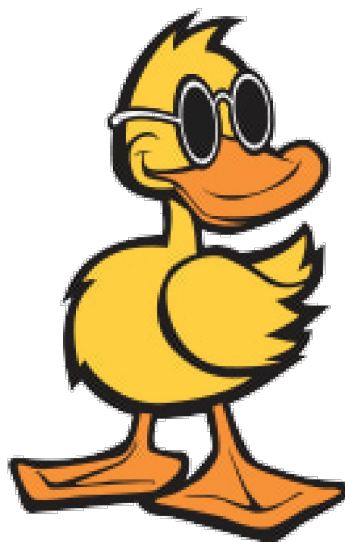


NEW CAR WASH FACILITY



7200 ARLINGTON AVE
RIVERSIDE, CA. 93933
APN: PORTION 191-020-011
QUICK QUACK SITE I.D. #4-212

CONTACT INFORMATION

APPLICANT: QUICK QUACK DEVELOPMENT II, LLC
ATTN: EFRAIN CORONA
1380 LEAD HILL BLVD #260
ROSEVILLE, CA. 95661
916.846.2100
EFRAINC@DONTDRIVEDIRTY.COM

OWNER: PARAGON COMMERCIAL GROUP, LLC
ATTN: TODD HUBER
133 PENN STREET
EL SEGUNDO, CA. 90245
310.807.3375
THUBER@PARAGONCOMMERCIALGROUP.COM

ARCHITECT: CRM ARCHITECTS
ATTN: MARK MCILVAIN
5800 STANFORD RANCH #720
ROCKLIN, CA. 95765
916.451.1500
MARKM@CRMARCHITECTS.COM

PROJECT SUMMARY

THE PROJECT CONSISTS OF BUT IS NOT LIMITED TO:
CONSTRUCTION OF:
NEW CAR WASH FACILITY, INCLUDING BUT NOT LIMITED TO
NEW CONCRETE WALKS, DRIVE AISLES, CURBS, LANDSCAPING,
VACUUM STATIONS, UTILITIES, AND ALL ASSOCIATED FIXTURES,
FURNISHINGS AND EQUIPMENT.

ALUC

Building Code Calculation	
	Pad 5/Parcel B
Total Max GLA	3,799 SF GLA
Use	2,376 SF of Car Tube 1,423 SF of Office/Storage 30 Cars DT/Parking
Storage and Stock Rooms SF	1,065
Storage and Stock Rooms - Min SF Per Occ.	300
Adjustment (Reduction) Per Appendix C	0%
Office SF	358
Office SF - Min SF Per Occ.	100
Adjustment (Reduction) Per Appendix C	50%
Car Stacking/Queueing/Parking	30
# of People Per Car	1.50
Adjustment (Reduction) Per Appendix C	0%
Total SF of Non-Car Tunnel GLA	1,423
Total Projected Occupants	50

Post-Lot Line Adjustment Parcel Size (AC)	0.80
Post-Lot Line Adjustment Parcel Size (SF)	35,063

Allowable Average Land Use Intensity (Zone C)	75
Concluded Average Land Use Intensity	63

Allowable Maximum Land Use Intensity (Zone C)	150
Concluded Maximum Land Use Intensity	50

ARLINGTON @ VAN BUREN PLAZA - PHASE 2

6161 VAN BUREN BLVD.
SEC VAN BUREN BLVD. & ARLINGTON AVE.
RIVERSIDE, CALIFORNIA 92503

DESIGN REVIEW RESUBMITTAL

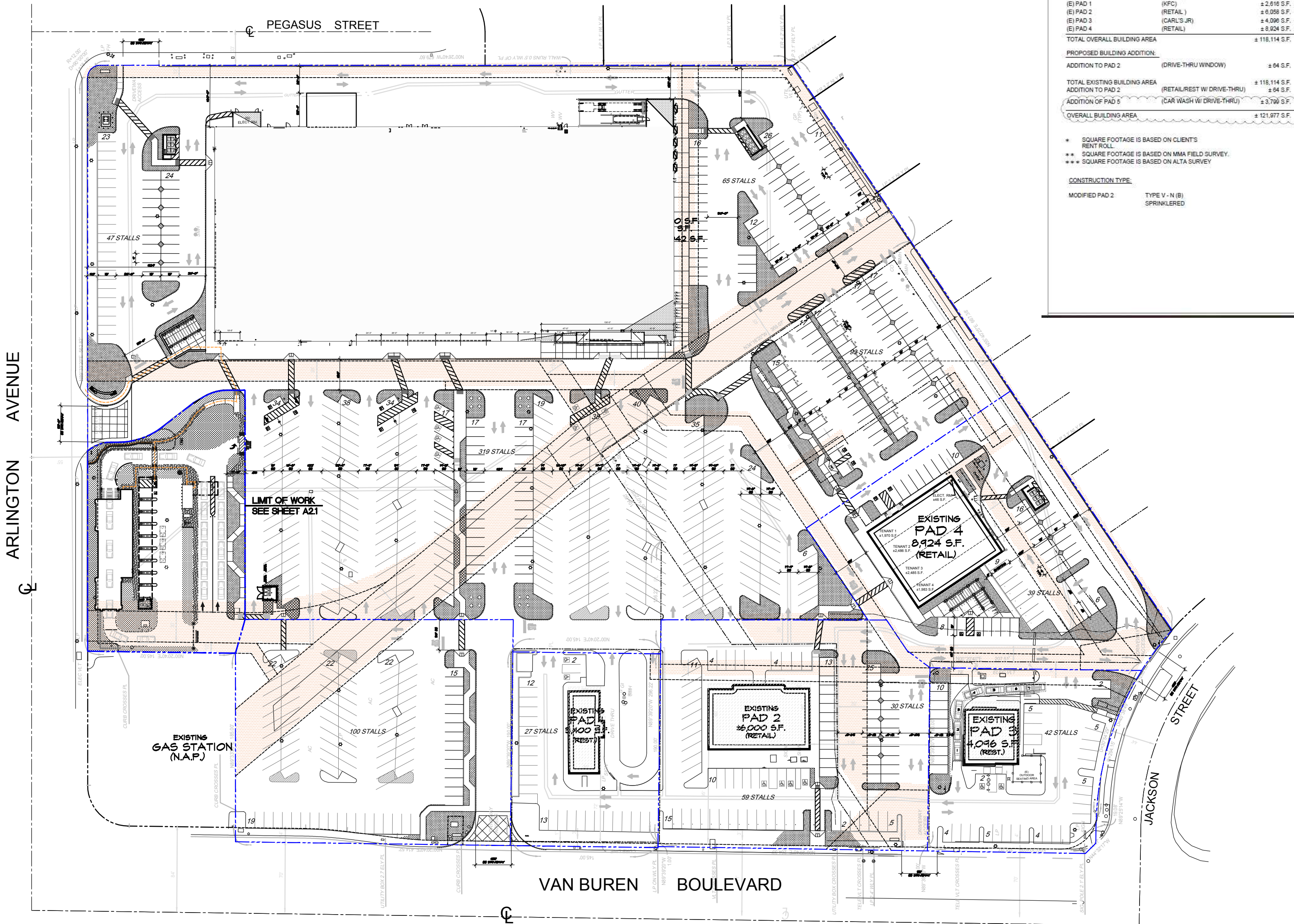
SITE AND BUILDING SUMMARY		PARKING SUMMARY	
EXISTING BUILDING TO REMAIN:		EXISTING PARKING DATA:	
EXISTING MAJOR 1 (RETAIL)	± 18,000 S.F. ±	EXISTING PARKING (INCLUSIVE OF N.A.P.)	886 STALLS
EXISTING MAJOR 2 (GROCERY STORE)	± 44,472 S.F. ±	EXISTING PARKING RATIO:	7.2/1000 S.F.
EXISTING MAJOR 3 (RETAIL)	± 26,042 S.F. ±	PROPOSED PARKING DATA:	
(E) PAD 1 (R/C)	± 2,216 S.F. ±	PARKING REQUIRED:	
(E) PAD 2 (RETAIL)	± 6,588 S.F. ±	(E) MAJOR 1 (RETAIL)	78 STALLS
(E) PAD 3 (CARL'S JR.)	± 4,008 S.F. ±	(E) MAJOR 2 (GROCERY STORE)	198 STALLS
(E) PAD 4 (RETAIL)	± 6,024 S.F. ±	(E) MAJOR 3 (RETAIL)	112 STALLS
TOTAL OVERALL BUILDING AREA	± 118,114 S.F.	(E) PAD 1 (R/C)	26 STALLS
PROPOSED BUILDING ADDITION:		(E) PAD 2 (RETAIL)	44 STALLS
ADDITION TO PAD 2 (DRIVE-THRU WINDOW)	± 84 S.F.	(E) PAD 3 (CARL'S JR.)	41 STALLS
TOTAL EXISTING BUILDING AREA	± 118,114 S.F.	(E) PAD 4 (RETAIL)	38 STALLS
ADDITION TO PAD 2 (RETAIL/REST W/ DRIVE-THRU)	± 146 S.F.	(E) PAD 5 (EXPRESS CAR WASH)	2 STALLS
ADDITION OF PAD 5 (CAR WASH W/ DRIVE-THRU)	± 3,799 S.F.	TOTAL PARKING PROVIDED (INCLUSIVE OF N.A.P.)	535 STALLS
OVERALL BUILDING AREA	± 121,977 S.F.	PARKING PROVIDED:	
± SQUARE FOOTAGE IS BASED ON CLIENTS' REBT ROLL.		TOTAL PARKING PROVIDED (INCLUSIVE OF N.A.P. PHASE I)	706 STALLS
± SQUARE FOOTAGE IS BASED ON MAX FIELD SURVEY.		STANDARD (8'-0" X 18'-0")	± 814 STALLS
± SQUARE FOOTAGE IS BASED ON ALTA SURVEY.		HANDICAP (8'-0" X 18'-0")	± 25 STALLS
CONSTRUCTION TYPE:		PROPOSED PARKING RATIO:	0.6/1000 S.F.
MODIFIED PAD 2	TYPE I - N.B. (SPRINKLERED)	PROPOSED VACUUM CANOPY AREA:	

DRAWING INDEX

NO.	DRAWING TITLE
A1.0	AERIAL SITE PLAN AND COVER SHEET
1 OF 2	PRELIMINARY GRADING
2 OF 2	SECTIONS
1 OF 1	FIRE ACCESS PLAN
1	ALTA COVER PAGE
2	ALTA SURVEY
3	ALTA SURVEY
A2.0	OVERALL SITE PLAN
A2.1	SITE PLAN
A2.2	LANDSCAPE PLAN
A2.3	PHOTOMETRIC
A3.0	FLOOR PLAN
A3.1	ELEVATION FLOOR PLAN
A3.2	ROOF PLAN
A4.0	CAR WASH EXTERIOR ELEVATIONS
A4.1	CAR WASH EXTERIOR ELEVATIONS
A4.2	QUARTERBACK STATION EXTERIOR ELEVATIONS
A4.3	ARCH ELEVATIONS
A4.4	PILASTER ELEVATIONS
A4.5	COLOR ELEVATIONS
A4.6	COLOR ELEVATIONS
A5.0	PAY CANOPY ELEVATIONS
A5.1	VACUUM CANOPY ELEVATIONS
A5.2	VACUUM CANOPY COLOR ELEVATIONS
A6.0	SITE ELEMENTS

