this finding. The project entails the development of a senior housing building within a single family residential neighborhood. The site is triangular in shape, which resulted from the curvature of connecting Fourteenth Street to Martin Luther King, Jr. Boulevard, with frontage on four streets. Unique topographic challenges existing for the project as well, as the site drops dramatically from northwest to southeast. With these challenges, it is very difficult to design a viable project without variances. In order to achieve the density typical of a senior housing project with sufficient off-street parking and open space areas, the building has to be designed as a four-story structure on this site. However, the proposed building is situated as to be at least 65 feet away from the nearest single family residence. The project site is located near the edge of a residential neighborhood but is located along an 88' wide arterial street (Fourteenth Street) where residential structures of this size can be anticipated. As such, a higher residential building is appropriate for the project site.

VARIANCES E & F: The proposal complies with this finding. The required 15 feet of landscaping along the Fourteenth Street frontage cannot be provided in this instance as an acceleration/deceleration lane is required in front of this site to provide safe vehicular access to and from the travel lanes from the site. Additionally, the curb adjacent sidewalk is proposed to be located within a sidewalk easement on-site. Staff notes that the sidewalk and the approximately 12 1/2 foot planter proposed along approximately 380 feet of the Fourteenth Street frontage will result in at least a 15 foot setback to the proposed parking spaces. This will result in a scenario where the parking lot will be an adequate linear distance away from the front property line. With the request to allow 32 parking spaces along the Fourteenth Street frontage to have a 2 foot bumper overhang into an adjacent landscaped area an additional two feet of landscaping along the street can be provided, for a total of 12 1/2 feet. This will increase the applicant's ability to provide appropriate plant species to improve the streetscape. Staff notes that the remaining portion of the Fourteenth Street frontage not

directly adjacent to the acceleration/deceleration lane is proposed to contain at least a 15 foot landscape setback, which meets Zoning Code standards.

3. The granting of this request will not prove materially detrimental to the public welfare or injurious to the property or improvements in the neighborhood in which the property is located.

VARIANCES A & B: The proposal complies with this finding. Based on observations of existing senior housing facilities in the City where parking ratios for most complexes have significantly less parking than the requested 1.0 spaces per unit, no parking problems have been observed or received. Thus, the request parking quantity variance will not be detrimental to the public welfare. Further, the covered parking space reduction will not be detrimental to the public since this reduction will allow for a more aesthetically pleasing view of the development from Fourteenth Street. In summary, the proposed parking configuration will provide sufficient quantity and adequate covered parking for residents, employees and guests without negatively impacting the surrounding neighborhood. Conditions to not allow resident parking on surrounding streets have been incorporated into the accompanying staff report.

VARIANCES C & D: The proposal complies with this finding. To address concerns of incompatibility with the single family residences located adjacent to the project site, the senior housing building is proposed to be situated approximately 100 feet from the northerly property line (Georgia Street), approximately 28 to 100 feet from Fourteenth Street to the southwest, and at least 65 feet from the nearest single family residence at 2290 Vasquez Place, a distance equal to or greater than the typical separation of single family residences and multiple family residential projects. A 10-15 foot wide on-site landscape planter will be provided along the Fourteenth Street and Georgia Street frontages, and at least 16 feet of landscaping between the curb and proposed wrought iron fence along the Eucalyptus Avenue frontage. Also, as noted earlier, in the most sensitive areas, across the street from single family residences, the building will appear to be 2 to 2 ½ stories in height given the topography and grading for the site, where the building pad will be situated as much as 13 feet below street level at the Eucalyptus Avenue, Vasquez Place “knuckle”. Given that the project has been designed and conditioned as described in this report, staff does not anticipate that the granting of this request will not prove materially detrimental to the surrounding neighborhood.

VARIANCES E & F: The proposal complies with this finding. With the requested variances to provide at least an approximately a 12 1/2 foot wide landscape planter along approximately 380 feet of the Fourteenth Street frontage, there will be sufficient room to provide plant species that will complement the proposed architecture, screen the parking lot and improve the aesthetics of the streetscape. Further, the recommended configuration will not constitute any design hazards as the parking stalls meet the minimum size.

4. The granting of this request will not be contrary to the objectives of the General Plan.

Based on the scope of the requested variances, the granting of this request will not be contrary to the objectives of the General Plan. In fact, the granting of these variances will allow for the development of a viable project that serves a need for senior housing and helps meet General Plan objectives of providing “adequate housing and supportive services for Riverside residents with special needs” (Goal H-4) and “supporting the development of accessible and affordable senior rental housing readily accessible to support services” (Policy H-4.1).

**EXHIBIT A
LEGAL DESCRIPTION**

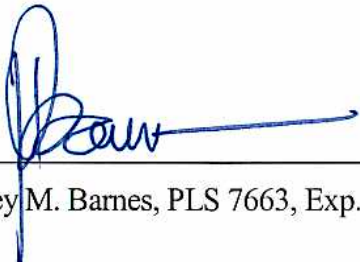
All those portions of Lots "A" and "B" of Woodlawn Park Tract on file in Book 31 of Maps, pages 99 and 100, inclusive, Records of Riverside County, California, lying southerly of the following described line.

Commencing at the centerline intersection of Vasquez Place and Eucalyptus Avenue as shown on said map;

Thence South $0^{\circ}17'45''$ West along the centerline of said Eucalyptus Avenue a distance of 28.46 feet to the beginning of a non-tangent curve, concave to the north, having a radius of 70.00 feet, the radial line from said point bears North $28^{\circ}18'05''$ East said point also being the true point of beginning.

Thence easterly along said curve, to the left, through a central angle of $35^{\circ}53'42''$, an arc distance of 43.85 feet to a point on the southerly line of said Lot "A" and the end of this description.

This description was prepared by me or under my direction in conformance with the requirements of the Land Surveyors Act.



Jeffrey M. Barnes, PLS 7663, Exp. 12-31-10 10/20/2010 Date



P09-0808/0809/0810, Exhibit 12
Street Vacation Plat

Street Vacation Plat

WOODLAWN PARK, UNIT NO. 1

M.B. 26/42 O.R.R.C.

JARVIS SUBDIVISION M.B.

5/44 S.B.

38 39 40 41 42 43 44 45 46

EUCALYPTUS AVE.

GEORGIA ST.

DATA TABLE

NO.	BEARING/DELTA	LENGTH	RADIUS
C1	35°53'42"	43.85'	70.00'

APN: 221-131-001

APN: 221-131-001

APN: 221-131-001

WOODLAWN PARK TR. NO. 3
M.B. 31/100 O.R.R.C.

APN: 221-131-001

79

78

77

76

VASQUEZ PLACE

LOT "A"

P.O.C.

N 00°17'45" E
28.46'

P.O.B.

LOT "B"

80

81

82

83

APN: 221-131-001

APN: 221-131-001

APN: 221-131-001

APN: 221-131-001

APN: 221-132-016

CASTLEMAN'S ADDITION
M.B. 3/19 S.B.

14TH ST.

L1

APN: 221-132-017

APN: 221-132-012

APN: 221-132-019



NOTE:
THIS PLAT IS SOLELY AN AID IN LOCATING THE ATTACHED
DESCRIPTION AND IS NOT CONSIDERED A PART THEREOF.

IW Consulting Engineers, Inc.



- Civil Engineering
- Surveying
- Land Planning

3544 University Avenue
Riverside, CA 92501

Tel: 951.905.5300
Fax: 951.905.5302

STREET VACATION

EUCALYPTUS AVENUE VACATION
IN THE CITY OF RIVERSIDE

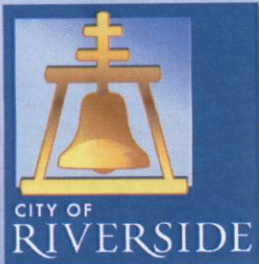
W.O.: 298.004

BY: J.B.

DATE: 09/2010

SCALE: 1"=80'

PAGE: 1 OF 1



MEMORANDUM

Police Department

Office of the Chief

DATE: April 6, 2011

TO: Kyle Smith
Associate Planner

FROM: Jeffery L. Greer
Deputy Chief-Operations

RE: Planning Cases P09-0808, -0809 & -0810
2340 14th Street – CUP, Design Review & Street Vacation

RD D07
East NPC

The Planning Division of the Community Development Department has requested comment from the Police Department on a proposal by Germania Corporation for a Conditional Use Permit, Design Review and Street Vacation associated with the development of a four story senior apartment facility consisting of 121 units at the site address of 2340 14th Street.

This project was previously approved by the Police Department and conditions were forwarded to the Planning Department on February 5, 2010. There have been some changes made to the plans and Planning is requesting another review from the Police Department.

Recommendations

Lieutenant Victor Williams, East Neighborhood Policing Center Commander, is familiar with the project, has reviewed the submitted proposed changes and has no objections, provided the conditions below are applied (these are same conditions suggested in February 2010 with the addition of number 13).

1. The site address, as well as individual building letter/number shall be clearly posted and illuminated using 18" (min.) lettering.
2. Address and building letters/numbers shall be painted on the roof of each building using 24" (min.) lettering, so they may be easily located from the air.
3. A site map of the complex shall be posted at the entrance.
4. Perimeter fencing adjacent to public rights-of-way shall be constructed of wrought iron, or comparable, to provide visibility into the complex. Trees and shrubs shall be kept trimmed to maintain visibility.

P09-0808/0809/0810, Exhibit 13

5. Maintain adequate lighting throughout the facility in such a manner to discourage criminal activity, unlawful loitering and graffiti vandalism.
6. Balconies shall be constructed of wrought iron or comparable to allow visibility to see through. No visible storage or barbeques allowed on the balconies or patios.
7. Trash containers shall not be located adjacent to buildings.
8. "Tenant Parking Only" signs shall be posted.
9. Parking on the street in front of the complex to be prohibited.
10. Managers and Assistant Managers shall be required to live onsite. Up-to-date names and contact information shall be placed on file with the Police Department.
11. A Trespass Authorization shall be filed with the Police Department.
12. Install video surveillance cameras which will act as a visual deterrent to crime, give residents a feeling of security and serve as a valuable investigative resource if needed by the Riverside Police Department. Recordings shall be maintained for a minimum of 72 hours.
13. The development shall be required to participate in the Police Department's Crime Free Multi-Housing Program.

If you require further information regarding this review, please contact Traci Dosé, Supervising Crime Analyst, at (951) 353-7620.



Draft Negative Declaration

WARD: 2

1. **Case Number:** **P09-0808** (Conditional Use Permit)
P09-0809 (Design Review)
P09-0810 (Vacation)
2. **Project Title:** Riverside Senior Apartments
3. **Hearing Date:** May 5, 2011
4. **Lead Agency:** City of Riverside
Community Development Department
Planning Division
3900 Main Street, 3rd Floor
Riverside, CA 92522
5. **Contact Person:** Kyle Smith, Associate Planner
Phone Number: (951) 826-5220
6. **Project Location:** 2340 Fourteenth Street, situated on the northeasterly side of Fourteenth Street, southeasterly of Sedgwick Avenue and southerly of Georgia Street in the R-1-7000 – Single Family Residential Zone
7. **Project Applicant/Project Sponsor's Name and Address:**

<u>Property Owner / Applicant:</u> Kevin Wolf Germania Corporation 7095 Indiana Ave. Riverside, CA 92506	<u>Engineer:</u> Andrew Walcker IW Consulting Engineers, Inc. 3544 University Ave. Riverside, CA 92501
--	--
8. **General Plan Designation:** MDR – Medium Density Residential
9. **Zoning:** R-1-7000 – Single Family Residential
10. **Description of Project:**

The proposed project entails the development of an independent living senior housing complex with up to 121 units within a four-story, 59-foot tall, approximately 101,974 square-foot building. The generally horseshoe-shaped building is proposed to be oriented to face Fourteenth Street, with the main entrance into the building located near the center of the building along the Fourteenth Street frontage. Parking for employees and guests will be located along the Fourteenth Street frontage, while a majority of the resident parking area will be provided within a fenced, secure area on the northerly portion of the site, along Georgia Street.