PROJECT INFORMATION

EXISTING ZONING:	COMMERCIAL RETAIL
PROPOSED ZONING:	COMMERCIAL RETAIL
APN:	191-020-011 (PORTION OF)
AREA OF WORK:	35,063 S.F. +/-
NEW LANDSCAPE AREA:	6,619 S.F.
ON-SITE LANDSCAPE %:	0.22 %
QUICK QUACK PARKING:	
VACUUM STALL PARKING:	9 STALLS
PARKING STALLS:	SHARED
ADA PARKING:	1 STALL (VACUUM)
TOTAL BUILDING AREA:	3,799 S.F.
TOTAL PROPOSED CANOPY AREA:	1,876 S.F.
TOTAL PROPOSED ENCLOSURE AREA:	107 S.F.
TOTAL COMBINED AREA:	5,782 S.F.
FAR OF AREA OF WORK:	.165 FAR
PROPOSED CARWASH AREA:	3,561 S.F.
STORIES:	1 STORY
HEIGHT:	25'-0"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED QUARTERBACK STATION AREA:	238 S.F.
STORIES:	1 STORY
HEIGHT:	15'-4"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED PAY STATION CANOPY AREA:	318 S.F.
STORIES:	1 STORY
HEIGHT:	9'-9"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED VACUUM CANOPY AREA:	1,558 S.F.
STORIES:	1 STORY
HEIGHT:	9'-9"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	B
SPRINKLERS:	NO
PROPOSED VACUUM ENCLOSURE AREA:	107 S.F.
STORIES:	1 STORY
HEIGHT:	11'-0"
CONSTRUCTION TYPE:	VB
OCCUPANCY:	N/A
SPRINKLERS:	NO



REVISIONS

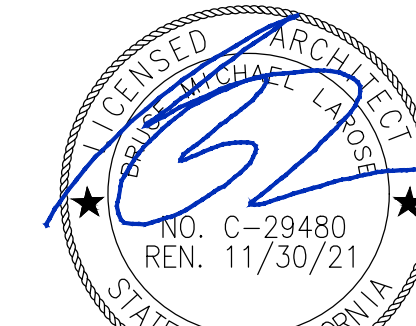
#	DATE	DESCRIPTION
1		
2		
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8		
9		
10		

QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

COVER SHEET
AERIAL SITE PLAN

DATE: MARCH 2021
CRM PROJECT #: 2019

THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN
AS AN INSTRUMENT OF PROFESSIONAL SERVICES IS THE PROPERTY OF
CARISMA POWER MCMULLEN ARCHITECTS AND PLANNERS, INC.
INCORPORATED AND IS NOT TO BE USED IN WHOLE OR IN PART FOR
ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION OF
CARISMA POWER MCMULLEN ARCHITECTS AND PLANNERS, INC.
INCORPORATED



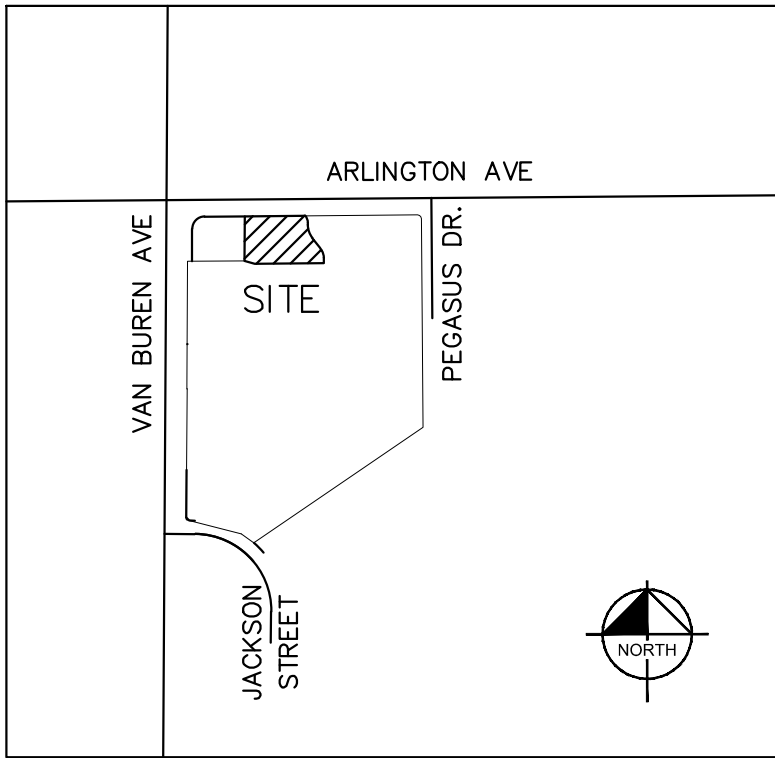
PLANNING DOCUMENTS

ESIMATED EARTHWORK
QUANTITIES

PROJECT SITE TO BE GRADED BY DEVELOPER AND TURNED OVER TO QUICK QUACK 0.1' FROM FINISH GRADE. NO EARTHWORK ANTICIPATED WITH EXCEPTION OF MINOR REMEDIAL TO ENSURE PRECISE GRADING IS PER PLAN.

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA
PRELIMINARY GRADING PLAN
QUICK QUACK 4-212 ARLINGTON AND VAN BUREN

LOCATION MAP



SITE DATA

LEASE PARCEL SIZE: ±35,063 SQ FT (0.80 AC)
LIMITS OF DISTURBANCE: ±30,429 SQ FT (0.70 AC)
PROPOSED IMPVIOUS AREA: ±22,359 SQ FT (0.51 AC)
PROPOSED PERVIOUS AREA: ±8,070 SQ FT (0.19 AC)
PORTION APN: 191-020-011
EXISTING USE: PARKING LOT
PROPOSED USE: CAR WASH

LEGEND

- LEASE LIMIT
- ACCESSIBLE ROUTE
- GRADE BREAK
- LIMIT OF DISTURBANCE
- PROPOSED 12" STORM DRAIN PIPE
- DETECTABLE WARNINGS

PROJECT TEAM

OWNER/DEVELOPER
EFRAIN CORONA
QUICK QUACK CAR WASH
1380 LEAD HILL BLVD #260
ROSEVILLE, CA 95661

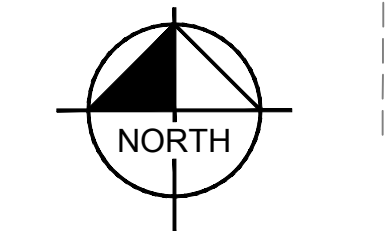
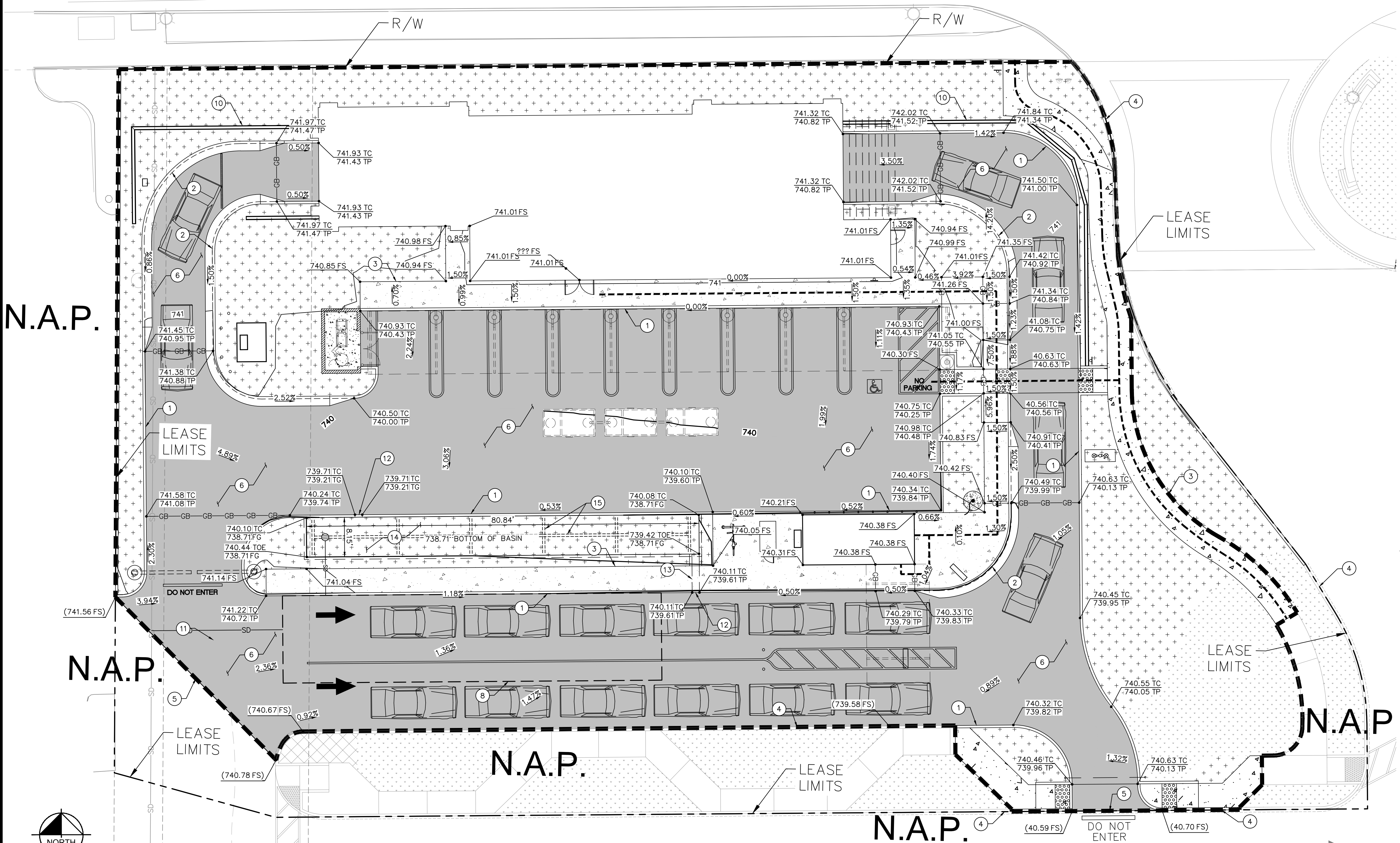
SURVEYOR
JOHN P. GERVAIS, P.L.S.
LG LAND SURVEYING, INC.
30355 CALLEJO FELIZ TER
VALLEY CENTER, CA 92082
(619) 535-1172
(619) 618-1972 FAX
WWW.LGLSINC.COM

ARCHITECT
MARK MCLIVAIN
CRM ARCHITECTS & PLANNERS, INC.
5800 STANFORD RANCH ROAD, #720
ROCKLIN, CA 95765
(916) 451-1500

CIVIL ENGINEER
SHEA-MICHAEL ANTI, PE, LSIT, QSP/QSD
KIMLEY-HORN AND ASSOCIATES, INC.
5880 LEMON STREET, SUITE 420
RIVERSIDE, CA 92501
(951) 335-8272
SHEA.ANTI@KIMLEY-HORN.COM

CONSTRUCTION NOTES

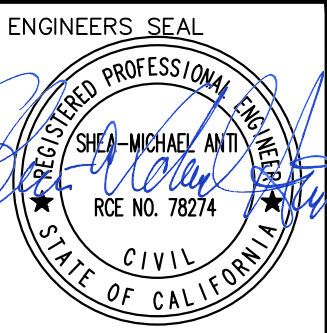
- INSTALL 6" CURB UNLESS NOTED OTHERWISE
- INSTALL 6" ROLLED CURB
- INSTALL SIDEWALK AS SHOWN
- PROTECT-IN-PLACE EXISTING CURB
- INSTALL THICKENED EDGE AT PROPOSED JOIN CONDITIONS. EXISTING ASPHALT TO BE SAWCUT ALONG JOIN LINE.
- INSTALL P.C.C. HEAVY DUTY CONCRETE PAVEMENT
- INSTALL MWS-L-4-6-C MODULAR WETLAND UNIT
- INSTALL 48" CONTECH UNDERGROUND STORAGE PIPES (216 LF)
- INSTALL MWS-L-4-4-V MODULAR WETLAND UNIT
- INSTALL SITE LANDSCAPE WALL PER LANDSCAPE PLANS (±151 LF)
- CONNECT TO EXISTING STORM DRAIN LATERAL
- INSTALL 18" CURB CUT
- INSTALL 18" TRENCH DRAIN WITH CONCRETE SPILLWAY
- INSTALL BIO-RETENTION BASIN
- INSTALL 6" PERFORATED PIPE UNDERDRAIN SYSTEM



GRAPHIC SCALE IN FEET
0 5 10 20
1"=10'
WHEN PRINTED AT FULL SIZE
(24" BY 36")



ENGINEER			REVISIONS		CITY		ENGINEERS SEAL	
MARK	BY	DATE			APPR.	DATE		

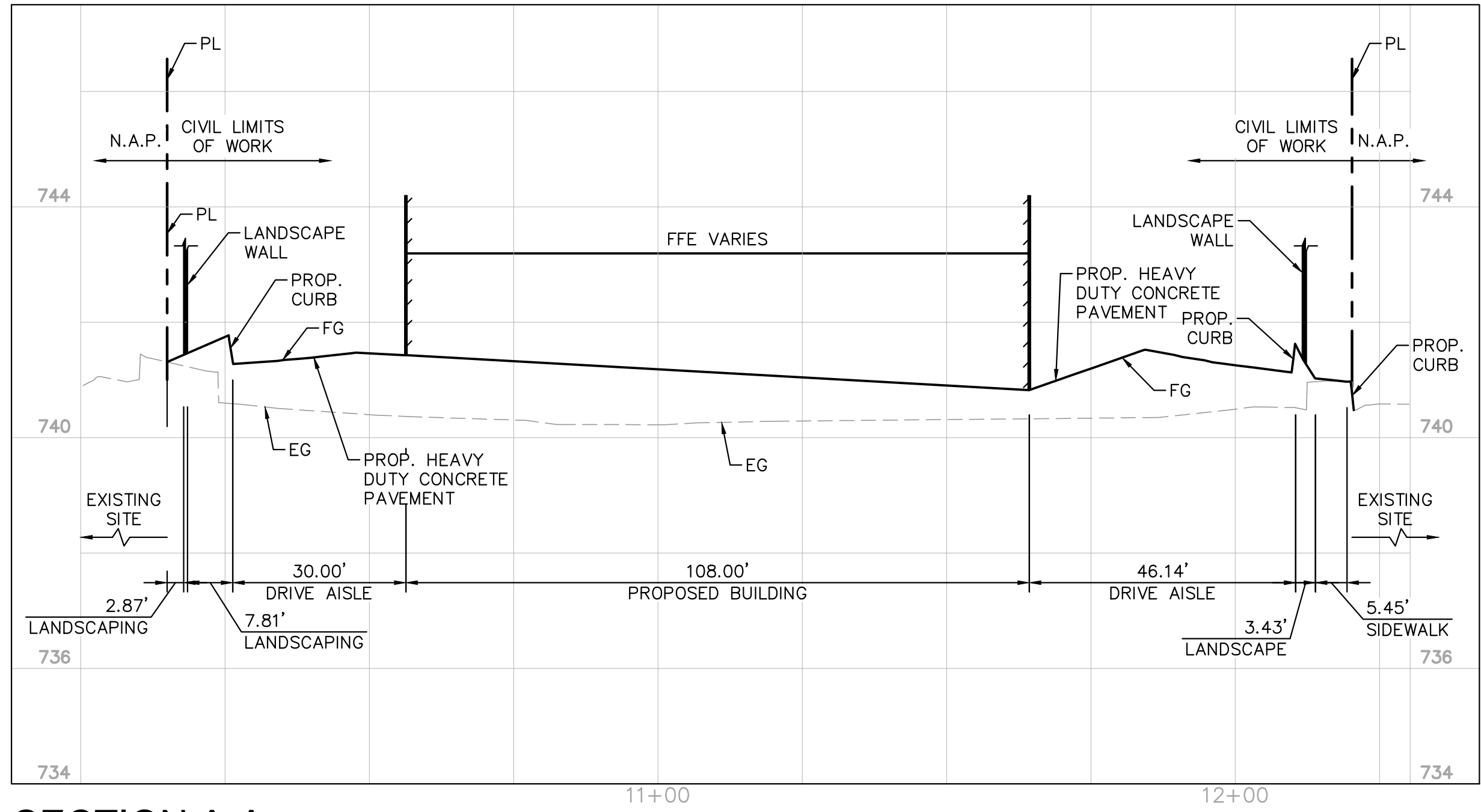


Kimley»Horn
© 2020 KIMLEY-HORN AND ASSOCIATES, INC.
3880 LEMON STREET, SUITE 142B, RIVERSIDE, CA 92501
PHONE: 951-543-9668
PREPARED UNDER THE DIRECT SUPERVISION OF:
SHEA-MICHAEL ANTI, R.C.E. NO. 78274
DATE: 10/8/2021
EXP. 09/30/21

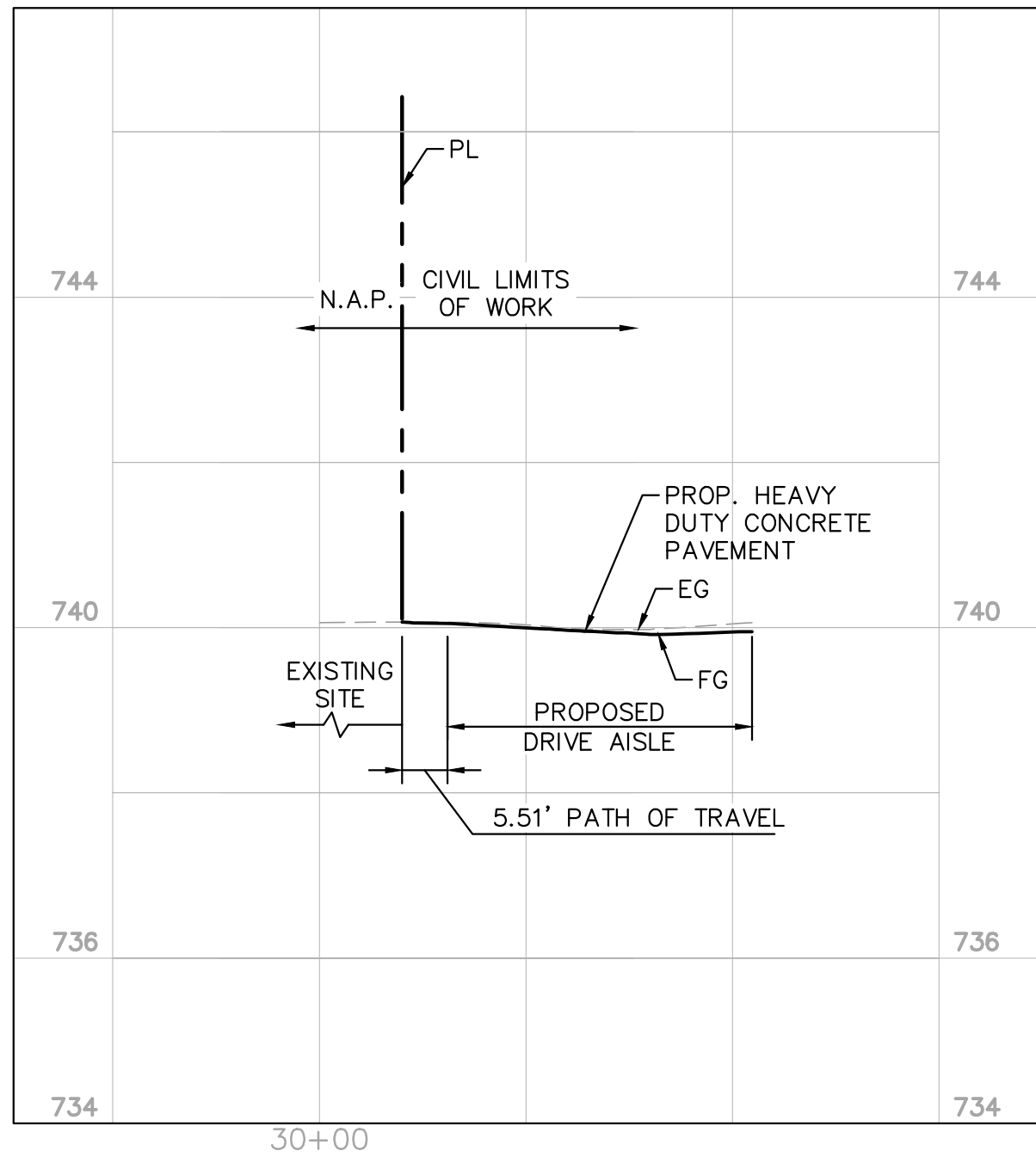
CITY OF RIVERSIDE
DEPARTMENT OF ENGINEERING
APPROVED FOR PERMITTING PURPOSES ONLY:
CITY OF RIVERSIDE
DATE
REVIEWED AND RECOMMENDED BY: DATE