Amenities for the residents are proposed to consist of a pool and spa, a putting green, a bocce ball court, BBQ and outdoor eating areas, and a dog run. The pool and patio area will be located on the northeasterly side of the site. Inside the building, proposed services include a beauty salon and spa, a library with Wi-Fi connectivity and computers, an entertainment center with large screen television, and a shuttle service for residents. Additionally, each unit is designed to contain at least 70 square feet of private open space (on a ground floor patio or upper story balcony) and each unit would include a kitchenette and space for a stackable washer and dryer.

Vehicular access to the site will be provided obtained from two driveways along the Fourteenth Street frontage. The easterly of the two driveways will be the main entrance into the facility. An acceleration and deceleration lane is provided to provide safe and efficient ingress to and egress from the main driveway along Fourteenth Street. Further, an emergency ingress/egress only secured driveway with an emergency only “crash” gate is proposed along the Georgia Street frontage.

The applicant has indicated that the number of units may end up being as few as 115 units, with a potential maximum of 121 units, based on the financing mechanisms to be secured prior to building permit issuance. The applicant has indicated that there will be seven different foot floor plans ranging from 431 to 876 square feet, consisting of seven studio units, 100 one bedroom units, and 14 two bedroom units. Further, the proposed building is designed as to provide all units with at least 70 square feet of private open space, either on ground floor patios or upper story balconies.

The project involves a request to vacate a portion of Eucalyptus Avenue, southerly of Vasquez Place. The area to be vacated totals approximately 4,000 square feet in area and is roughly 40 feet in width and 100 feet in length. The area to be vacated is contiguous to the project site, which will be accessible from Fourteenth Street and to a single family residence addressed 2290 Vasquez Place, located easterly of the project site, which will retain public access as it exists today, from Vasquez Place.

Several variances are being requested by the applicant to allow the project to be established as proposed. These variances are described and analyzed in the site design section of this report.

11. Surrounding land uses and setting:

	Existing Land Use	General Plan Designation	Zoning Designation
Project Site	Vacant	MDR – Medium Density Residential	R-1-7000 – Single Family Residential
North (across Georgia St)	Single Family Residential and Vacant	MDR – Medium Density Residential	R-1-7000 – Single Family Residential
East (across Eucalyptus Ave)	Single Family Residential	MDR – Medium Density Residential	R-1-7000 – Single Family Residential
South (across Fourteenth St)	Church and Vacant	C – Commercial	CR – Commercial Retail
West (across Sedgwick Ave)	Dario Vasquez Park	P – Public Park	R-1-7000 – Single Family Residential

Briefly describe the project’s surroundings:

The subject site is approximately three acres in area and triangular in shape, with frontage on Fourteenth Street, Georgia Street and Eucalyptus Avenue. Riverside Faith Temple is located on the southerly side of Fourteenth Street, across the street from the project site and single family residences are located in the

neighborhood to the north and east of the project site, across Georgia Street and Eucalyptus Avenue. The signalized intersection of Sedgwick Avenue and Fourteenth Street is located adjacent to the project site to the northwest, as is Dario Vasquez Park on the westerly side of Sedgwick Avenue. The terminus of the Georgia Street cul-de-sac is located directly adjacent to the intersection of Sedgwick Avenue and Fourteenth Street, where a widened public sidewalk and unimpeded pedestrian access to Georgia Street are provided.

12. Other public agencies whose approval is required (e.g., permits, financial approval, or participation agreement.):

None

13. Documents used and/or referenced in this review:

- a. General Plan 2025
- b. GP 2025 FPEIR
- c. Draft Water Quality Management Plan, prepared by IW Consulting Engineers, Inc., dated February 5, 2011
- d. Basic Infiltration Testing Report, prepared by GeoMat Testing Laboratories, Inc., dated August 9, 2009
- e. Preliminary Geological Investigation Report, prepared by GeoMat Testing Laboratories, Inc, dated September 10, 2009

14. Acronyms

AICUZ -	Air Installation Compatible Use Zone Study
AQMP -	Air Quality Management Plan
AUSD -	Alvord Unified School District
CDG -	Citywide Design Guidelines
CEQA -	California Environmental Quality Act
CMP -	Congestion Management Plan
EMWD -	Eastern Municipal Water District
EOP -	Emergency Operations Plan
FEMA -	Federal Emergency Management Agency
FPEIR -	GP 2025 Final Programmatic Environmental Impact Report
GIS -	Geographic Information System
GP 2025 -	General Plan 2025
LHMP -	Local Hazard Mitigation Plan
MARB/MIP -	March Air Reserve Base/March Inland Port
MJPA-JLUS -	March Joint Powers Authority - Joint Land Use Study
MSHCP -	Multiple-Species Habitat Conservation Plan
MVUSD -	Moreno Valley Unified School District
NCCP -	Natural Communities Conservation Plan
OEM -	Office of Emergency Services
RCALUC -	Riverside County Airport Land Use Commission
RCALUCP -	Riverside County Airport Land Use Compatibility Plan
RCP -	Regional Comprehensive Plan
RCTC -	Riverside County Transportation Commission
RMC -	Riverside Municipal Code
RPD -	Riverside Police Department
RPU -	Riverside Public Utilities
RPW -	Riverside Public Works
RTP -	Regional Transportation Plan
RUSD -	Riverside Unified School District
SCAG -	Southern California Association of Governments
SCAQMD -	South Coast Air Quality Management District

SKR-HCP - Stephens' Kangaroo Rat - Habitat Conservation Plan
SWPPP - Storm Water Pollution Prevention Plan
USGS - United States Geologic Survey
WMWD - Western Municipal Water District
WQMP - Water Quality Management Plan

ENVIRONMENTAL FACTORS POTENTIALLY AFFECTED:

The environmental factors checked below would be potentially affected by this project, involving at least one impact that is a “Potentially Significant Impact” as indicated by the checklist on the following pages.

- | | | |
|---|---|---|
| <input type="checkbox"/> Aesthetics | <input type="checkbox"/> Agriculture & Forest Resources | <input type="checkbox"/> Air Quality |
| <input type="checkbox"/> Biological Resources | <input type="checkbox"/> Cultural Resources | <input type="checkbox"/> Geology/Soils |
| <input type="checkbox"/> Greenhouse Gas Emissions | <input type="checkbox"/> Hazards & Hazardous Materials | <input type="checkbox"/> Hydrology/Water Quality |
| <input type="checkbox"/> Land Use/Planning | <input type="checkbox"/> Mineral Resources | <input type="checkbox"/> Noise |
| <input type="checkbox"/> Population/Housing | <input type="checkbox"/> Public Service | <input type="checkbox"/> Recreation |
| <input type="checkbox"/> Transportation/Traffic | <input type="checkbox"/> Utilities/Service Systems | <input type="checkbox"/> Mandatory Findings of Significance |

DETERMINATION: (To be completed by the Lead Agency)

On the basis of this initial evaluation which reflects the independent judgment of the City of Riverside, it is recommended that:

The City of Riverside finds that the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared. ☒

The City of Riverside finds that although the proposed project could have a significant effect on the environment, there will not be a significant effect in this case because revisions in the project have been made by or agreed to by the project proponent. A MITIGATED NEGATIVE DECLARATION will be prepared. ☐

The City of Riverside finds that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required. ☐

The City of Riverside finds that the proposed project MAY have a “potentially significant impact” or “potentially significant unless mitigated” impact on the environment, but at least one effect 1) has been adequately analyzed in an earlier document pursuant to applicable legal standards, and 2) has been addressed by mitigation measures based on the earlier analysis as described on attached sheets. An ENVIRONMENTAL IMPACT REPORT is required, but it must analyze only the effects that remain to be addressed. ☐

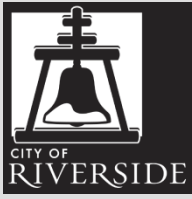
The City of Riverside finds that although the proposed project could have a significant effect on the environment, because all potentially significant effects (a) have been analyzed adequately in an earlier EIR or NEGATIVE DECLARATION pursuant to applicable standards, and (b) have been avoided or mitigated pursuant to that earlier EIR or NEGATIVE DECLARATION, including revisions or mitigation measures that are imposed upon the proposed project, nothing further is required. ☐

Signature _____

Date _____

Printed Name & Title _____

For City of Riverside



Environmental Initial Study

EVALUATION OF ENVIRONMENTAL IMPACTS:

- 1) A brief explanation is required for all answers except “No Impact” answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A “No Impact” answer is adequately supported if the referenced information sources show that the impact simply does not apply to projects like the one involved (e.g., the project falls outside a fault rupture zone). A “No Impact” answer should be explained where it is based on project-specific factors as well as general standards (e.g., the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).
- 2) All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project-level, indirect as well as direct, and construction as well as operational impacts.
- 3) Once the lead agency has determined that a particular physical impact may occur, then the checklist answers must indicate whether the impact is potentially significant, less than significant with mitigation, or less than significant. “Potentially Significant Impact” is appropriate if there is substantial evidence that an effect may be significant. If there are one or more “Potentially Significant Impact” entries when the determination is made, an EIR is required.
- 4) “Negative Declaration: Less Than Significant With Mitigation Incorporated” applies where the incorporation of mitigation measures has reduced an effect from “Potentially Significant Impact” to a “Less Than Significant Impact.” The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less than significant level (mitigation measures from “Earlier Analyses,” as described in (5) below, may be cross-referenced).
- 5) Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D). In this case, a brief discussion should identify the following:
 - a. **Earlier Analysis Used.** Identify and state where they are available for review.
 - b. **Impacts Adequately Addressed.** Identify which effects from the above checklist were within the scope of and adequately analyzed in an earlier document pursuant to applicable legal standards, and state whether such effects were addressed by mitigation measures based on the earlier analysis.
 - c. **Mitigation Measures.** For effects that are “Less than Significant with Mitigation Measures Incorporated,” describe the mitigation measure which were incorporated or refined from the earlier document and the extent to which they address site-specific conditions for the project.
- 6) Lead agencies are encouraged to incorporate into the checklist references to information sources for potential impacts (e.g., general plans, zoning ordinances). Reference to a previously prepared or outside

document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

- 7) Supporting Information Sources: A source list should be attached, and other sources used or individuals contacted should be cited in the discussion.
- 8) The explanation of each issue should identify:
 - a. the significance criteria or threshold, if any, used to evaluate each question; and
 - b. the mitigation measure identified, if any, to reduce the impact to less than significance.