CITY OF RIVERSIDE
PRELIMINARY GRADING PLAN
PLAN CASE #PR-2020-000143
QQ 4-212 ARLINGTON AND VAN BUREN

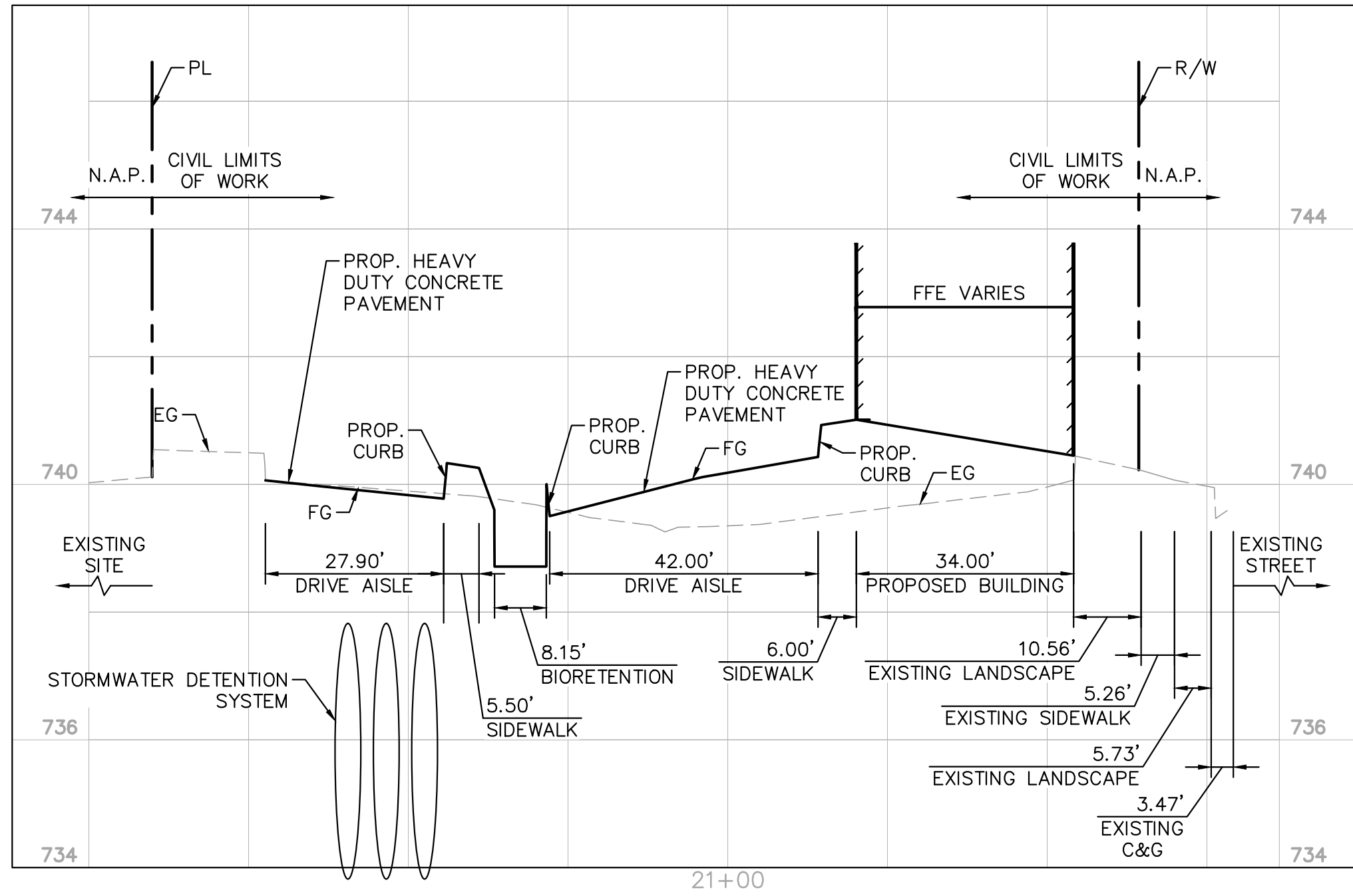
SHEET 1
OF SHEETS 1
CITY FILE NUMBER



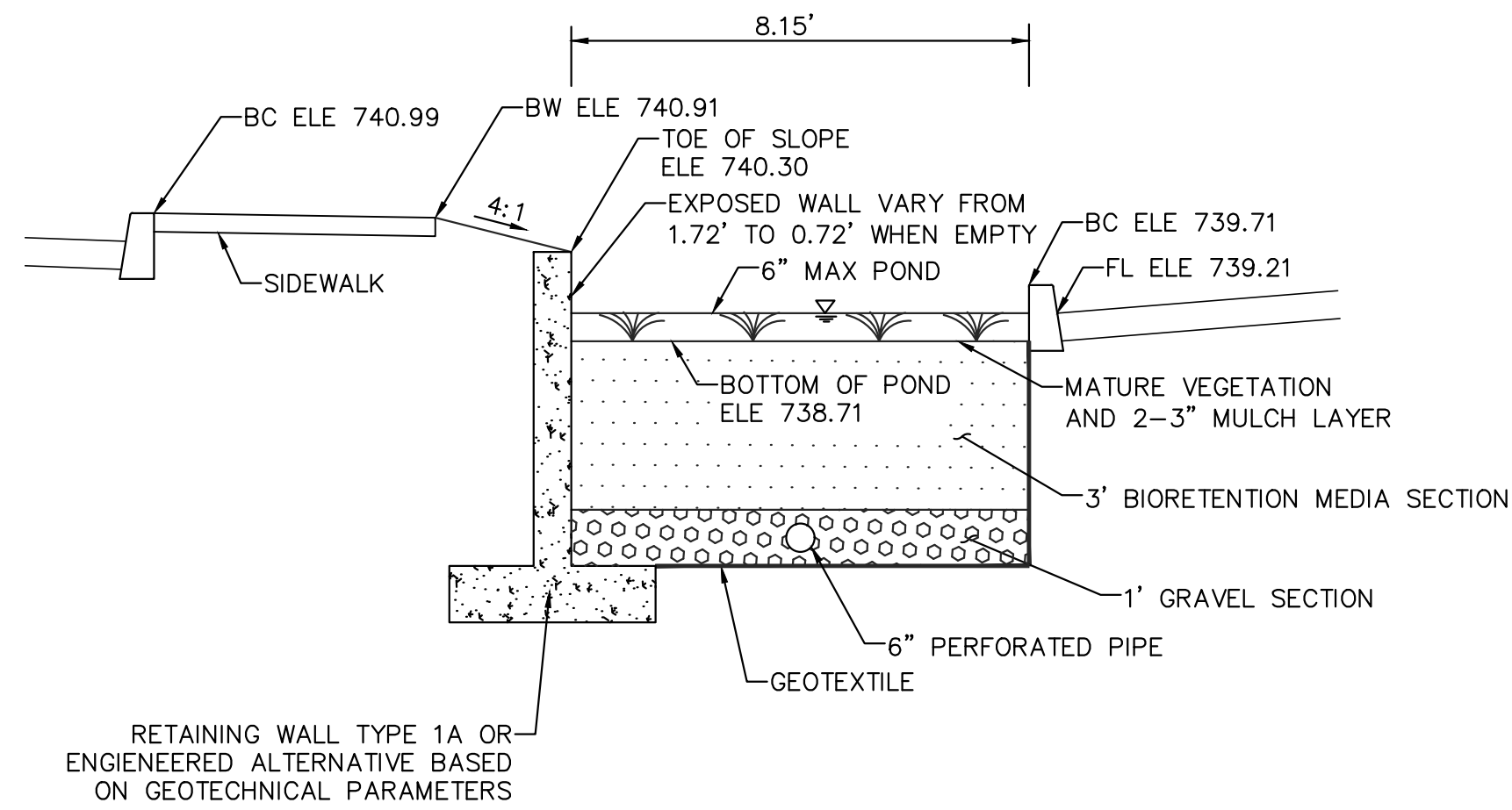
SECTION A-A
HORIZONTAL SCALE 1" = 20"
VERTICAL SCALE 1" = 2'



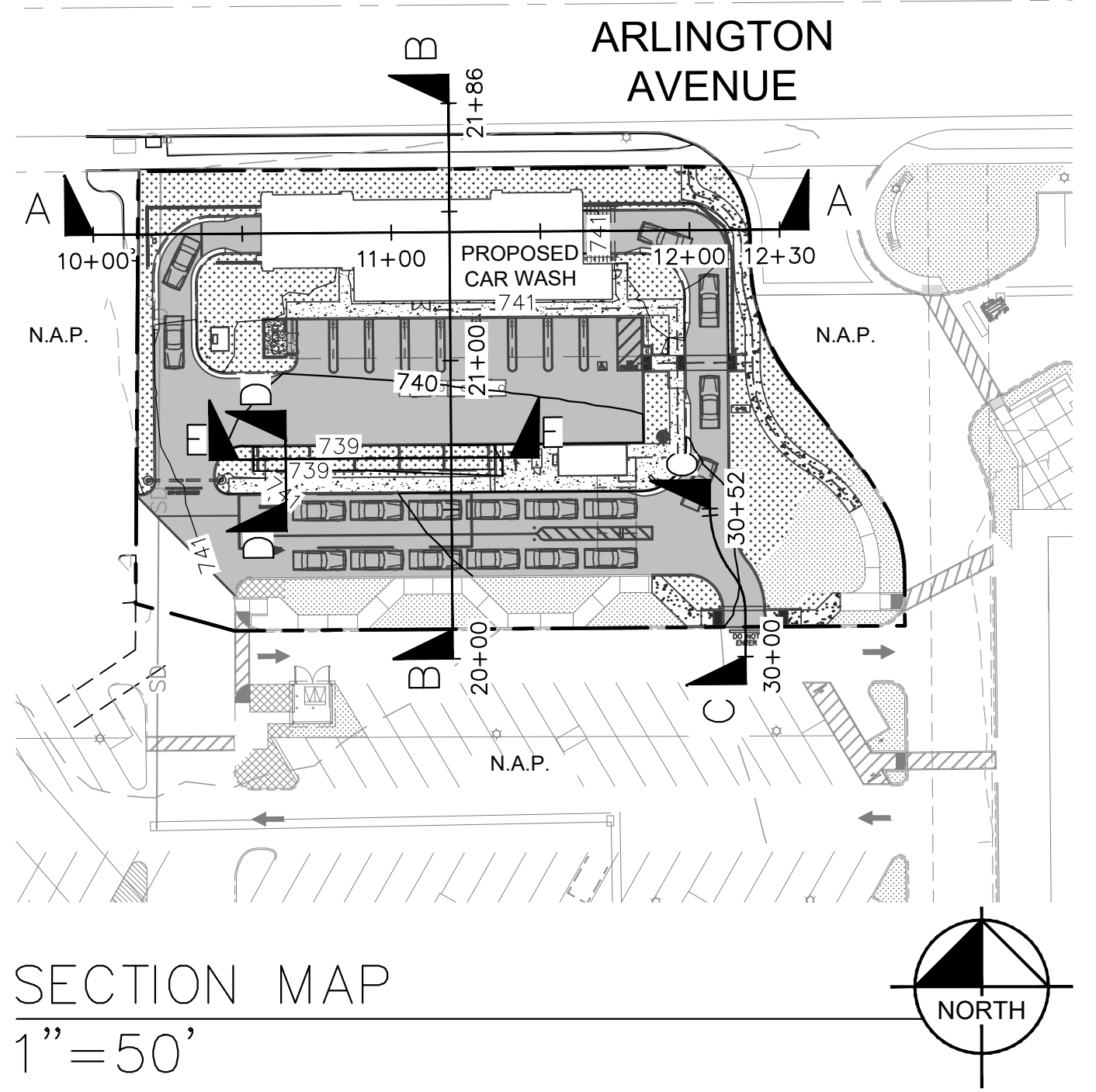
SECTION C-C
HORIZONTAL SCALE 1" = 20"
VERTICAL SCALE 1" = 2'



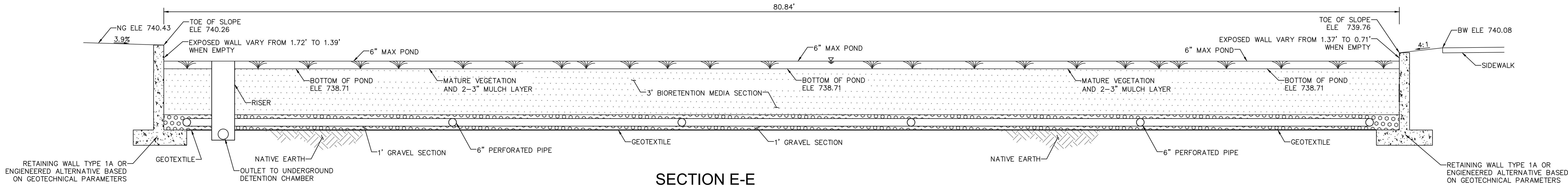
SECTION B-B
HORIZONTAL SCALE 1" = 20"
VERTICAL SCALE 1" = 2'



SECTION D-D
SCALE 1" = 3'



SECTION MAP
1" = 50'



SECTION E-E
SCALE 1" = 3'



ENGINEER	MARK	BY	DATE	REVISIONS	CITY	APPR.	DATE



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3880 LEMON STREET, STE. 420, RIVERSIDE, CA 92501
PHONE: 951-543-8668
PREPARED UNDER THE DIRECT SUPERVISION OF:
SHEA-MICHAEL ANTI, R.C.E., NO. 78274
DATE: 9/22/2021
EXP. 09/30/21

CITY OF RIVERSIDE
DEPARTMENT OF ENGINEERING
APPROVED FOR PERMITTING PURPOSES ONLY:
CITY OF RIVERSIDE
DATE
REVIEWED AND RECOMMENDED BY: DATE

CITY OF RIVERSIDE
PRELIMINARY GRADING PLAN SECTIONS
PLAN CASE #PR-2020-000143
QQ 4-212 ARLINGTON AND VAN BUREN

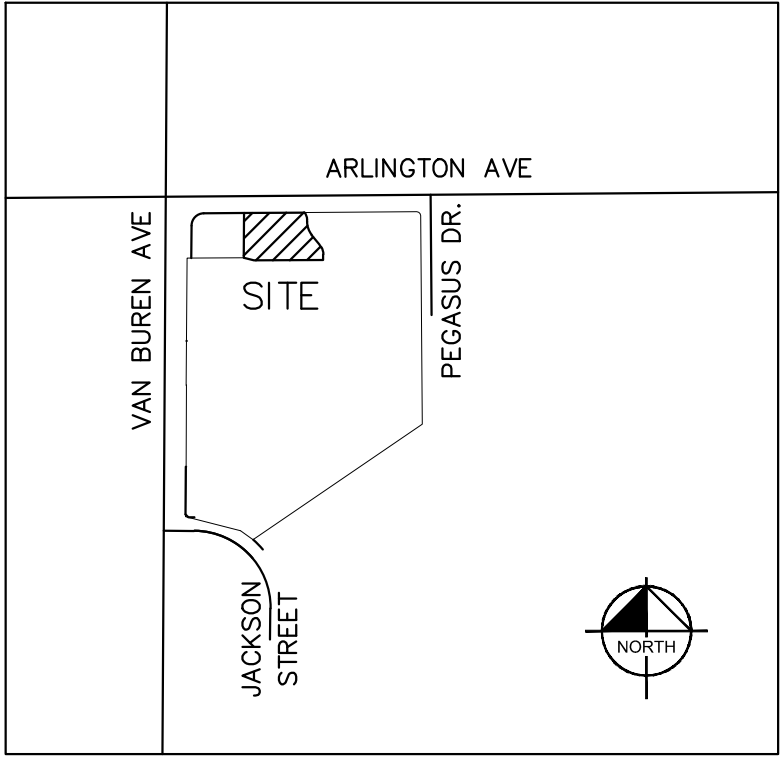
SHEET 1
OF SHEETS 1
CITY FILE NUMBER

IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

FIRE ACCESS PLAN

QUICK QUACK 4-212 ARLINGTON AND VAN BUREN

LOCATION MAP



SITE DATA

LEASE PARCEL SIZE:	±35,063 SQ FT (0.80 AC)
LIMITS OF DISTURBANCE:	±30,429 SQ FT (0.70 AC)
PROPOSED IMPERVIOUS AREA:	±22,359 SQ FT (0.51 AC)
PROPOSED PERVIOUS AREA:	±8,070 SQ FT (0.19 AC)
PORTION APN:	191-020-011
EXISTING USE:	PARKING LOT
PROPOSED USE:	CAR WASH

LEGEND

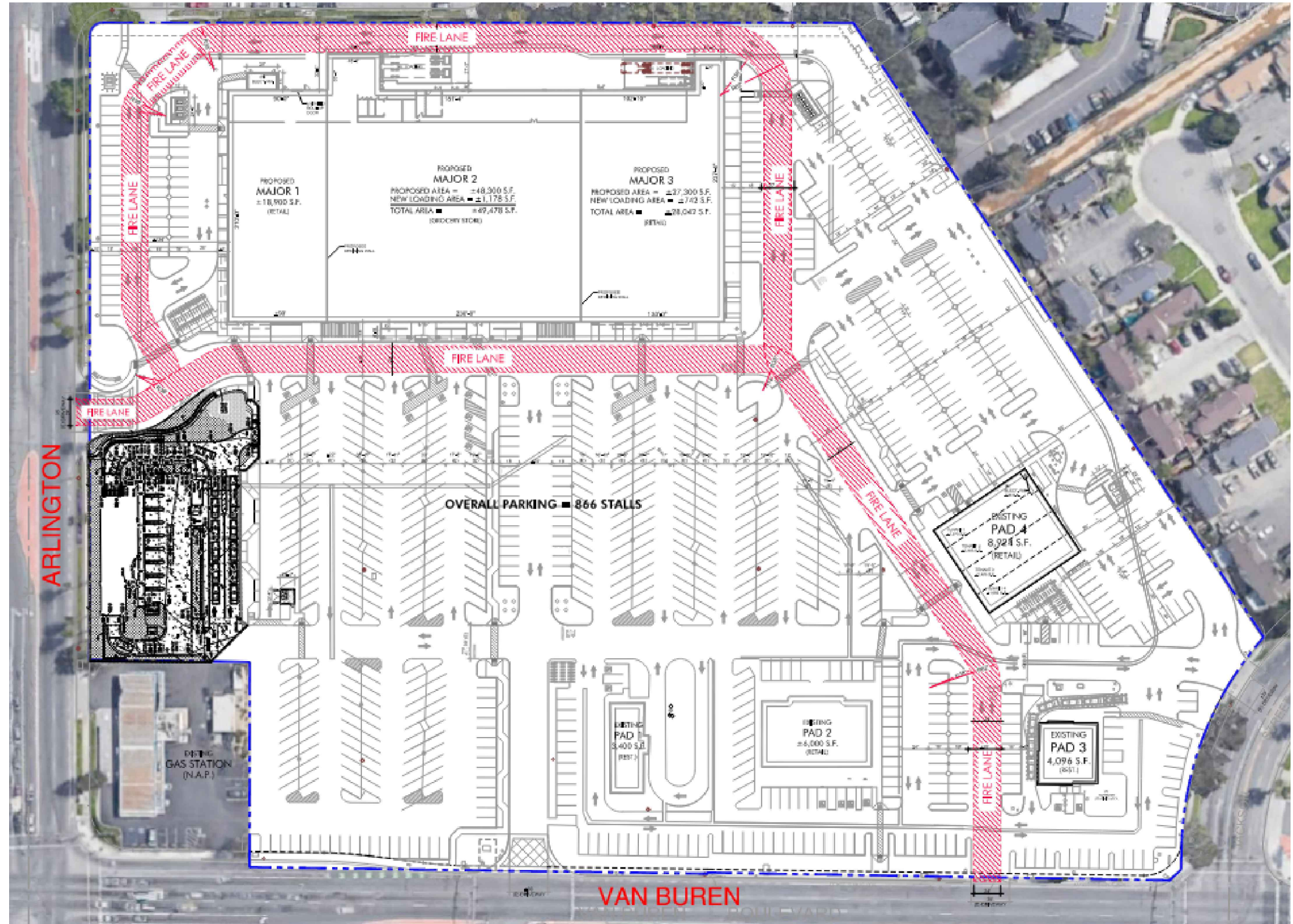
---	LEASE LIMIT
—GB—	GRADE BREAK
---	LIMIT OF DISTURBANCE
—SD—	PROPOSED 12" STORM DRAIN PIPE
---	TRAVELED DISTANCE
■	DETECTABLE WARNINGS