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
1. AESTHETICS. Would the project:				
a. Have a substantial adverse effect on a scenic vista?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1a. Response: (Source: General Plan 2025 Figure CCM-4 – Master Plan of Roadways, General Plan 2025 FPEIR Figure 5.1-1 – Scenic and Special Boulevards and Parkways, Table 5.1-A – Scenic and Special Boulevards, and Table 5.1-B – Scenic Parkways) The proposed project consists of an infill project within an urbanized area completely surrounded by existing development where there are no scenic vistas and where direct, indirect and cumulative impacts to scenic vistas are less than significant impacts				
b. Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1b. Response: (Source: General Plan 2025 Figure CCM-4 – Master Plan of Roadways, General Plan 2025 FPEIR Figure 5.1-1 – Scenic and Special Boulevards, Parkways, Table 5.1-A – Scenic and Special Boulevards, Table 5.1-B – Scenic Parkways, the City's Urban Forest Tree Policy Manual, Title 20 – Cultural Resources and, Title 19 – Article V – Chapter 19.100 – Residential Zones - RC Zone) There are no scenic highways within the City that could potentially be impacted. In addition, the proposed project is not located along or within view of a scenic boulevard, parkway or special boulevard as designated by the City's General Plan 2025 and therefore will not have any effect on any scenic resource within a scenic roadway. As well, there are no rock outcroppings or historic buildings within view of this proposed project so no impacts to these resources are expected. This project complies with all applicable building setbacks, land use and other development standards. Where variances are requested for standards such as landscaping, building height & parking, they can be justified based on the findings contained in the case record. Therefore, any potential adverse direct, indirect or cumulative impacts from this project will be less than significant impact .				
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1c. Response: (Source: General Plan 2025, General Plan 2025 FPEIR, Zoning Code, Citywide Design and Sign Guidelines) The project proposes the development of a 121-unit senior housing facility with recreational and parking areas on approximately three vacant acres. Design components of the proposed project (site planning and building architecture, landscaping, etc.) are required to be reviewed and are being considered concurrently by the by the City Planning Commission. The Planning Commission will review the site design and architectural integrity of the project in light of the surrounding neighborhood to insure that no negative aesthetic impacts are created by the establishment of this project in its surrounding setting. Furthermore, other design components, such as, but not limited to, landscaping/irrigation, exterior lighting, common open space amenities and signage will be required to be reviewed and approved by Design Review staff prior to project completion. Given these requirements, staff does not anticipate that the project will degrade the existing visual character or quality of the site and its surroundings.				
d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
1d. Response: (Source: General Plan 2025, General Plan 2025 FPEIR Figure 5.1-2 – Mount Palomar Lighting Area, Title 19 – Article VIII – Chapter 19.556 – Lighting, Citywide Design and Sign Guidelines) The site is not within the Mount Palomar Lighting Area. However, to reduce impacts related to the creation of exterior lighting sources, the City will require, prior to the issuance of building permits, an exterior lighting plan for the proposed project. The purpose of these plans will be to insure that all new light sources are adequately hooded or shielded as to not produce undesirable or dangerous levels of glare to motorists and surrounding residential uses and to insure that all lighting complies with City policies regarding exterior illumination levels. Compliance with City policies regarding exterior lighting and parking structure lighting will reduce any impacts to less than significant levels.				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
2. AGRICULTURE AND FOREST RESOURCES:				
<p>In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Dept. of Conservation as an optional model to use in assessing impacts on agriculture and farmland. In determining whether impacts to forest resources, including timberland, are significant environmental effect, lead agencies may refer to information compiled by the California Department of Forestry and Fire Protection regarding the state's inventory of forest land, including the Forest and Range Assessment Project and the Forest Legacy Assessment project; and the forest carbon measurement methodology provided in the Forest Protocols adopted by the California Air Resources Board. Would the project:</p>				
<p>a. Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2a. Response: (Source: General Plan 2025 – Figure OS-2 – Agricultural Suitability & General Plan 2025 FPEIR – Appendix I – Designated Farmland Table)</p> <p>The project is located in an urbanized area of the City. Additionally, the site is identified as urban/built out land and therefore does not support agricultural resources or operations. There are no agricultural resources or operations, including farmlands within proximity of the subject site. Therefore, the project will have no impact directly, indirectly or cumulatively on agricultural uses.</p>				
<p>b. Conflict with existing zoning for agricultural use, or a Williamson Act contract?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2b. Response: (Source: General Plan 2025 – Figure OS-3 - Williamson Act Preserves, General Plan 2025 FPEIR – Figure 5.2-4 – Proposed Zones Permitting Agricultural Uses, and Title 19)</p> <p>A review of Figure 5.2-2 – Williamson Act Preserves of the General Plan 2025 FPEIR reveals that the project site is not located within an area that is affected by a Williamson Act Preserve or under a Williamson Act Contract. Moreover, the project site is not zoned for agricultural use and is not next to land zoned for agricultural use; therefore, the project will have no impact directly, indirectly or cumulatively.</p>				
<p>c. Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)) timberland (as defined in Public Resources Code section 4526), or timberland zoned Timberland Production (s defined by Government Code section 51104(g))?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>2c. Response: (Source: GIS Map – Forest Data)</p> <p>The City of Riverside has no forest land that can support 10-percent native tree cover nor does it have any timberland. Therefore, no impacts will occur from this project directly, indirectly or cumulatively.</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
d. Result in the loss of forest land or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2d. Response: (Source: GIS Map – Forest Data) The City of Riverside has no forest land that can support 10-percent native tree cover nor does it have any timberland. Therefore, no impacts will occur from this project directly, indirectly or cumulatively.				
e. Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
2e. Response: (Source: General Plan – Figure OS-2 – Agricultural Suitability, Figure OS-3 – Williamson Act Preserves, General Plan 2025 FPEIR – Appendix I – Designated Farmland Table, Title 19 – Article V – Chapter 19.100 – Residential Zones – RC Zone and RA-5 Zone and GIS Map – Forest Data) The project is located in an urbanized area of the City. Additionally, the site is identified as urban/built out land and therefore does not support agricultural resources or operations. The project will not result in the conversion of designated farmland to non-agricultural uses. In addition, there are no agricultural resources or operations, including farmlands within proximity of the subject site. The City of Riverside has no forest land that can support 10-percent native tree cover. Therefore, no impacts will occur from this project directly, indirectly or cumulatively to conversion of Farmland, to non-agricultural use or to the loss of forest land.				
3. AIR QUALITY.				
Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:				
a. Conflict with or obstruct implementation of the applicable air quality plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3a. Response: (Source: South Coast Air Quality Management District's 2003 Air Quality Management Plan (AQMP)) Projects that are consistent with the projections of employment and population forecasts identified by the Southern California Association of Governments (SCAG) are considered consistent with the AQMP growth projections, since these forecast numbers were used by SCAG's modeling section to forecast travel demand and air quality for planning activities such as the Regional Transportation Plan (RTP), the SCAQMD's AQMP, Regional Transportation Improvement Program (RTIP), and the Regional Housing Plan. This project is consistent with the projections of employment and population forecasts identified by the Southern California Association of Governments (SCAG) that are consistent with the General Plan 2025 "Typical Growth Scenario." Since the project is consistent with the General Plan 2025, it is also consistent with the AQMP. The project will have a less than significant impact directly, indirectly and cumulatively to the implementation of an air quality plan.				
b. Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):				Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
3b. Response: <i>(Source: General Plan 2025 FPEIR Table 5.3-B SCAQMD CEQA Regional Significance Thresholds, South Coast Air Quality Management District’s 2003 AQMP, URBEMIS 2007 Model, EMFAC 2007 Model, CALEEMOD)</i> An Air Quality Model was conducted using CalEEMod. The results of the CalEEMod model determined that the proposed project would result in the following emission levels:							
CalEEMod MODEL RESULTS SHORT-TERM IMPACTS							
Activity	Daily Emissions (lbs/day)						
	ROG	NO _x	CO	SO ₂	PM-10	PM-2.5	
SCAQMD Daily Thresholds Construction	75	100	550	150	150	55	
Daily Project - Emissions Construction	7.45	31.23	22.47	0.05	3.23	2.36	
Exceeds Y/N Threshold?	N	N	N	N	N	N	
CalEEMod MODEL RESULTS LONG-TERM IMPACTS							
Activity	Daily Emissions (lbs/day)						
	ROG	NO _x	CO	SO ₂	PM-10	PM-2.5	
SCAQMD Daily Thresholds Operation	55	55	550	150	150	55	
Daily Project - Emissions Operational	4.44	4.05	25.59	0.00	2.19	0.33	
Exceeds Y/N Threshold?	N	N	N	N	N	N	
The results of the air quality model showed that the proposed project would generate emissions far lower than the SCAQMD thresholds for significance for air quality emissions and it was determined to be less than significant directly, indirectly and cumulatively to ambient air quality and will not contribute to an existing air quality violation.							
c. Result in a cumulatively considerable net increase of any criteria pollutant for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions which exceed quantitative thresholds for ozone precursors)?				<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3c. Response: <i>(Source: General Plan 2025 FPEIR Table 5.3-B SCAQMD CEQA Regional Significance Thresholds, South Coast Air Quality Management District’s 2003 Air Quality Management Plan, URBEMIS 2007 Model, EMFAC 2007 Model and CALEEMOD)</i> Per the GP 2025 FPEIR, AQMP thresholds indicate future construction activities under the General Plan are projected to result in significant levels of NO _x and ROG, both ozone precursors, PM-10, PM-2.5, and CO. Although long-term emissions are expected to decrease by 2025, all criteria pollutants remain above the SCAQMD thresholds.							

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>The portion of the Basin within which the City is located is designated as a non-attainment area for ozone, PM-10 and PM-2.5 under State standards, and as a non-attainment area for ozone, carbon monoxide, PM-10, and PM-2.5 under Federal standards.</p> <p>Because the proposed project is consistent with the General Plan 2025, cumulative impacts related to criteria pollutants as a result of the project were previously evaluated as part of the cumulative analysis of build out anticipated under the General Plan 2025 Program. As a result, the proposed project does not result in any new significant impacts that were not previously evaluated and for which a statement of overriding considerations was adopted as part of the General Plan 2025 FPEIR. Therefore, cumulative air quality emissions impacts are less than significant.</p>				
<p>d. Expose sensitive receptors to substantial pollutant concentrations?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>3d. Response: (Source: General Plan 2025 FPEIR Table 5.3-B SCAQMD CEQA Regional Significance Thresholds, South Coast Air Quality Management District's 2003 Air Quality Management Plan, URBEMIS 2007 Model, EMFAC 2007 Model and CALEEMOD)</p> <p>Short-term impacts associated with construction from General Plan 2025 typical build out will result in increased air emissions from grading, earthmoving, and construction activities. Mitigation Measures of the General Plan 2025 FPEIR requires individual development to employ construction approaches that minimize pollutant emissions (General Plan 2025 FPEIR MM AIR 1- MM AIR 5, e.g., watering for dust control, tuning of equipment, limiting truck idling times). In conformance with the General Plan 2025 FPEIR MM AIR 1 and MM AIR 7 an CalEEMod computer model analyzed short-term construction and long-term operational related impacts of the project and determined that the proposed project would not exceed SCAQMD thresholds for short-term construction and long-term operational impacts. Therefore, the project will not expose sensitive receptors to substantial pollutant concentrations and a less than significant impact will occur directly, indirectly or cumulatively from this project.</p>				
<p>e. Create objectionable odors affecting a substantial number of people?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>3e. Response: (Source: CALEEMOD)</p> <p>While exact quantification of objectionable odors cannot be determined due to the subjective nature of what is considered "objectionable," the nature of the proposed project associated infrastructure and related off-site improvements present a potential for the generation of objectionable odors associated with construction activities. The operation of the use is not typically associated with the generation of objectionable odors. However, the construction activities associated with the expected build out of the project site will generate airborne odors like diesel exhaust emissions, architectural coating applications, and on- and off-site improvement installations. However, said emissions would occur only during daylight hours, be short-term in duration, and would be isolated to the immediate vicinity of the construction site. Therefore, they would not expose a substantial number of people to objectionable odors on a permanent basis. Therefore, the project will not cause objectionable odors affecting a substantial number of people and a less than significant impact directly, indirectly and cumulatively will occur.</p>				
<p>4. BIOLOGICAL RESOURCES. Would the project:</p>				
<p>a. Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>4a. Response: (Source: General Plan 2025 – Figure OS-6 – Stephen's Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Figure OS-7 – MSHCP Cores and Linkages, Figure OS-8 – MSHCP Cell Areas, General Plan 2025 FPEIR Figure 5.4-2 – MSHCP Area Plans, Figure 5.4-4 - MSHCP Criteria Cells and Subunit Areas, Figure 5.4-6 – MSHCP Narrow Endemic Plant Species Survey Area, Figure 5.4-7 – MSHCP Criteria Area Species Survey Area, Figure 5.4-8 – MSHCP Burrowing Owl Survey Area)</p> <p>The project site is located within an urban built-up area and is surrounded by existing development and a search of the MSHCP database and other appropriate databases identified no potential for candidate, sensitive or special status species,</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
suitable habitat for such species on site, Federal Species of Concern, California Species of Special Concern, and California Species Animal or Plants on lists 1-4 of the California Native Plant Society (CNPS) Inventory. Thus, there is little chance that any Federally endangered, threatened, or rare species or their habitats could persist in this area. Therefore, a less than significant impact directly, indirectly and cumulatively will occur to federally endangered, threatened, or rare species or their habitats.				
b. Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies, and regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4b. Response: (Source: General Plan 2025 – Figure OS-6 – Stephen’s Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Figure OS-7 – MSHCP Cores and Linkages, Figure OS-8 – MSHCP Cell Areas, General Plan 2025 FPEIR Figure 5.4-2 – MSHCP Area Plans, Figure 5.4-4 - MSHCP Criteria Cells and Subunit Areas, Figure 5.4-6 – MSHCP Narrow Endemic Plant Species Survey Area, Figure 5.4-7 – MSHCP Criteria Area Species Survey Area, Figure 5.4-8 – MSHCP Burrowing Owl Survey Area, MSHCP Section 6.1.2 - Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools) <p>No wetland or riparian vegetation exists on the project site as it is fully developed. Furthermore, the project site is located within an urban built-up area, contains existing development. Generally, the surrounding area has been developed for many years and a long history of severe disturbance exists in the area, such that there is little chance that any riparian habitat could have persisted. Therefore, no impact to any riparian habitat or other sensitive natural community identified in local or regional plans, policies, or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service with implementation of the proposed project will occur directly, indirectly and cumulatively.</p>				
c. Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4c. Response: (Source: City of Riverside GIS/CADME USGS Quad Map Layer) <p>The project site is located within an urban built-up area and has a long history of severe disturbance such that the project would not have a substantial adverse effect, on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means. Therefore, a less than significant impact will occur directly, indirectly and cumulatively to federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means.</p>				
d. Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4d. Response: (Source: MSHCP, General Plan 2025 –Figure OS-7 – MSHCP Cores and Linkage) <p>The project site is located within an urban built-up area, and is not within an MSHCP linkage area. The site has a history of severe disturbance such that there is little chance that the project would interfere with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites. Therefore, a less than significant impact directly, indirectly and cumulatively will occur related to the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites will occur with implementation of the proposed project.</p>				
e. Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4e. Response: (Source: MSHCP, Title 16 Section 16.72.040 – Establishing the Western Riverside County MSHCP Mitigation Fee, Title 16 Section 16.40.040 – Establishing a Threatened and Endangered Species Fees, City of Riverside Urban Forest Tree Policy Manual)				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>Implementation of the proposed Project is subject to all applicable Federal, State, and local policies and regulations related to the protection of biological resources and tree preservation. In addition, the project is required to comply with Riverside Municipal Code Section 16.72.040 establishing the MSHCP mitigation fee and Section 16.40.040 establishing the Threatened and Endangered Species Fees.</p> <p>Any project within the City of Riverside's boundaries that proposes planting a street tree within a City right-of-way must follow the Urban Forest Tree Policy Manual. The Manual documents guidelines for the planting, pruning, preservation, and removal of all trees in City rights-of-way. The specifications in the Manual are based on national standards for tree care established by the International Society of Arboriculture, the National Arborists Association, and the American National Standards Institute. Any future project will be in compliance with the Tree Policy Manual when planting a tree within a City right-of-way, and therefore, impacts will be less than significant.</p> <p>In addition, the General Plan 2025 includes policies to ensure that future development would not conflict with any local policies or ordinances protecting biological resources, including tree preservation policies. This project has been reviewed against these policies and found to be in compliance with the policies. For these reasons, the project will have a less than significant impact directly, indirectly and cumulatively on local policies or ordinances protecting biological resources and tree preservation.</p>				
f. Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>4f. Response: (Source: MSHCP, General Plan 2025 – Figure OS-6 – Stephen's Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Stephens' Kangaroo Rat Habitat Conservation Plan, Lake Mathews Multiple Species Habitat Conservation Plan and Natural Community Conservation Plan, and El Sobrante Landfill Habitat Conservation Plan)</p> <p>The proposed project is consistent with the guidelines of MSHCP, including Section 6.1.4, Guidelines Pertaining to the Urban/Wildlife Interface and related policies in the General Plan 2025, including Policy LU-7.4. Therefore, impacts associated with potential inconsistencies with the MSHCP will be less than significant impacts directly, indirectly and cumulatively to the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan.</p>				
5. CULTURAL RESOURCES.				
Would the project:				
a. Cause a substantial adverse change in the significance of a historical resource as defined in § 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>5a. Response: (Source: GP 2025 FPEIR Table 5.5-A Historical Districts and Neighborhood Conservation Areas and Appendix D, Title 20 of the Riverside Municipal Code)</p> <p>The project is located on a site where no historic resources exist as defined in Section 15064.5 of the CEQA Guidelines. Therefore, no impacts directly, indirectly and cumulatively to historical resources are expected.</p>				
b. Cause a substantial adverse change in the significance of an archeological resource pursuant to § 15064.5?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>5b. Response: (Source: GP 2025 FPEIR Figure 5.5-1 - Archaeological Sensitivity and Figure 5.5-2 - Prehistoric Cultural Resources Sensitivity, Appendix D – Cultural Resources Study)</p> <p>The project is located on a site where no historic resources exist as defined in Section 15064.5 of the CEQA Guidelines. Therefore, no impacts directly, indirectly and cumulatively to historical resources are expected.</p>				
c. Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>5c. Response: (Source: General Plan 2025 Policy HP-1.3)</p> <p>The project is located on a site where no historic resources exist as defined in Section 15064.5 of the CEQA Guidelines. Therefore, no impacts directly, indirectly and cumulatively to historical resources are expected.</p>				
d. Disturb any human remains, including those interred	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
outside of formal cemeteries?				
5d. Response: (Source: GP 2025 FPEIR Figure 5.5-1 - Archaeological Sensitivity and Figure 5.5-2 - Prehistoric Cultural Resources Sensitivity) The project is located on a site where no historic resources exist as defined in Section 15064.5 of the CEQA Guidelines. Therefore, no impacts directly, indirectly and cumulatively to historical resources are expected.				
6. GEOLOGY AND SOILS. Would the project:				
a. Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:				
i. Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? Refer to Division of Mines and Geology Special Publication 42.	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6i. Response: (Source: General Plan 2025 Figure PS-1 – Regional Fault Zones & General Plan 2025 FPEIR Appendix E – Geotechnical Report) Seismic activity is to be expected in Southern California. In the City of Riverside, there are no Alquist-Priolo zones. The project site does not contain any known fault lines and the potential for fault rupture or seismic shaking is low. Compliance with the California Building Code regulations will ensure that no impacts related to strong seismic ground will occur directly, indirectly and cumulatively.				
ii. Strong seismic ground shaking?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6ii. Response: (Source: General Plan 2025 FPEIR Appendix E – Geotechnical Report) The San Jacinto Fault Zone located in the northeastern portion of the City, or the Elsinore Fault Zone, located in the southern portion of the City's Sphere of Influence, have the potential to cause moderate to large earthquakes that would cause intense ground shaking. Because the proposed project complies with California Building Code regulations, impacts associated with strong seismic ground shaking will have no impact directly, indirectly and cumulatively.				
iii. Seismic-related ground failure, including liquefaction?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6iii. Response: (Source: General Plan 2025 Figure PS-1 – Regional Fault Zones, Figure PS-2 – Liquefaction Zones, General Plan 2025 FPEIR Figure PS-3 – Soils with High Shrink-Swell Potential, and Appendix E – Geotechnical Report) The project site is located in an area with moderate potential for liquefaction as depicted in the General Plan 2025 Liquefaction Zones Map - Figure PS-2. Compliance with the California Building Code regulations will ensure that impacts related to seismic-related ground failure, including liquefaction, are reduced to less than significant impact levels directly, indirectly and cumulatively.				
iv. Landslides?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6iv. Response: (Source: General Plan 2025 FPEIR Figure 5.6-1 – Areas Underlain by Steep Slope, Appendix E – Geotechnical Report, Title 18 – Subdivision Code, Title 17 – Grading Code, and Storm Water Pollution Prevention Plan SWPPP) The project site and its surroundings have generally flat topography and are not located in an area prone to landslides per Figure 5.6-1 of the General Plan 2025 Program Final PEIR. Therefore, there will be no impact related to landslides directly, indirectly and cumulatively.				
b. Result in substantial soil erosion or the loss of topsoil?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6b. Response: (Source: General Plan 2025 FPEIR Figure 5.6-1 – Areas Underlain by Steep Slope, Figure 5.6-4 – Soils, Table 5.6-B – Soil Types, Title 18 – Subdivision Code, Title 17 – Grading Code, and SWPPP) Erosion and loss of topsoil could occur as a result of the project. State and Federal requirements call for the preparation and implementation of a Storm Water Pollution Prevention Plan (SWPPP) establishing erosion and sediment controls for				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>construction activities. The project must also comply with the National Pollutant Discharge Elimination System (NPDES) regulations. In addition, with the erosion control standards for which all development activity must comply (Title 18), the Grading Code (Title 17) also requires the implementation of measures designed to minimize soil erosion. Compliance with State and Federal requirements as well as with Titles 18 and 17 will ensure that soil erosion or loss of topsoil will be less than significant impact directly, indirectly and cumulatively.</p>				
c. Be located on a geologic unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>6c. Response: (Source: General Plan 2025 Figure PS-1 – Regional Fault Zones, Figure PS-2 – Liquefaction Zones, General Plan 2025 FPEIR Figure PS-3 – Soils with High Shrink-Swell Potential, Figure 5.6-1 - Areas Underlain by Steep Slope, Figure 5.6-4 – Soils, Table 5.6-B – Soil Types, and Appendix E – Geotechnical Report)</p> <p>The topography of the subject site generally slopes to the southeast. Compliance with the City’s existing codes and the policies contained in the General Plan 2025 help to ensure that impacts related to geologic conditions are reduced to less than significant impact levels directly, indirectly and cumulatively.</p> <p>Landslides: See response 6 a iv.</p> <p>Lateral spreading: Adherence to the City’s Grading and Subdivision Codes as well as the California Building Code in the design of this project will prevent lateral spreading.</p> <p>Subsidence: The geotechnical study/preliminary soils report prepared for this project indicates that the soil properties of the subject site do not have the potential for subsidence.</p> <p>Liquefaction: See response 6 a iii.</p> <p>Collapse: Adherence to the City’s grading and building requirements will ensure that the property is adequately prepared to prevent the collapse of the graded pad and/or slopes.</p>				
d. Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>6d. Response: (Source: General Plan 2025 FPEIR Figure 5.6-4 – Soils, Figure 5.6-4 – Soils, Table 5.6-B – Soil Types, Figure 5.6-5 – Soils with High Shrink-Swell Potential, Appendix E – Geotechnical Report, and California Building Code as adopted by the City of Riverside and set out in Title 16 of the Riverside Municipal Code)</p> <p>Expansive soil is defined under <i>California Building Code</i>. The soil type of the subject site is Arlington (See Figure 5.6-4 – Soils of the General Plan 2025 Program Final PEIR. The preliminary soils report prepared for this project indicates that the soil is an expansive soil. Compliance with the recommendations of the soils report and applicable provisions of the City’s Subdivision Code – Title 18 and the California Building Code with regard to soil hazards related to the expansive soils will be reduced to a less than significant impact level for this project directly, indirectly and cumulatively.</p>				
e. Have soils incapable of adequately supporting the use of septic tanks or alternative waste water disposal systems where sewers are not available for the disposal of waste water?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>6e. Response: (Source: General Plan 2025 FPEIR Figure 5.6-4 – Soils, Table 5.6-B – Soil Types)</p> <p>The proposed project will be served by sewer infrastructure. Therefore, the project will have no impact.</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