PROJECT TEAM

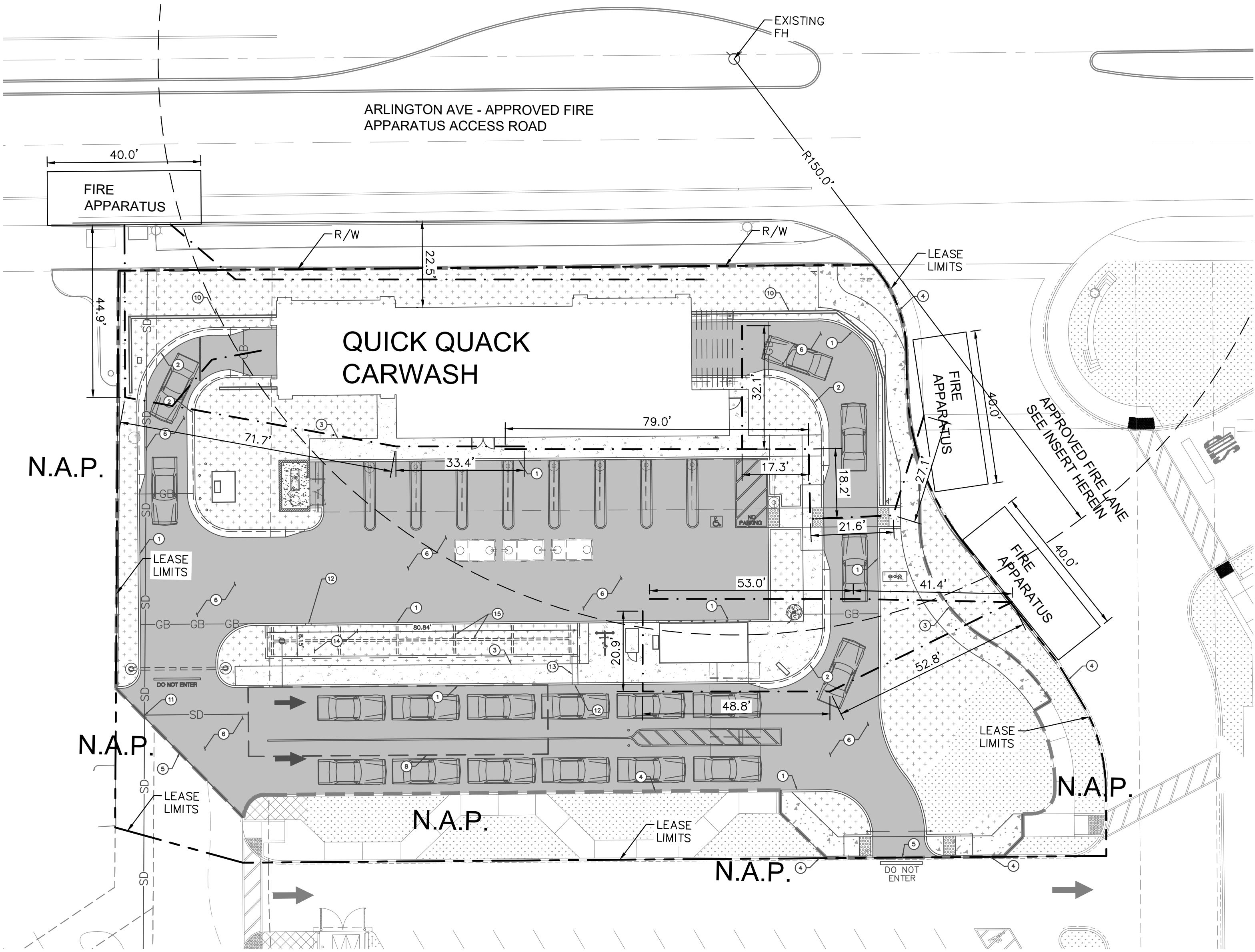
OWNER/DEVELOPER EFRAIN CORONA QUICK QUACK CAR WASH 1380 LEAD HILL BLVD #260 ROSEVILLE, CA 95661	SURVEYOR JOHN P. GERVAIS, P.L.S. LG LAND SURVEYING, INC. 30355 CALLEJO FELIZ TER VALLEY CENTER, CA 92082 (619) 535-1172 (619) 618-1972 FAX WWW.LGLSINC.COM
ARCHITECT MARK MCILVAIN CRM ARCHITECTS & PLANNERS, INC. 5800 STANFORD RANCH ROAD, #720 ROCKLIN, CA 95765 (916) 451-1500	CIVIL ENGINEER SHEA-MICHAEL ANTI, PE, LSIT, QSP/QSD KIMLEY-HORN AND ASSOCIATES, INC. 3880 LEMON STREET, SUITE 420 RIVERSIDE, CA 92501 (951) 335-8272 SHEA.ANTI@KIMLEY-HORN.COM

CONSTRUCTION NOTES

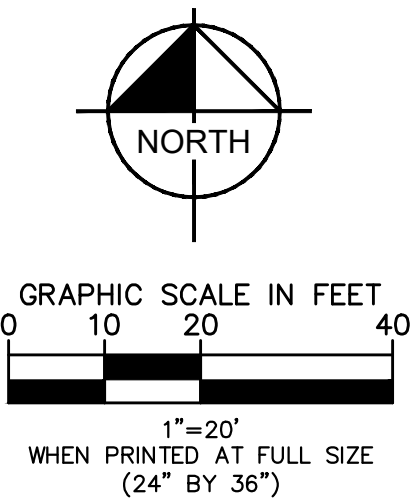
1. INSTALL 6" CURB UNLESS NOTED OTHERWISE
2. INSTALL 6" ROLLED CURB
3. INSTALL SIDEWALK AS SHOWN
4. PROTECT-IN-PLACE EXISTING CURB
5. INSTALL THICKENED EDGE AT PROPOSED JOIN CONDITIONS. EXISTING ASPHALT TO BE SAWCUT ALONG JOIN LINE.
6. INSTALL P.C.C. HEAVY DUTY CONCRETE PAVEMENT
7. INSTALL MWS-L-4-6-C MODULAR WETLAND UNIT
8. INSTALL 48" CONTECH UNDERGROUND STORAGE PIPES (216 LF)
9. INSTALL MWS-L-4-4-V MODULAR WETLAND UNIT
10. INSTALL SITE LANDSCAPE WALL PER LANDSCAPE PLANS (±151 LF)
11. CONNECT TO EXISTING STORM DRAIN LATERAL
12. INSTALL 18" CURB CUT
13. INSTALL 18" TRENCH DRAIN WITH CONCRETE SPILLWAY
14. INSTALL BIO-RETENTION BASIN
15. INSTALL 6" PERFORATED PIPE UNDERDRAIN SYSTEM



FIRE LANE INSERT



FIRE ACCESS PLAN



DIGALERT DIAL BEFORE YOU DIG TWO WORKING DAYS BEFORE YOU DIG TOLL FREE 1-800-227-2600 A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT	ENGINEER MARK BY DATE	REVISIONS	CITY APPR. DATE	ENGINEER'S SEAL SHEA-MICHAEL ANTI REGISTERED PROFESSIONAL CIVIL ENGINEER STATE OF CALIFORNIA NO. 78274 DATE: 10/6/2021	Kimley»Horn © 2020 KIMLEY-HORN AND ASSOCIATES, INC. 3880 LEMON STREET, STE. 420, RIVERSIDE, CA 92501 PHONE: 951-543-8668 PREPARED UNDER THE DIRECT SUPERVISION OF: SHEA-MICHAEL ANTI, R.C.E. NO. 78274 DATE: 10/6/2021 EXP. 09/30/21	CITY OF RIVERSIDE DEPARTMENT OF ENGINEERING APPROVED FOR PERMITTING PURPOSES ONLY: CITY OF RIVERSIDE DATE REVIEWED AND RECOMMENDED BY: DATE	CITY OF RIVERSIDE FIRE ACCESS PLAN PLAN CASE #PR-2020-000143 QQ 4-212 ARLINGTON AND VAN BUREN	SHEET 1 OF SHEETS 1 CITY FILE NUMBER

A.L.T.A. / N.S.P.S. SURVEY

CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF RIVERSIDE AND DESCRIBED AS FOLLOWS:

PARCEL A:

PARCEL 2 OF PARCEL MAP, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE(S) 22, OF PARCEL MAPS, RECORDS OF SAID COUNTY.

EXCEPT THAT PORTION LYING WITHIN PARCEL MAP 21833 AS SHOWN BY MAP ON FILE IN BOOK 145 PAGE(S) 31 AND 32, OF PARCEL MAPS, RECORDS OF SAID COUNTY;

AND ALL OF PARCEL 1 OF PARCEL MAP IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE(S) 22, OF PARCEL MAPS, RECORDS OF SAID COUNTY, AND A PORTION OF PARCEL 1 OF PARCEL MAP 15408 IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 80 PAGE(S) 6 AND 7, OF PARCEL MAPS, RECORDS OF SAID COUNTY, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWESTERLY CORNER OF PARCEL 1 PER SAID PARCEL MAP 15406, SAID POINT ALSO BEING ON THE EASTERLY SIDE LINE OF VAN BUREN BOULEVARD HAVING A 70.00 FOOT HALF WIDTH AS SHOWN ON SAID MAP, SAID POINT ALSO BEING ON THE CENTERLINE OF BIXLER AVENUE, VACATED BY INSTRUMENT NO. 165116, RECORDED DECEMBER 14, 1972 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID PARCEL A AND SAID CENTERLINE, NORTH 55°40'25" EAST 53.15 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING ALONG SAID LINE NORTH 55°40'25" EAST 184.28 FEET;
THENCE SOUTH 00°29'11" EAST 102.62 FEET;
THENCE SOUTH 89°30'49" WEST 153.06 FEET TO THE TRUE POINT OF BEGINNING.

SAID LEGAL DESCRIPTION IS ALSO KNOWN AS "LOT 1" PURSUANT TO CERTIFICATE OF COMPLIANCE RECORDED NOVEMBER 2, 1993 AS INSTRUMENT NO. 437825 OF OFFICIAL RECORDS.

ALSO EXCEPT FROM PARCEL 1, THE WESTERLY 1.00 FOOT AS CONVEYED TO THE CITY OF RIVERSIDE BY GRANT DEED RECORDED OCTOBER 21, 1993 AS INSTRUMENT NO. 415638 OF OFFICIAL RECORDS.

APN: 191-020-011 AND 191-020-013

PARCEL B:

PARCEL 1 OF PARCEL MAP 21833, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 145 PAGE(S) 31 AND 32, OF PARCEL MAPS, RECORDS OF SAID COUNTY.

APN: 191-020-012

PARCEL C:

ALL OF PARCEL 1 OF PARCEL MAP 15406 IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 80 PAGE(S) 6 AND 7, OF PARCEL MAPS, RECORDS OF SAID COUNTY, EXCEPTING THAT PORTION MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWESTERLY CORNER OF SAID PARCEL 1, SAID POINT BEING ON THE EASTERLY SIDE LINE OF VAN BUREN BOULEVARD HAVING A 70.00 FOOT HALF WIDTH AS SHOWN ON SAID MAP, SAID POINT ALSO BEING ON THE CENTERLINE OF BIXLER AVENUE, VACATED BY INSTRUMENT NO. 165116, RECORDED DECEMBER 14, 1972 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA;

THENCE NORTHEASTERLY ALONG THE NORTHWESTERLY LINE OF SAID PARCEL 1 AND SAID CENTERLINE, NORTH 55°40'25" EAST 53.15 FEET TO THE TRUE POINT OF BEGINNING;
THENCE CONTINUING ALONG SAID LINE NORTH 55°40'25" EAST 184.28 FEET;
THENCE SOUTH 00°29'11" EAST 102.62 FEET;
THENCE SOUTH 89°30'49" WEST 153.06 FEET TO THE TRUE POINT OF BEGINNING.

SAID LEGAL DESCRIPTION IS ALSO KNOWN AS "LOT 2" PURSUANT TO A CERTIFICATE OF COMPLIANCE RECORDED NOVEMBER 2, 1993 AS INSTRUMENT NO. 437825 OF OFFICIAL RECORDS.
EXCEPT FROM PARCEL 1, THE WESTERLY 1.00 FOOT AS CONVEYED TO THE CITY OF RIVERSIDE BY GRANT DEED RECORDED OCTOBER 21, 1993 AS INSTRUMENT NO. 415638 OF OFFICIAL RECORDS.

APN: 191-071-017

PARCEL D:

PARCEL 2 OF PARCEL MAP, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 7 PAGE(S) 23, OF PARCEL MAPS, RECORDS OF SAID COUNTY.