7. GREENHOUSE GAS EMISSIONS. Would the project:				
a. Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7a. Response: The project will not interfere with the State's goals of reducing greenhouse gas emissions to 1990 levels by the year 2020 as stated in AB 32 and an 80 percent reduction in GhG emissions below 1990 levels by 2050 as stated in Executive Order S-3-05. Emissions resulting from the proposed project are expected to be far lower than the SCAQMD thresholds for significance. Therefore, this project will have less than significant impacts with respect to GHG emissions.				
b. Conflict with any applicable plan, policy or regulation of an agency adopted for the purpose of reducing the emissions of greenhouse gases?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7b. Response: The SCAQMD supports State, Federal and international policies to reduce levels of ozone depleting gases through its Global Warming Policy and rules and has established an interim Greenhouse Gas (GhG) threshold; however, there are currently no established guidelines or regulations issued on significance thresholds or methodologies for assessing impacts of global warming. The project would comply with all SCAQMD applicable rules and regulations during construction of the vehicle repair facility and will not interfere with the State's goals of reducing GhG emissions to 1990 levels by the year 2020 as stated in the AB 32 and an 80 percent reduction in GhG emissions below 1990 levels by 2050 as stated in Executive Order S-3-05. Based upon the prepared Climate Change Analysis for this project, emissions resulting from construction and operation are expected to be far lower than the SCAQMD thresholds for significance. Furthermore, neither the City of Riverside nor the CARB or OPR have yet to adopt a numeric threshold of significance for emissions of GhG. Based on the above, the project will not conflict with any applicable plan, policy or regulation related to the reduction in the emissions of GhG and thus a less than significant impact will occur directly, indirectly and cumulatively in this regard.				
8. HAZARDS & HAZARDOUS MATERIALS. Would the project:				
a. Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8a. Response: <i>(Source: General Plan 2025 Public Safety Element, GP 2025 FPEIR, California Health and Safety Code, Title 49 of the Code of Federal Regulations, California Building Code, Riverside Fire Department EOP, 2002 and Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1, OEM's Strategic Plan)</i> The project will not result in the release, transport, use or disposal of hazardous substances and the potential for the project to result in potential health hazards is extremely low. Development will be subject to oversight by the City of Riverside Fire Department, the County of Riverside Environmental Health Department and other applicable regulatory agencies. No impacts are expected.				
b. Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8b. Response: <i>(Source: General Plan 2025 Public Safety Element, GP 2025 FPEIR Tables 5.7 A – D, California Health and Safety Code, Title 49 of the Code of Federal Regulations, California Building Code, City of Riverside's EOP, 2002 and Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1, OEM's Strategic Plan)</i> The project will not result in the release, transport, use or disposal of hazardous substances and the potential for the project to result in potential health hazards is extremely low. Development will be subject to oversight by the City of Riverside Fire Department, the County of Riverside Environmental Health Department and other applicable regulatory agencies. No				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
impacts are expected.				
c. Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8c. Response: (Source: General Plan 2025 Public Safety and Education Elements, GP 2025 FPEIR Table 5.7-D - CalARP RMP Facilities in the Project Area, Figure 5.13-2 – RUSD Boundaries, Table 5.13-D RUSD Schools, Figure 5.13-3 AUSD Boundaries, Table 5.13-E AUSD Schools, Figure 5.13-4 – Other School District Boundaries, California Health and Safety Code, Title 49 of the Code of Federal Regulations, California Building Code)</p> <p>The proposed project does not involve any emission or handling of any hazardous materials, substances or waste within one-quarter mile of an existing school because The project will not result in the release, transport, use or disposal of hazardous substances and because the use is located .50 miles from the nearest existing or proposed school. Therefore, the project will have no impact regarding emitting hazardous emissions or handling hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school directly, indirectly or cumulatively.</p>				
d. Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>8d. Response: (Source: General Plan 2025 Figure PS-5 – Hazardous Waste Sites, GP 2025 FPEIR Tables 5.7-A – CERCLIS Facility Information, Figure 5.7-B – Regulated Facilities in TRI Information and 5.7-C – DTSC EnviroStor Database Listed Sites)</p> <p>A review of hazardous materials site lists compiled pursuant to Government Code Section 65962.5 found that the project site is not included on any such lists. Therefore, the project would have no impact to creating any significant hazard to the public or environment directly, indirectly or cumulatively.</p>				
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8e. Response: (Source: General Plan 2025 Figure PS-6 – Airport Safety Zones and Influence Areas, RCALUCP and March Air Reserve Base/March Inland Port Comprehensive Land Use Plan (1999), Air Installation Compatible Use Zone Study for March Air Reserve Base (August 2005))</p> <p>The project site is not located within any airport land use plan area or compatibility zone. Therefore, the project will have no impact resulting in a safety hazard for people residing or working in the project area directly, indirectly or cumulatively.</p>				
f. For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing or working in the project area?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8f. Response: (Source: General Plan 2025 Figure PS-6 – Airport Safety Zones and Influence Areas, RCALUCP, March Air Reserve Base/March Inland Port Comprehensive Land Use Plan (1999) and Air Installation Compatible Use Zone Study for March Air Reserve Base (August 2005))</p> <p>Because the proposed project is not located within proximity of a private airstrip, and does not propose a private airstrip, the project will not expose people residing or working in the City to excessive noise levels related to a private airstrip and would have no impact directly, indirectly or cumulatively.</p>				
g. Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>8g. Response: (Source: GP 2025 FPEIR Chapter 7.5.7 – Hazards and Hazardous Materials, City of Riverside's EOP, 2002 and Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1, and OEM's Strategic Plan)</p> <p>The project will be served by existing, fully improved streets, (Fourteenth Street) as well as emergency-only access from Georgia Street. All streets have been designed to meet the Public Works and Fire Departments' specifications. As part of</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>the project's construction, a temporary street closing will be necessary. Any street closing will be of short duration so as not to interfere or impede with any emergency response or evacuation plan. Therefore, the project will have a less than significant impact directly, indirectly and cumulatively to an emergency response or evacuation plan.</p>				
<p>h. Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>8h. Response: (Source: General Plan 2025 Figure PS-7 – Fire Hazard Areas, City of Riverside's EOP, 2002, Riverside Operational Area – Multi-Jurisdictional LHMP, 2004 Part 1/Part 2 and OEM's Strategic Plan)</p> <p>The proposed project is located in an urbanized area where no wildlands exist and the property is not located within a Very High Fire Severity Zones (VHFSZ) or adjacent to wildland areas or a VHFSZ; therefore no impact regarding wildland fires either directly, indirectly or cumulatively from this project will occur.</p>				
<p>9. HYDROLOGY AND WATER QUALITY. Would the project:</p>				
<p>a. Violate any water quality standards or waste discharge requirements?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>9a. Response: (Source: GP 2025 FPEIR Table 5.8-A – Beneficial Uses Receiving Water and Project Specific Hydrology Study and Draft Water Quality Management Plan, prepared by IW Consulting Engineers, Inc., dated February 5, 2011)</p> <p>During the construction phase, a final approved WQMP will be required for the project, as well as coverage under the State's General Permit for Construction Activities, administered by the Santa Ana RWQCB. Storm water management measures will be required to be implemented to effectively control erosion and sedimentation and other construction-related pollutants during construction. Given compliance with all applicable local, state, and federal laws regulating surface water quality and the fact that the project will not result in a net increase of surface water runoff, the proposed project as designed is anticipated to result in a less than significant impact directly, indirectly or cumulatively to any water quality standards or waste discharge.</p>				
<p>b. Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>9b. Response: (Source: General Plan 2025 Table PF-1 – RPU Projected Domestic Water Supply (AC-FT/YR), Table PF-2 – RPU Projected Water Demand, Table PF-3 – Western Municipal Water District Projected Domestic Water Supply (AC-FT/YR), RPU Map of Water Supply Basins, RPU Urban Water Management Plan, WMWD Urban Water Management Plan)</p> <p>The proposed project is located within the Riverside South Water Supply Basin. The project is required to connect to the City's sewer system and comply with all NPDES and WQMP requirements that will ensure the proposed project will not substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level. Therefore, there will no impact to groundwater supplies and recharge either directly, indirectly or cumulatively.</p>				
<p>c. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>9c. Response: (Source: Preliminary grading plan, and Water Quality Management Plan)</p> <p>The project is subject to NPDES requirements; areas of one acre or more of disturbance are subject to preparing and implementing a Storm Water Pollution Prevention Plan (SWPPP) for the prevention of runoff during construction. Erosion, siltation and other possible pollutants associated with long-term implementation of projects are addressed as part of the</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
Water Quality Management Plan (WQMP) and grading permit process. Therefore, the project will have a less than significant impact directly, indirectly or cumulatively to existing drainage patterns.				
d. Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9d. Response: (Source: Preliminary grading plan) The project site is located within the 100-year flood plain. The proposed development is required to have the building pad elevated above the flood level. Underground storm drains and streets are designed to accommodate the 10-year storm flow from curb to curb, while 100-year storms are accommodated within street right-of-ways. The runoff from the project in a developed condition has been studied and is required to be attenuated on-site, so although the drainage pattern will be altered the off-site discharge is the same as the undeveloped condition. Therefore, there will be less than significant impact directly, indirectly or cumulatively in the rate or amount of surface runoff and it will not result in flooding on- or off-site.				
e. Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9e. Response: (Source: Preliminary Grading Plan) Within the scope of the project is the installation of storm water drainage systems, specifically as described within the project description portion of this project. As the storm water drainage system will be installed concurrently with the construction of this project, the storm water drainage system will be adequately sized to accommodate the drainage created by this project. The project is expected to generate the following pollutants: sediment/turbidity, nutrients, trash and debris, oxygen demanding substances, bacteria and viruses, oil & grease, and pesticides. These expected pollutants will be treated through the incorporation of the site design, source control and treatment control measures specified in the project specific WQMP. Therefore, as the expected pollutants will be mitigated through the project site design, source control, and treatment controls already integrated into the project design, the project will not create or contribute runoff water exceeding capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted runoff and there will be a less than significant impact directly, indirectly or cumulatively.				
f. Otherwise substantially degrade water quality?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9f. Response: (Source: Project Specific – Stormwater Pollution Prevention Plan, and Water Quality Management Plan) The project proponent conducted a Preliminary Project Specific Water Quality Management Plan consistent with City of Riverside requirements. The project identified pathogens as the pollutant of concern. As such, appropriate site design, source control and treatment control best management practices were incorporated into the project design to fully address pathogens and other potential and expected pollutants generally associated with a residential land use, such as trash and debris, oil, etc. As the project has been reviewed by the Public Works Department and appropriate best management practices have been incorporated into the project design, a less than significant impact to degrading water quality will occur directly, indirectly and cumulatively.				
g. Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8g. Response: (Source: General Plan 2025 Figure PS-4 – Flood Hazard Areas, and FEMA Flood Hazard Maps) A review of National Flood Insurance Rate Map (Map Number 0602600015B Effective Date August 28, 2008) and Figure 5.8-2 – Flood Hazard Areas of the General Plan 2025 Program FPEIR, indicates that project site is located in a Zone AE a 100-year flood hazard area. The City Municipal Code, Title 16 Buildings & Construction, Chapter 16.18 Flood Hazard Area & Implementation of National Flood Insurance Program, Sec.16.18.050 requires new construction located within a 100-year flood zone to mitigate flood hazards by including onsite drainage, anchoring methods to prevent floating structures, elevating buildings above flood levels, and flood proofing, which requires the building to be inspected and certified by a professional engineer, surveyor or building inspector. Therefore, impacts of flood hazards to the proposed project will be less than significant directly, indirectly and cumulatively.				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
h. Place within a 100-year flood hazard area structures which would impede or redirect flood flows?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>9h. Response: (Source: General Plan 2025 Figure PS-4 – Flood Hazard Areas, and FEMA Flood Hazard Maps)</p> <p>The proposed project may affect or be impacted by a 100-year flood hazard area as depicted in Figure 5.8-2 – Flood Hazard Areas of the General Plan 2025 Program FPEIR and the National Flood Insurance Rate Map (Map Number 00602600015B Effective Date August 28 2008). However, the City Municipal Code, Title 16 Buildings & Construction, Chapter 16.18 Flood Hazard Area & Implementation of National Flood Insurance Program, Sec.16.18.050 requires new construction located within a 100-year flood zone to mitigate flood hazards by including onsite drainage, anchoring methods to prevent floating structures, elevating buildings above flood levels, and flood proofing, which requires the building to be inspected and certified by a professional engineer, surveyor or building inspector. . Therefore, the potential to place a structure within a 100-year flood hazard area that would impede or redirect flood flows will be less than significant directly, indirectly or cumulatively.</p>				
i. Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>9i. Response: (Source: General Plan 2025 Figure PS-4 – Flood Hazard Areas, and FEMA Flood Hazard Map)</p> <p>The project site is located within a 100-year flood hazard area as depicted on General Plan 2025 Program FPEIR Figure 5.8-2 – Flood Hazard Areas and the National Flood Insurance Rate Map (Map Number 00602600015B Effective Date August 28, 2008) due to the location of Box Springs Dam as depicted on General Plan 2025 Program FPEIR Figure 5.8-2 – Flood Hazard Areas. The project is located within the Box Springs Dam inundation area that may be affected in the event of a dam failure. In the event of a dam failure, first flow waters are expected to reach the site in 30 minutes. Therefore, the project will place a structure within a 100-year flood hazard and dam inundation area that would expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam</p> <p>The City Municipal Code, Title 18 – Subdivision Code, Section Chapter 18.210 – Development Standards, Section 18.210.100 – Flood Prone Lands and Drainage and Title 16 Buildings & Construction, Chapter 16.18 Flood Hazard Area & Implementation of National Flood Insurance Program, Sec.16.8.050 requires new construction located within a 100-year flood zone to mitigate flood hazards by including onsite drainage, anchoring methods to prevent floating structures, elevating buildings above flood levels, and flood proofing, which requires the building to be inspected and certified by a professional engineer, surveyor or building inspector. Including compliance with State Civil Code Section 1103 through 1103.4 requiring notification to those potentially affected of the risk involved in locating within a flood hazard or dam inundation area. Therefore, the potential to place a structure within an area that would expose people or structures to a significant risk of loss, injury or death as a result of the failure of a levee or dam will be less than significant directly, indirectly or cumulatively.</p>				
j. Inundation by seiche, tsunami, or mudflow?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<p>9j. Response: (Source: GP 2025 FPEIR Chapter 7.5.8 – Hydrology and Water Quality)</p> <p>Tsunamis are large waves that occur in coastal areas; therefore, since the City is not located in a coastal area, no impacts due to tsunamis will occur directly, indirectly or cumulatively. Additionally, the proposed project site and its surroundings have generally flat topography and is within an urbanized area not within proximity to Lake Mathews, Lake Evans, the Santa Ana River, Lake Hills, Norco Hills, Box Springs Mountain Area or any of the 9 arroyos which transverse the City and its sphere of influence. As such the project will not be subject to any potentially seiches or mudflows.</p>				
10. LAND USE AND PLANNING:				
Would the project:				
a. Physically divide an established community?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>10a.Response: (Source: General Plan 2025 Land Use and Urban Design Element, Project site plan, City of Riverside GIS/CADME map layers)</p> <p>The proposed project has been designed to be consistent with and fit into the pattern of development of the surrounding area providing adequate access, circulation and connectivity consistent with the General Plan 2025, and in compliance with</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>the requirements of the Zoning and Subdivision Codes. The proposed senior housing facility is compatible with a majority of the applicable development standards for senior housing. Concerns related to the project site being surrounded by a primarily single family residential neighborhood and located on an 88' wide arterial street can be addressed in that the proposed building would be approximately 65 feet away from the nearest existing single family residence at 2290 Vasquez Place, a distance equal to or greater than the typical separation of single family residences and multiple family residential projects. Impacts related to the building height are lessened by the project site's topography, which generally slopes towards the southeast. The four story building, when viewed from Georgia Street and/or Eucalyptus Avenue will appear as a 2- 2 ½ story building behind a series of decorative walls and fences and appropriate landscaping. The Public Works Department has reviewed the proposed site plan and deemed the design related to ingress and egress to be acceptable. The proposed project will not increase the volume of traffic within the existing residential neighborhood as all vehicular access will be taken off of Fourteenth Street. Finally, as conditioned, the proposed project will represent an example superior design which reflects Riverside's heritage in a contemporary fashion. It is anticipated that the project will lead to improved design for future projects in the Eastside neighborhood. As conditioned, the proposed project will not result in any detrimental impacts to the surrounding neighborhood. Therefore, the project impacts related to the community are less than significant.</p>				
<p>b. Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>10b. Response: (<i>Source: General Plan 2025, General Plan 2025 Figure LU-10 – Land Use Policy Map, Table LU-5 – Zoning/General Plan Consistency Matrix, Figure LU-7 – Redevelopment Areas, Title 19 – Zoning Code, Title 18 – Subdivision Code, Title 7 – Noise Code, Title 17 – Grading Code, Title 20 – Cultural Resources Code, Title 16 – Buildings and Construction and Citywide Design and Sign Guidelines</i>)</p> <p>Although the project is located within the boundaries of the RCALUCP it has been designed to be consistent with these plans.</p> <p>The MDR – Medium Density Residential General Plan Land Use Designation is intended to provide for residential development with a density of up to 8.0 dwelling units per acre. The proposed senior housing project on the three acre site would yield a density of approximately 40 dwelling units per acre. However, no changes to zoning or land use designations are necessary as the Zoning Code allows Senior Housing projects in single family residential zones with a Conditional Use Permit so long as findings to indicate no detrimental impacts to the existing residential neighborhood can be made. See the "Neighborhood Compatibility" section later in this report for a greater discussion on the project's relation to the existing neighborhood. Staff would note that the proposal will "Integrate housing components that add critical mass and complement the character of the area", furthering the objectives of Strategic Route 7: Transforming Spaces into Places of the City's Seizing Our Destiny initiative.</p> <p>While senior housing facilities are allowed in the R-1-7000 – Single Family Residential Zone with the approval of a Conditional Use Permit, there no codified development standards for such uses except for standards establishing a parking ratio for senior housing. Therefore, the development standards of the R-1-7000 Zone are applicable in this instance. The proposed project complies with, or has been conditioned to comply with a majority of the applicable development standards for the proposed use. There are, however several variances which have been requested:</p> <ul style="list-style-type: none"> a. To allow the proposed project to have a parking ratio of 1.0 parking spaces per dwelling unit where the Zoning Code requires a minimum parking ratio of 1.1 parking spaces per dwelling unit for senior housing projects; b. To allow the proposed Senior Housing project to have approximately 43% covered parking where the Zoning Code requires a minimum of 50% covered parking spaces (either under a carport or within an enclosed garage) for senior housing projects; c. To allow a four story, approximately 59-foot building where the Zoning Code restricts the height of buildings to two stories and 35 feet in the R-1-7000 – Single Family Residential Zone; 				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>d. To allow an architectural feature on the proposed apartment building to have height of approximately 60 feet where the Zoning Code restricts the height of architectural features to not extend more than 10 percent beyond the maximum height limit permitted in the underlying zone (38 ½ feet in the R-1-7000 – Single Family Residential Zone);</p> <p>e. To allow an approximately 12 ½ foot landscape setback along the Fourteenth Street frontage, where a minimum 15-foot landscape setback is required for parking lots with 21 or more parking spaces; and</p> <p>f. To allow 32 parking spaces along the Fourteenth Street frontage to have a 2 foot bumper overhang where the Zoning Code does not allow for a bumper overhang. .</p> <p>Justifications to support the requested variances can be found later in the staff report, however in summary; the project meets all the applicable building setback standards and would be approximately 65 feet away from the nearest existing single family residence at 2290 Vasquez Place, a distance equal to or greater than the typical separation of single family residences and multiple family residential projects. Further, impact related to the building height variances are lessened by the project site's topography, which generally slopes towards the southeast. The four story building, when viewed from Georgia Street and/or Eucalyptus Avenue will appear as a 2- 2 ½ story building behind a series of decorative walls and fences and appropriate landscaping. Finally, the proposed project will not increase the volume of traffic within the existing residential neighborhood as all vehicular access will be taken off of Fourteenth Street.</p> <p>Further, the project is not a project of Statewide, Regional or Areawide Significance. As such, this project will have a less than significant impact on applicable land use policies directly, indirectly or cumulatively.</p>				
c. Conflict with any applicable habitat conservation plan or natural community conservation plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>10c. Response: (Source: MSHCP, General Plan 2025 – Figure OS-6 – Stephen's Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Stephens' Kangaroo Rat Habitat Conservation Plan, Lake Mathews Multiple Species Habitat Conservation Plan and Natural Community Conservation Plan, and El Sobrante Landfill Habitat Conservation Plan)</p> <p>The proposed project is consistent with the guidelines of MSHCP, including Section 6.1.4, Guidelines Pertaining to the Urban/Wildlife Interface and related policies in the General Plan 2025, including Policy LU-7.4. Therefore, impacts associated with potential inconsistencies with the MSHCP will be less than significant impacts directly, indirectly and cumulatively to the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or State habitat conservation plan.</p>				
<p>11. MINERAL RESOURCES.</p> <p>Would the project:</p>				
a. Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>11a. Response: (Source: General Plan 2025 Figure – OS-1 – Mineral Resources)</p> <p>The project does not involve extraction of mineral resources or grading activity. No mineral resources have been identified on the project site and there is no historical use of the site or surrounding area for mineral extraction purposes. The project site is not, nor is it adjacent to, a locally important mineral resource recovery site delineated in the General Plan 2025, specific plan or other land use plan. Therefore, the project will have no impact on mineral resources directly, indirectly or cumulatively.</p>				
b. Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>11b. Response: (Source: General Plan 2025 Figure – OS-1 – Mineral Resources)</p> <p>The GP 2025 FPEIR determined that there are no specific areas with the City or Sphere Area which have locally-important mineral resource recovery sites and that the implementation of the General Plan 2025 would not significantly preclude the</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
ability to extract state-designated resources. The proposed project is consistent with the General Plan 2025. Therefore, there is no impact .				
12. NOISE.				
Would the project result in:				
a. Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>12a. Response: (Source: General Plan Figure N-1 – 2003 Roadway Noise, Figure N-2 – 2003 Freeway Noise, Figure N-3 – 2003 Railway Noise, Figure N-5 – 2025 Roadway Noise, Figure N-6 – 2025 Freeway Noise, Figure N-7 – 2025 Railroad Noise, Figure N-8 – Riverside and Flabob Airport Noise Contours, Figure N-9 – March ARB Noise Contours, Figure N-10 – Noise/Land Use Noise Compatibility Criteria, FPEIR Table 5.11-I – Existing and Future Noise Contour Comparison, Table 5.11-E – Interior and Exterior Noise Standards, Appendix G – Noise Existing Conditions Report, Title 7 – Noise Code)</p> <p>Per Implementation Tool N-1 of the General Plan 2025 Noise Element, this project has been reviewed to ensure that noise standards and compatibility issues have been addressed. The project meets the City’s noise standards as set forth in Title 7 of the Municipal Code, is compliant with the Noise/Land Use Noise Compatibility Criteria Matrix (Figure N-10) of the Noise Element, is not within the 60 dB CNEL and is not within the vicinity of commercial and industrial areas and therefore does not require an acoustical analysis. Therefore, impacts are less than significant on the exposure of persons to or the generation of noise levels in excess of established City standards either directly, indirectly or cumulatively.</p>				
b. Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>12b. Response: (Source: General Plan Figure N-1 – 2003 Roadway Noise, Figure N-2 – 2003 Freeway Noise, Figure N-3 – 2003 Railway Noise, Figure N-5 – 2025 Roadway Noise, Figure N-6 – 2025 Freeway Noise, Figure N-7 – 2025 Railroad Noise, Figure N-8 – Riverside and Flabob Airport Noise Contours, Figure N-9 – March ARB Noise Contours, FPEIR Table 5.11-G – Vibration Source Levels For Construction Equipment, Appendix G – Noise Existing Conditions Report)</p> <p>Construction related activities although short term, are the most common source of groundborne noise and vibration that could affect occupants of neighboring uses. While intermittent, train vibration is also a significant source of groundborne noise and vibration. The acoustical analysis has assessed the potential for noise and ground-borne vibration impacts related to noise land use compatibility, construction-related noise per GP 2025 FPEIR, Table 5.11-G, Vibration Source Levels for Construction Equipment, on-site stationary noise sources, and vehicular-related noise. The acoustical analysis found the project to be in compliance with the City’s noise standards and found impacts related to groundborne vibration and groundborne noise levels as a result of the project to be less than significant directly, indirectly and cumulatively.</p>				
c. A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>12c. Response: (Source: General Plan Figure N-1 – 2003 Roadway Noise, Figure N-2 – 2003 Freeway Noise, Figure N-3 – 2003 Railway Noise, Figure N-5 – 2025 Roadway Noise, Figure N-6 – 2025 Freeway Noise, Figure N-7 – 2025 Railroad Noise, Figure N-8 – Riverside and Flabob Airport Noise Contours, Figure N-9 – March ARB Noise Contours, Figure N-10 – Noise/Land Use Noise Compatibility Criteria, FPEIR Table 5.11-I – Existing and Future Noise Contour Comparison, Table 5.11-E – Interior and Exterior Noise Standards, Appendix G – Noise Existing Conditions Report, Title 7 – Noise Code)</p> <p>See response 12a</p>				
d. A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>12d. Response: (Source: FPEIR Table 5.11-J – Construction Equipment Noise Levels, Appendix G – Noise Existing Conditions Report)</p> <p>The primary source of temporary or periodic noise associated with the proposed project is from construction activity and maintenance work. Construction noise typically involves the loudest common urban noise events associated with building</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>demolition, grading, construction, large diesel engines, truck deliveries and hauling</p> <p>Both the General Plan 2025 and the Municipal Code Title 7 (Noise Code) limit construction activities to specific times and days of the week and during those specified times, construction activity is subject to the noise standards provided in the Title 7. Considering the short-term nature of construction and the provisions of the Noise Code, the temporary and periodic increase in noise levels due the construction which may result from the project are considered less than significant directly, indirectly and cumulatively.</p>				
e. For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>12e. Response: (Source: General Plan 2025 Figure N-8 – Riverside and Flabob Airport Noise Contours, Figure N-9 – March ARB Noise Contour, Figure N-10 – Noise/Land Use Noise Compatibility Criteria, RCALUCP, March Air Reserve Base/March inland Port Comprehensive Land Use Plan (1999), Air Installation Compatible Use Zone Study for March Air Reserve Base (August 2005))</p> <p>The proposed project is not located within an airport land use plan or within two miles of a public airport or public use airport and as such will have no impact on people residing or working in the project area to excessive noise levels either directly, indirectly or cumulatively.</p>				
f. For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>12f. Response: (Source: General Plan 2025 Figure PS-6 – Airport Safety Zones and Influence Areas, RCALUCP, March Air Reserve Base/March Inland Port Comprehensive Land Use Plan (1999) and Air Installation Compatible Use Zone Study for March Air Reserve Base (August 2005))</p> <p>Per the GP 2025 Program FPEIR, there are no private airstrips within the City that would expose people working or residing in the City to excessive noise levels. Because the proposed project consists of development anticipated under the General Plan 2025, is not located within proximity of a private airstrip, and does not propose a private airstrip, the project will not expose people residing or working in the City to excessive noise levels related to a private airstrip and would have no impact directly, indirectly or cumulatively.</p>				
13. POPULATION AND HOUSING.				
Would the project:				
a. Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>13a. Response: (Source: General Plan 2025 Table LU-3 – Land Use Designations, FPEIR Table 5.12-A – SCAG Population and Households Forecast, Table 5.12-B – General Plan Population and Employment Projections–2025, Table 5.12-C – 2025 General Plan and SCAG Comparisons, Table 5.12-D - General Plan Housing Projections 2025, Capital Improvement Program and SCAG’s RCP and RTP)</p> <p>The project involves the construction of new dwelling units that may directly induce population growth, and may involve additional infrastructure that could indirectly induce population growth. The MDR – Medium Density Residential General Plan Land Use Designation is intended to provide for residential development with a density of up to 8.0 dwelling units per acre. The proposed senior housing project on the three acre site would yield a density of approximately 40 dwelling units per acre. However, no changes to zoning or land use designations are necessary as the Zoning Code allows Senior Housing projects in single family residential zones with a Conditional Use Permit so long as findings to indicate no detrimental impacts to the existing residential neighborhood can be made. See the “Neighborhood Compatibility” section in the case record. The General Plan 2025 Final PEIR determined that Citywide, future development anticipated under the General Plan 2025 Typical scenario would not have significant population growth impacts. Because the proposed project is consistent with the General Plan 2025 Typical growth scenario and population growth impacts were previously evaluated in the GP 2025 FPEIR the project does not result in new impacts beyond those previously evaluated in the GP 2025 FPEIR;</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
therefore, the impacts will be less than significant both directly and indirectly.				
b. Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13b. Response: (Source: CADME Land Use 2003 Layer, photos from site visit, Google imaging) The project will not displace existing housing, necessitating the construction of replacement housing elsewhere because the project site is proposed on vacant land that has no existing housing that will be removed or affected by the proposed project. Therefore, there will be no impact on existing housing either directly, indirectly or cumulatively.				
c. Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
13c. Response: (Source: CADME Land Use 2003 Layer, photos from site visit, Google imaging) The project will not displace any people, necessitating the construction of replacement housing elsewhere because the project site is proposed on vacant land that has no existing housing or residents that will be removed or affected by the proposed project. Therefore, this project will have no impact on people, necessitating the need for replacement housing either directly, indirectly or cumulatively.				
14. PUBLIC SERVICES.				
Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the public services:				
a. Fire protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14a. Response: (Source: FPEIR Table 5.13-B – Fire Station Locations, Table 5.13-C – Riverside Fire Department Statistics and Ordinance 5948 § 1) Adequate fire facilities and services are provided by Station #4 located at 3510 Cranford Ave to serve this project. In addition, with implementation of General Plan 2025 policies, compliance with existing codes and standards, and through Fire Department practices, there will be no impacts on the demand for additional fire facilities or services either directly, indirectly or cumulatively.				