EXCEPT THAT PORTION CONVEYED TO THE CITY OF RIVERSIDE BY DEED RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4143 OF OFFICIAL RECORDS.

APN: 191-071-016

PARCEL E:

PARCELS 1 AND 2 OF PARCEL MAP 20000, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS SHOWN BY MAP ON FILE IN BOOK 122 PAGE(S) 73 AND 74, OF PARCEL MAPS, RECORDS OF SAID COUNTY.

APN: 191-071-012 AND 191-071-013

GENERAL NOTES

1. THE LAND AREA OF THE SUBJECT PROPERTY IS 673,996 SQ. FT OR 15.47 ACRES AS DESCRIBED IN THE LEGAL DESCRIPTION.

2. TITLE SEARCH - THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY N CONSULTING ENGINEERS OR KENT COOPER TO DETERMINE OWNERSHIP OF THIS PROPERTY, N CONSULTING ENGINEERS RELIED UPON PRELIMINARY FOR TITLE REPORT NO. 18000110002, DATED JULY 20, 2020 PREPARED BY STEWART TITLE.

3. OCCUPATION LINES, ENCROACHMENTS AND RECOVERED SURVEY MONUMENTS ARE SHOWN AS FOUND DURING A FIELD SURVEY PERFORMED UNDER MY DIRECT SUPERVISION DURING JULY OF 2020.

4. PARCEL AREA SHOWN IS DETERMINED BASED UPON FIELD MEASUREMENTS MADE DURING A FIELD SURVEY PERFORMED IN JULY 2020.

5. VEHICULAR ACCESS PROVIDED ON ARLINGTON AVENUE, PEGASUS STREET, JACKSON STREET AND VAN BUREN BLVD. ALL PUBLIC STREETS.

6. THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS, STREET OR SIDEWALK CONSTRUCTION WITHIN RECENT MONTHS.

7. THERE IS NO VISIBLE EVIDENCE OR PRIOR KNOWLEDGE OF CEMETERIES WITHIN 100 FEET OF THE PROPERTY.

8. THERE IS NO OBSERVABLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL OR WETLANDS.

9. THE OVERALL PARKING WAS NOT COUNTED AS SOME IS EITHER FADED OR NOT STRIPPED

UTILITY NOTE

UTILITIES ON SITE ARE SHOWN PER A FIELD SURVEY PERFORMED UNDER MY DIRECT SUPERVISION DURING JULY 2020. THIS SURVEY DOES NOT CONSTITUTE A COMPLETE "AS-CONSTRUCTED" SURVEY OF ALL UTILITIES. EXISTING UNDERGROUND UTILITY LINES SHOWN ARE FROM RECORD DRAWINGS AND SURFACE EVIDENCE. ALL ABOVE GROUND VISIBLE OR REASONABLY DISCOVERABLE IMPROVEMENTS, WITHIN 5 FEET OF THE PROPERTY LINES, ARE SHOWN HEREON.

FLOOD ZONE

THE PROPERTY LIES WITHIN ZONE "X", OF THE FLOOD INSURANCE RATE MAP 06085C0705G BEARING AN EFFECTIVE DATE OF AUGUST 28, 2008.

TITLE REPORT EXCEPTIONS

EASEMENTS ARE PLOTTED HEREON WITH REFERENCE TO EXCEPTION NUMBER. EXAMPLE: ⑦ = EXCEPTION NUMBER PLOTTED HEREON.

TITLE REPORT 18000110002

1. WATER RIGHTS, CLAIMS OR TITLE TO WATER IN OR UNDER SAID LAND, WHETHER OR NOT SHOWN BY THE PUBLIC RECORDS.

2. MINERALS OF WHATSOEVER KIND, SUBSURFACE AND SURFACE SUBSTANCES, INCLUDING BUT NOT LIMITED TO COAL, LIGNITE, OIL, GAS, URANIUM, CLAY, ROCK, SAND AND GRAVEL IN, ON, UNDER AND THAT MAY BE PRODUCED FROM THE LAND, TOGETHER WITH ALL RIGHTS, PRIVILEGES, AND IMMUNITIES RELATING THERETO, WHETHER OR NOT APPEARING IN THE PUBLIC RECORDS OR LISTED IN SCHEDULE B. THE COMPANY MAKES NO REPRESENTATION AS TO THE PRESENT OWNERSHIP OF ANY SUCH INTERESTS. THERE MAY BE LEASES, GRANTS, EXCEPTIONS OR RESERVATIONS OF INTERESTS THAT ARE NOT LISTED.

3. TITLE TO, AND EASEMENTS IN, ANY PORTION OF THE LAND LYING WITHIN ANY HIGHWAYS, ROADS, STREETS, OR OTHER WAYS.

4. AN EASEMENT FOR WATER PIPES, DITCHES, OTHER CONDUITS, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF RIVERSIDE WATER COMPANY, A CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED AUGUST 14, 1885 IN BOOK 42, PAGE(S) 84-96 OF DEEDS, AFFECTS SAID LAND.
-NOT PLOTTABLE VIA PROVIDED DOCUMENT.

5. AN EASEMENT FOR WATER DITCHES, IRRIGATING, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE RIVERSIDE LAND AND IRRIGATING COMPANY AND THE RIVERSIDE CANAL COMPANY, AS SET FORTH IN A DOCUMENT RECORDED JULY 9, 1898 IN BOOK 71, PAGE(S) 169 OF DEEDS, AFFECTS AS SHOWN THEREIN.
-NOT PLOTTABLE VIA PROVIDED DOCUMENT.

6. AN EASEMENT FOR SEWER, GAS LINE, STORM DRAIN PURPOSES, SEWER PURPOSES, PUBLIC UTILITY FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE CITY OF RIVERSIDE, AS SET FORTH IN A DOCUMENT RECORDED SEPTEMBER 16, 1971 AS INSTRUMENT NO. 104938 AND SEPTEMBER 23, 1971 AS INSTRUMENT NO. 108253, BOTH OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

SAID EASEMENT HAVING BEEN PARTIALLY QUITCLAIMED BY DOCUMENT RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4133 OF OFFICIAL RECORDS.

7. AN EASEMENT FOR DRAINAGE FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED NOVEMBER 8, 1971 AS INSTRUMENT NO. 128023 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

8. AN EASEMENT FOR AERIAL AND UNDERGROUND TELEPHONE, TELEGRAPH AND COMMUNICATION STRUCTURES, GAS PIPELINES, SEWER LINES AND STORM DRAINS, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, AS SET FORTH IN A DOCUMENT RECORDED DECEMBER 14, 1972 AS INSTRUMENT NO. 165116 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

SAID EASEMENT HAVING BEEN PARTIALLY QUITCLAIMED AS TO WATER LINES BY DOCUMENT RECORDED AUGUST 29, 1973 AS INSTRUMENT NO. 113815 OF OFFICIAL RECORDS.

9. INTENTIONALLY DELETED.

10. EASEMENTS FOR ELECTRICAL DISTRIBUTION FACILITIES AS DEDICATED ON THE MAP OF PARCEL MAP NO. 15406 FILED IN BOOK 80 PAGES 6 AND 7 OF PARCEL MAPS AND DELINEATED THEREON AS 12' X 90' P.U.E. AND ON THE MAP OF PARCEL MAP NO. 20000 FILED IN BOOK 122 PAGES 73 AND 74 OF PARCEL MAPS AND DELINEATED THEREON AS 5.01' X 11.18' P.U.E.

11. AN EASEMENT FOR WATER LINE FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4135 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

12. AN EASEMENT FOR PUBLIC UTILITY FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4136 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

13. AN EASEMENT FOR SANITARY SEWER FACILITIES AND STORM DRAIN FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4137 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

14. AN EASEMENT FOR STORM DRAIN FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF THE CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4138 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

15. AN EASEMENT FOR PUBLIC UTILITY FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4144 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

16. AN EASEMENT FOR STORM DRAIN, SEWER, GAS LINE, WATER LINE, UNDERGROUND ELECTRIC AND UNDERGROUND TELEPHONE LINE FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JANUARY 10, 1973 AS INSTRUMENT NO. 4145 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

17. AN EASEMENT FOR WATER LINE FACILITIES TOGETHER WITH ALL NECESSARY APPURTENANCES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED MAY 4, 1973 AS INSTRUMENT NO. 73-58113 AND MAY 4, 1973 AS INSTRUMENT NO. 73-58114, BOTH OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

18. AN EASEMENT FOR RECIPROCAL PARKING, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF SS. KRESGE COMPANY, A MICHIGAN CORPORATION AS SET FORTH IN A DOCUMENT RECORDED MAY 24, 1973 AS INSTRUMENT NO. 67686 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

19. TERMS AND PROVISIONS OF A LEASE EXECUTED BY GEORGE R. SMITH, A MARRIED MAN AS HIS SEPARATE PROPERTY, AS LESSOR, AND CARL KARCHER ENTERPRISES, INC., A CALIFORNIA CORPORATION, AS LESSEE AS DISCLOSED BY AN INSTRUMENT RECORDED MARCH 10, 1977 AS INSTRUMENT NO. 77-39785 OF OFFICIAL RECORDS.

THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.

20. AN EASEMENT FOR INGRESS AND EGRESS, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CARL KARCHER ENTERPRISES, INC., A CALIFORNIA CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED MARCH 10, 1977 AS INSTRUMENT NO. 77-39785 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

21. AN EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF ELECTRICAL DISTRIBUTION FACILITIES, AND RIGHTS INCIDENTAL THERETO, MAP NO. 15406, AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 80, PAGE(S) 6 AND 7, AFFECTS AS SHOWN ON SAID MAP.

22. THE MATTERS CONTAINED IN AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT (PARCEL MAP NO. 15406), DATED FEBRUARY 28, 1980, BY GEORGE R. SMITH, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY, UPON THE TERMS THEREIN PROVIDED RECORDED JULY 11, 1980 AS INSTRUMENT NO. 80-125991 OF OFFICIAL RECORDS.

23. AN EASEMENT FOR ELECTRICAL ENERGY DISTRIBUTION FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 14, 1983 AS INSTRUMENT NO. 213738 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

24. AN EASEMENT FOR WATERLINE FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED JUNE 29, 1984 AS INSTRUMENT NO. 142149 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

25. THE FOLLOWING RECITALS CONTAINED ON SAID MAP NO. 20000 IN BOOK 122, PAGE(S) 73-74 AND PARCEL MAP NO. 21833, POTENTIAL LIQUEFACTION, IN BOOK 145, PAGE(S) 31-32 OF PARCEL MAPS, ALL OR A PORTION OF THE PROPERTY INCLUDED WITHIN THIS MAP HAS BEEN IDENTIFIED BY THE CITY OF RIVERSIDE SEISMIC SAFETY ELEMENT OF THE GENERAL PLAN AS BEING POTENTIALLY SUBJECT TO LIQUEFACTION SHOULD GROUND SHAKING OCCUR. TO LIMIT THE POSSIBILITY OF STRUCTURAL DAMAGE OR FAILURE IN SUCH AN EVENT A GEOLOGIC INVESTIGATION ACCEPTABLE TO THE CITY BUILDING OFFICIAL MAY BE REQUIRED AS A PREREQUISITE TO ISSUANCE OF BUILDING PERMITS.