b. Police protection?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14b. Response: (Source: General Plan 2025 Figure PS-8 – Neighborhood Policing Centers) Adequate police facilities and services are provided by the East Neighborhood Policing Center to serve this project. In addition, with implementation of General Plan 2025 policies, compliance with existing codes and standards, and through Police Department practices, there will be no impacts on the demand for additional police facilities or services either directly, indirectly or cumulatively.				
c. Schools?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
14c. Response: (Source: FPEIR Figure 5.13-2 – RUSD Boundaries, Table 5.13-D – RUSD, Figure 5.13-3 – AUSD Boundaries, Table 5.13-E – AUSD, Table 5.13-G – Student Generation for RUSD and AUSD By Education Level, and Figure 5.13-4 – Other School District Boundaries) The project consists of a senior housing facility. Adequate school facilities and services are provided by Riverside Unified School District to serve this project. However, based on the fact the project will be restricted to residents aged 55 and older, there will be no impact on the school district. Therefore impacts will be no impact on the demand for additional school facilities or services either directly, indirectly or cumulatively.				
d. Parks?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
14d. Response: (Source: General Plan 2025 Figure PR-1 – Parks, Open Spaces and Trails, Table PR-4 – Park and Recreation Facilities, Parks Master Plan 2003, GP 2025 FPEIR Table 5.14-A – Park and Recreation Facility Types, and Table 5.14-C – Park and Recreation Facilities Funded in the Riverside Renaissance Initiative)				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>The project consists of senior housing facility. Adequate park facilities and services are provided in the Eastside Neighborhood to serve this project, including Dario Vasquez Park directly adjacent to the project site. In addition, with implementation of General Plan 2025 policies, compliance with existing codes and standards, and through Park, Recreation and Community Services practices, there will be less than significant impacts on the demand for additional park facilities or services either directly, indirectly or cumulatively.</p>				
<p>e. Other public facilities?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>14e. Response: (Source: General Plan 2025 Figure LU-8 – Community Facilities, FPEIR Figure 5.13-5 - Library Facilities, Figure 5.13-6 - Community Centers, Table 5.3-F – Riverside Community Centers, Table 5.13-H – Riverside Public Library Service Standards)</p>				
<p>The project consists of senior housing facility. Adequate public facilities and services, including libraries and community centers, are provided in the Eastside Neighborhood to serve this project. In addition, with implementation of General Plan 2025 policies, compliance with existing codes and standards, and through Park, Recreation and Community Services and Library practices, there will be no impacts on the demand for additional public facilities or services either directly, indirectly or cumulatively.</p>				
15. RECREATION.				
<p>a. Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that substantial physical deterioration of the facility would occur or be accelerated?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>15a. Response: (Source: General Plan 2025 Figure PR-1 – Parks, Open Spaces and Trails, Table PR-4 – Park and Recreation Facilities, Figure CCM-6 – Master plan of Trails and Bikeways, Parks Master Plan 2003, FPEIR Table 5.14-A – Park and Recreation Facility Types, and Table 5.14-C – Park and Recreation Facilities Funded in the Riverside Renaissance Initiative, Table 5.14-D – Inventory of Existing Community Centers, Riverside Municipal Code Chapter 16.60 - Local Park Development Fees, Bicycle Master Plan May 2007)</p>				
<p>The project is not expected to significantly increase the use of existing and regional parks given that the project will provide recreational facilities on site, partially offsetting the demand for neighborhood parks. Nonetheless, applicable park fees will be required to be paid to mitigate the impact to park development and open space needs generated by the project.</p>				
<p>b. Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>14b. Response:</p>				
<p>The project, as proposed, does not include or require the construction or expansion of recreational facilities.</p>				
16. TRANSPORTATION/TRAFFIC.				
<p>Would the project result in:</p>				
<p>a. Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?</p>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>16a. Response: (Source: General Plan 2025 Figure CCM-4 – Master Plan of Roadways, FPEIR Figure 5.15-4 – Volume to Capacity (V/C) Ratio and Level of Service (LOS) (Typical 2025), Table 5.15-D – Existing and Future Trip Generation Estimates, Table 5.15-H – Existing and Typical Density Scenario Intersection Levels of Service, Table 5.15-I – Conceptual General Plan Intersection Improvement Recommendations, Table 5.15-J – Current Status of Roadways Projected to Operate at LOS E or F in 2025, Table 5.15-K – Freeway Analysis Proposed General Plan, Appendix H – Circulation Element Traffic Study and Traffic Study</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p><i>Appendix, SCAG's RTP</i></p> <p>Roadway capacity is adequate to accommodate the projected traffic volumes, of the proposed project. While an incremental increase in traffic volume will result, the proposed project is not anticipated to produce significant traffic volume as it is anticipated that not all residents will have or need private vehicles. Further justification lies in the proposed shuttle program, which will provide transportation to residents for scheduled events and appointments; and site's proximity to three Riverside Transit Agency (RTA) bus stops within 900 feet of the site that serve at least four different routes traveling both east and westbound from the site. Therefore, the increase in traffic in relation to the existing traffic load and capacity of the street system is less than significant directly, indirectly or cumulatively.</p>				
b. Conflict with an applicable congestion management program, including but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>16b. Response: (Source: General Plan 2025 Figure CCM-4 – Master Plan of Roadways, FPEIR Figure 5.15-4 – Volume to Capacity (V/C) Ratio and Level of Service (LOS) (Typical 2025), Table 5.15-D – Existing and Future Trip Generation Estimates, Table 5.15-H – Existing and Typical Density Scenario Intersection Levels of Service, Table 5.15-I – Conceptual General Plan Intersection Improvement Recommendations, Table 5.15-J – Current Status of Roadways Projected to Operate at LOS E or F in 2025, Table 5.15-K – Freeway Analysis Proposed General Plan, Appendix H – Circulation Element Traffic Study and Traffic Study Appendix, SCAG's RTP)</p> <p>The project site does not include a state highway or principal arterial within Riverside County's Congestion Management Program (CMP) and the project is consistent with the Transportation Demand Management/Air Quality components of the Program; therefore, there is no impact either directly, indirectly or cumulatively to the CMP.</p>				
c. Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>16c. Response: (Source: General Plan 2025 Figure PS-6 – Airport Safety Zones and Influence Areas, RCALUCP, March Air Reserve Base/March Inland Port Comprehensive Land Use Plan (1999) and Air Installation Compatible Use Zone Study for March Air Reserve Base (August 2005))</p> <p>The project will not change air traffic patterns, increase air traffic levels or change the location of air traffic patterns. It is not located within an airport influence area. As such, this project will have no impact directly, indirectly or cumulatively on air traffic patterns.</p>				
d. Substantially increase hazards due to a design feature (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
<p>16d. Response: (Source: Project Site Plans, Lane Striping and Signing Plans,</p> <p>The proposed project is compatible with adjacent streets and existing development in the surrounding area. As well, it has been designed so as not to cause any incompatible use or additional or any hazards to the surrounding area or general public. The proposed site plan indicates that vehicular access will be taken exclusively from Fourteenth Street, thereby eliminating a substantial increase in traffic volume in the surrounding residential neighborhood as result of this project. A single ingress point, and two egress points are proposed along the along the Fourteenth Street frontage. Additionally, an emergency only "crash" gate is proposed along Georgia Street along the northerly side of the site. The primary driveway is located generally in line with the main entry of the building while the second egress point to Fourteenth Street is located adjacent to the gate to the secure parking area for residents on the northerly side of the site. The primary driveway is proposed to contain stamped concrete and a triangular island ("pork chop") element between the ingress and egress to direct traffic appropriately. A center median exists along this portion of Fourteenth Street, thereby both egress points will be required right turns only. Vehicles wishing to travel easterly on Fourteenth Street could make a U-Turn at the signalized intersection of Fourteenth Street and Sedgwick Avenue. The project site is located just beyond a curve on Fourteenth Street where the posted speed limit is 35 MPH. The proposed acceleration and deceleration lanes, plus the "pork chop" element are all intended to allow for safe vehicular visibility and access to the project site. The proposed configuration has been deemed appropriate by the Public Works Department. Thus, this project will have a less than significant impact on increasing hazards through design or incompatible uses directly, indirectly or cumulatively.</p>				
e. Result in inadequate emergency access?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
16e. Response: (Source: California Department of Transportation Highway Design Manual, Municipal Code, and Fire Code)				
The project has been developed in compliance with Title 18, Section 18.210.030 and the City's Fire Code Section 503 (California Fire Code 2007); therefore, there will be no impact directly, indirectly or cumulatively to emergency access.				
f. Conflict with adopted policies, plans or programs regarding public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities)?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
16f. Response: (Source: FPEIR, General Plan 2025 Land Use and Urban Design, Circulation and Community Mobility and Education Elements, Bicycle Master Plan, School Safety Program – Walk Safe! – Drive Safe!)				
The project, as designed, does not create conflicts with adopted policies, plans or programs supporting alternative transportation (e.g. bus turnouts, bicycle racks). As such, the project will have no impact directly, indirectly or cumulatively on adopted policies, plans, or programs supporting alternative transportation.				
17. UTILITIES AND SYSTEM SERVICES.				
Would the project:				
a. Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17a. Response: (Source: General Plan 2025 Figure PF-2 – Sewer Facilities Map, FPEIR Figure 5.16-5 – Sewer Service Areas, Table 5.16-K - Estimated Future Wastewater Generation for the City of Riverside's Sewer Service Area, Table 5.16-L - Estimated Future Wastewater Generation for the Planning Area Served by WMWD, Figure 5.8-1 – Watersheds, Wastewater Integrated Master Plan and Certified EIR)				
All new development is required to comply with all provisions of the NPDES program and the City's Municipal Separate Sewer Permit (MS4), as enforced by the Regional Water Quality Control Board (RWQCB). Therefore, the proposed project would not exceed applicable wastewater treatment requirements of the RWQCB with respect to discharges to the sewer system or stormwater system within the City. Because the proposed project is required to adhere to the above regulations related to wastewater treatment the project will have a less than significant impact				
b. Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
17b. Response: (Source: General Plan 2025 Table PF-1 – RPU PROJECTED DOMESTIC WATER Supply (AC-FT/YR), Table PF-2 – RPU Projected Water Demand, Table PF-3 – Western Municipal Water District Projected Domestic Water Supply (AC-FT/YR), RPU, FPEIR Table 5.16-G – General Plan Projected Water Demand for RPU Including Water Reliability for 2025, Table 5.16-I - Current and Projected Water Use WMWD, Table 5.16-J - General Plan Projected Water Demand for WMWD Including Water Reliability 2025, Table 5.16-K - Estimated Future Wastewater Generation for the City of Riverside's Sewer Service Area & Table 5.16-L - Estimated Future Wastewater Generation for the Planning Area Served by WMWD, Figure 5.16-4 – Water Facilities and Figure 5.16-6 – Sewer Infrastructure and Wastewater Integrated Master Plan and Certified EIR).				
The project will not result in the construction of new or expanded water or wastewater treatment facilities. The project is consistent with the Typical Growth Scenario of the General Plan 2025 where future water and wastewater generation was determined to be adequate (see Tables 5.16-E, 5.16-F, 5.16-G, 5.16-H, 5.16-I, 5.16-J and 5.16-K of the General Plan 2025 Final PEIR). Therefore, the project will have no impact resulting in the construction of new water or wastewater treatment facilities or the expansion of existing facilities directly, indirectly or cumulatively.				
c. Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
17c. Response: (Source: FPEIR Figure 5.16-2 - Drainage Facilities)				
The proposed project will result in an increase of impervious surface areas. The increased in impervious surface area will generate increased storm water flows with potential to impact drainage facilities and require the provision of additional facilities. However, the Subdivision Code (Title 18, Section 18.48.020) requires drainage fees to be paid to the City for new				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
<p>construction. Fees are transferred into a drainage facilities fund that is maintained by Riverside County Flood Control and Water Conservation District. This Section also complies with the California Government Code (section 66483), which provides for the payment of fees for construction of drainage facilities. Fees are required to be paid as part of the conditions of approval/waiver for filing of a final map or parcel map.</p> <p>General Plan 2025 Policies PF 4.1 and PF 4.3 require the City to continue to routinely monitor its storm drain system and to fund and improve those systems as identified in the City's Capital Improvement Plan. Implementation of these policies will ensure that the City is adequately served by drainage systems. The General Plan 2025 also includes policies and programs that will minimize the environmental effects of the development of such facilities. Therefore, the project will have less than significant on existing storm water drainage facilities and would not require the expansion of existing facilities directly, indirectly or cumulatively.</p>				
d. Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17d. Response: (Source: FPEIR Figure 5.16-3 – Water Service Areas, Figure 5.16-4 – Water Facilities, Table 5.16-E – RPU Projected Domestic Water Supply (AC-FT/YR, Table 5.16-F – Projected Water Demand, Table 5.16-G – General Plan Projected Water Demand for RPU including Water Reliability for 2025, Table 5.16-H – Current and Projected Domestic Water Supply (acre-ft/year) WMWD Table 5.16-I Current and Projected Water Use WMWD, Table 5.16-J – General Plan Projected Water Demand for WMWD Including Water Reliability 2025, RPU Master Plan, EMWD Master Plan, WMWD Master Plan, and Highgrove Water District Master Plan)</p> <p>The project will not exceed expected water supplies. The project is consistent with the General Plan 2025 Typical Growth Scenario where future water supplies were determined to be adequate (see Tables 5.16-E, 5.16-F, 5.16-G, 5.16-H, 5.16-I and 5.16-J of the General Plan 2025 Final PEIR). Therefore, the project will have no impact resulting in the insufficient water supplies either directly, indirectly or cumulatively.</p>				
e. Result in a determination by the wastewater treatment provider which serves or may serve the project that it has adequate capacity to serve the project's projected demand in addition to the provider's existing commitments?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17e. Response: (Source: FPEIR Figure 5.16-5 - Sewer Service Areas, Figure 5.16-6 -Sewer Infrastructure, Table 5.16-K - Estimated Future Wastewater Generation for the City of Riverside's Sewer Service Area, Table 5.16-L - Estimated Future Wastewater Generation for the Planning Area Served by WMWD , and Wastewater Integrated Master Plan and Certified EIR)</p> <p>The project will not exceed wastewater treatment requirements of (Regional Water Quality Control Board). The project is consistent with the General Plan 2025 Typical Growth Scenario where future wastewater generation was determined to be adequate (see Table 5.16-K of the General Plan 2025 Final PEIR). Further, the current Wastewater Treatment Master Plan anticipates and provides for this type of project. Therefore, no impact to wastewater treatment directly, indirectly or cumulatively will occur.</p>				
f. Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17f. Response: (Source: FPEIR Table 5.16-A – Existing Landfills and Table 5.16-M – Estimated Future Solid Waste Generation from the Planning Area)</p> <p>The project is consistent with the General Plan 2025 Typical Build-out Project level where future landfill capacity was determined to be adequate (see Tables 5.16-A and 5.16-M of the General Plan 2025 Final PEIR). Therefore, no impact to landfill capacity will occur directly, indirectly or cumulatively.</p>				
g. Comply with federal, state, and local statutes and regulations related to solid waste?	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
<p>17g. Response: (Source: California Integrated Waste Management Board 2002 Landfill Facility Compliance Study)</p> <p>The California Integrated Waste Management Act under the Public Resource Code requires that local jurisdictions divert at least 50% of all solid waste generated by January 1, 2000. The City is currently achieving a 60% diversion rate, well above State requirements. In addition, the California Green Building Code requires all developments to divert 50% of non-hazardous construction and demolition debris for all projects and 100% of excavated soil and land clearing debris for all</p>				

ISSUES (AND SUPPORTING INFORMATION SOURCES):	Potentially Significant Impact	Potentially Significant Unless Mitigation Incorporated	Less Than Significant Impact	No Impact
non-residential projects beginning January 1, 2011. The proposed project must comply with the City's waste disposal requirements as well as the California Green Building Code and as such would not conflict with any Federal, State, or local regulations related to solid waste. Therefore, no impacts related to solid waste statues will occur directly, indirectly or cumulatively.				
18. MANDATORY FINDINGS OF SIGNIFICANCE.				
a. Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or an endangered plant or animal or eliminate important examples of the major periods of California history or prehistory?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18a. Response: <i>Source: General Plan 2025 – Figure OS-6 – Stephen's Kangaroo Rat (SKR) Core Reserve and Other Habitat Conservation Plans (HCP), Figure OS-7 – MSHCP Cores and Linkages, Figure OS-8 – MSHCP Cell Areas, General Plan 2025 FPEIR Figure 5.4-2 – MSHCP Area Plans, Figure 5.4-4 - MSHCP Criteria Cells and Subunit Areas, Figure 5.4-6 – MSHCP Narrow Endemic Plant Species Survey Area, Figure 5.4-7 – MSHCP Criteria Area Species Survey Area, Figure 5.4-8 – MSHCP Burrowing Owl Survey Area, MSHCP Section 6.1.2 - Protection of Species Associated with Riparian/Riverine Areas and Vernal Pools, FPEIR Table 5.5-A Historical Districts and Neighborhood Conservation Areas, Figure 5.5-1 - Archaeological Sensitivity, Figure 5.5-2 - Prehistoric Cultural Resources Sensitivity, Appendix D, Title 20 of the Riverside Municipal Code)</i> <p>Potential impacts related to habitat of fish or wildlife species were discussed in the Biological Resources Section of this Initial Study, and were all found to be less than significant. Additionally, potential impacts to cultural, archaeological and paleontological resources related to major periods of California and the City of Riverside's history or prehistory were discussed in the Cultural Resources Section of this Initial Study, and were found to be less than significant.</p>				
b. Does the project have impacts that are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects)?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18b. Response: <i>(Source: FPEIR Section 6 – Long-Term Effects/ Cumulative Impacts for the General Plan 2025 Program)</i> <p>Because the project is consistent with the General Plan 2025, no new cumulative impacts are anticipated and therefore cumulative impacts of the proposed project beyond those previously considered in the GP 2025 FPEIR are less than significant.</p>				
c. Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
18c. Response: <i>(Source: FPEIR Section 5 – Environmental Impact Analysis for the General Plan 2025 Program)</i> <p>Effects on human beings were evaluated as part of the aesthetics, air quality, hydrology & water quality, noise, population and housing, hazards and hazardous materials, and traffic sections of this initial study and found to be less than significant for each of the above sections. Based on the analysis and conclusions in this initial study, the project will not cause substantial adverse effects, directly or indirectly to human beings. Therefore, potential direct and indirect impacts on human beings that result from the proposed project are less than significant.</p>				

Note: Authority cited: Sections 21083 and 21087, Public Resources Code. Reference: Sections 21080(c), 21080.1, 21080.3, 21082.1, 21083, 21083.3, 21093, 21094, 21151, Public Resources Code; Sundstrom v. County of Mendocino, 202 Cal.App.3d 296 (1988); Leonoff v. Monterey Board of Supervisors, 222 Cal.App.3d 1337 (1990).