26. AN EASEMENT FOR CONSTRUCTION AND MAINTENANCE OF ELECTRICAL DISTRIBUTION FACILITIES, AND RIGHTS INCIDENTAL THERETO, AS SET FORTH IN A DOCUMENT RECORDED IN BOOK 122, PAGE(S) 73-74, AFFECTS AS SHOWN ON MAP NO. 20000.

27. THE MATTERS CONTAINED IN AN INSTRUMENT ENTITLED COVENANT AND AGREEMENT AND DECLARATION OF RESTRICTIONS, UPON THE TERMS THEREIN PROVIDED RECORDED JULY 16, 1984 AS INSTRUMENT NO. 153453 OF OFFICIAL RECORDS.

28. TERMS AND PROVISIONS OF A LEASE EXECUTED BY GEORGE R. SMITH AND FLORENCE SMITH, TRUSTEES OF THE SMITH FAMILY TRUST, UNDER DECLARATION OF TRUST DATED FEBRUARY 18, 1982, AS LESSOR, AND K MART CORPORATION, A MICHIGAN CORPORATION, AS LESSEE AS DISCLOSED BY AN INSTRUMENT RECORDED APRIL 24, 1985 AS INSTRUMENT NO. 85-85583 OF OFFICIAL RECORDS.
THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
SAID LEASE WAS SUBORDINATED TO THE DEED OF TRUST REFERRED TO IN EXCEPTION NO. 42 BY AN INSTRUMENT RECORDED OCTOBER 13, 2011 AS INSTRUMENT NO. 11-451087 OF OFFICIAL RECORDS.

TITLE REPORT EXCEPTIONS

29. AN EASEMENT FOR ELECTRICAL ENERGY DISTRIBUTION FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED MARCH 27, 1987 AS INSTRUMENT NO. 84786 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

30. TERMS AND PROVISIONS OF A LEASE EXECUTED BY K MART CORPORATION, A MICHIGAN CORPORATION, AS LESSOR, AND KFC NATIONAL MANAGEMENT COMPANY, A DELAWARE CORPORATION, AS LESSEE AS DISCLOSED BY AN INSTRUMENT RECORDED OCTOBER 5, 1987 AS INSTRUMENT NO. 87-28844 OF OFFICIAL RECORDS.
THE PRESENT OWNERSHIP OF THE LEASEHOLD CREATED BY SAID LEASE AND OTHER MATTERS AFFECTING THE INTEREST OF THE LESSEE ARE NOT SHOWN HEREIN.
THE LESSEE'S INTEREST, UNDER SAID LEASE HAS BEEN ASSIGNED TO GREAT AMERICAN CHICKEN CORP., INC., A CALIFORNIA CORPORATION, BY ASSIGNMENT, RECORDED APRIL 25, 2012 AS INSTRUMENT NO. 12-187411 OF OFFICIAL RECORDS.

31. AN EASEMENT FOR AVIGATION, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 21, 1993 AS INSTRUMENT NO. 415639 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

32. AN EASEMENT FOR WATER LINE FACILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED OCTOBER 21, 1993 AS INSTRUMENT NO. 415640 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

33. THE FACT THAT SAID LAND IS INCLUDED WITHIN A PROJECT AREA OF THE ARLINGTON REDEVELOPMENT PROJECT AMENDMENT NO. 2, AND THAT PROCEEDINGS FOR THE REDEVELOPMENT OF SAID PROJECT HAVE BEEN INSTITUTED UNDER THE REDEVELOPMENT LAW (SUCH REDEVELOPMENT TO PROCEED ONLY AFTER THE ADOPTION OF THE REDEVELOPMENT PLAN) AS DISCLOSED BY A DOCUMENT RECORDED APRIL 16, 1999 AS INSTRUMENT NO. 99-161207 OF OFFICIAL RECORDS.

34. AN EASEMENT FOR PUBLIC UTILITIES, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF PACIFIC BELL TELEPHONE COMPANY, A CALIFORNIA CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED AUGUST 2, 2000 AS INSTRUMENT NO. 00-297485 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

35. A RESOLUTION NO. 21686, OF THE CITY COUNCIL OF THE CITY OF RIVERSIDE, CALIFORNIA, APPROVING THE REPORT, ASSESSING THE COSTS AND ESTABLISHING LIENS AGAINST PARCELS OF REAL PROPERTY IN THE CITY OF RIVERSIDE RELATING TO UNPAID ADMINISTRATIVE CITATIONS PURSUANT TO CHAPTER 1.17 OF THE RIVERSIDE MUNICIPAL CODE, A CERTIFIED COPY OF WHICH WAS RECORDED JULY 29, 2008 AS INSTRUMENT NO. 08-412256 OF OFFICIAL RECORDS.

36. AN EASEMENT FOR PUBLIC STREET AND HIGHWAY PURPOSES, TOGETHER WITH ALL RIGHTS TO CONSTRUCT AND MAINTAIN UTILITIES, SEWERS, DRAINS AND OTHER IMPROVEMENTS CONSISTENT WITH THE USE AS A PUBLIC STREET AND HIGHWAY, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 27, 2009 AS INSTRUMENT NO. 09-205914 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

37. AN EASEMENT FOR PUBLIC STREET AND HIGHWAY PURPOSES, TOGETHER WITH ALL RIGHTS TO CONSTRUCT AND MAINTAIN UTILITIES, SEWERS, DRAINS AND OTHER IMPROVEMENTS CONSISTENT WITH THE USE AS A PUBLIC STREET AND HIGHWAY, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 27, 2009 AS INSTRUMENT NO. 09-205915 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

38. AN EASEMENT FOR PUBLIC STREET AND HIGHWAY PURPOSES, TOGETHER WITH ALL RIGHTS TO CONSTRUCT AND MAINTAIN UTILITIES, SEWERS, DRAINS AND OTHER IMPROVEMENTS CONSISTENT WITH THE USE AS A PUBLIC STREET AND HIGHWAY, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 27, 2009 AS INSTRUMENT NO. 09-205916 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

39. AN EASEMENT FOR PUBLIC STREET AND HIGHWAY PURPOSES, TOGETHER WITH ALL RIGHTS TO CONSTRUCT AND MAINTAIN UTILITIES, SEWERS, DRAINS AND OTHER IMPROVEMENTS CONSISTENT WITH THE USE AS A PUBLIC STREET AND HIGHWAY, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 27, 2009 AS INSTRUMENT NO. 09-205917 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

40. AN EASEMENT FOR PUBLIC STREET AND HIGHWAY PURPOSES, TOGETHER WITH ALL RIGHTS TO CONSTRUCT AND MAINTAIN UTILITIES, SEWERS, DRAINS AND OTHER IMPROVEMENTS CONSISTENT WITH THE USE AS A PUBLIC STREET AND HIGHWAY, AND RIGHTS INCIDENTAL THERETO IN FAVOR OF CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, AS SET FORTH IN A DOCUMENT RECORDED APRIL 27, 2009 AS INSTRUMENT NO. 09-205918 OF OFFICIAL RECORDS, AFFECTS AS SHOWN THEREIN.

41. AN EASEMENT AFFECTING SAID LAND AND FOR THE PURPOSES STATED HEREIN, AND INCIDENTAL PURPOSES, CONDEMNED BY FINAL DECREE IN FAVOR OF CITY OF RIVERSIDE, A CALIFORNIA CHARTER CITY AND MUNICIPAL CORPORATION, FOR SLOPE, PUBLIC STREET AND HIGHWAY AND TEMPORARY CONSTRUCTION EASEMENTS, CASE NO. RIC501654, SUPERIOR COURT OF CALIFORNIA, COUNTY OF RIVERSIDE, A CERTIFIED COPY OF WHICH WAS RECORDED MAY 26, 2011 AS INSTRUMENT NO. 11-232124 OF OFFICIAL RECORDS, WHICH AFFECTS SAID LAND.

42. DEED OF TRUST TO SECURE AN INDEBTEDNESS IN THE AMOUNT SHOWN BELOW, AND ANY OTHER OBLIGATIONS SECURED THEREBY:

AMOUNT : \$3,600,000.00
DATED : OCTOBER 4, 2011
TRUSTOR : 13011 BROOKHURST LIMITED LIABILITY COMPANY,
: A WYOMING LIMITED LIABILITY COMPANY AND
: 6224 VERMONT LIMITED LIABILITY COMPANY,
: A WYOMING LIMITED LIABILITY COMPANY, AS TENANTS IN COMMON
TRUSTEE : STEWART TITLE GUARANTY COMPANY, A TEXAS CORPORATION
BENEFICIARY : SYMETRA LIFE INSURANCE COMPANY, A WASHINGTON CORPORATION
RECORDED : OCTOBER 13, 2011 AS INSTRUMENT NO. 11-451085 OF OFFICIAL RECORDS

43. AN ASSIGNMENT OF RENTS AND LEASES, EXECUTED BY 13011 BROOKHURST LIMITED LIABILITY COMPANY, A WYOMING LIMITED LIABILITY COMPANY AND 6224 VERMONT LIMITED LIABILITY COMPANY, A WYOMING LIMITED LIABILITY COMPANY, AS TENANTS IN COMMON TO SYMETRA LIFE INSURANCE COMPANY, A WASHINGTON CORPORATION, RECORDED OCTOBER 13, 2011 AS INSTRUMENT NO. 11-451086 OF OFFICIAL RECORDS.

44. INTENTIONALLY DELETED.

45. RIGHTS OF PARTIES IN POSSESSION.

46. THIS COMPANY WILL REQUIRE THAT A FULL COPY OF ANY UNRECORDED LEASES TOGETHER WITH ALL SUPPLEMENTS AND AMENDMENTS OR A CERTIFIED RENT ROLL BE FURNISHED TO THE COMPANY, BEFORE ISSUING ANY POLICY OF TITLE INSURANCE. ADDITIONAL EXCEPTIONS MAY BE ADDED TO THIS REPORT FOLLOWING THE REVIEW OF THESE REQUESTED MATERIALS.

47. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS THAT MAY EXIST OR ARISE AS DISCLOSED BY THE ALTA/NSPS SURVEY PREPARED BY N CONSULTING ENGINEERS, DATED JULY 24, 2020:

a. THE FACT THAT A CURB CROSSES OVER THE PROPERTY LINE NEAR THE NORTHWEST CORNER OF PARCEL A.
b. THE FACT THAT AN ELECTRIC VAULT IS LOCATED ON PARCEL A NEAR THE EASTERLY LINE THEREOF.
c. THE FACT THAT TWO SEWER MANHOLES ARE LOCATED ON PARCEL E NEAR THE SOUTHEASTERLY LINE THEREOF.

d. THE FACT THAT THE BUILDING LOCATED ON PARCEL A SHOWN AS 6,264 SQ. FT. ENCROACHES ONTO THE EASEMENTS SHOWN IN EXCEPTION NOS. 8 AND 10.

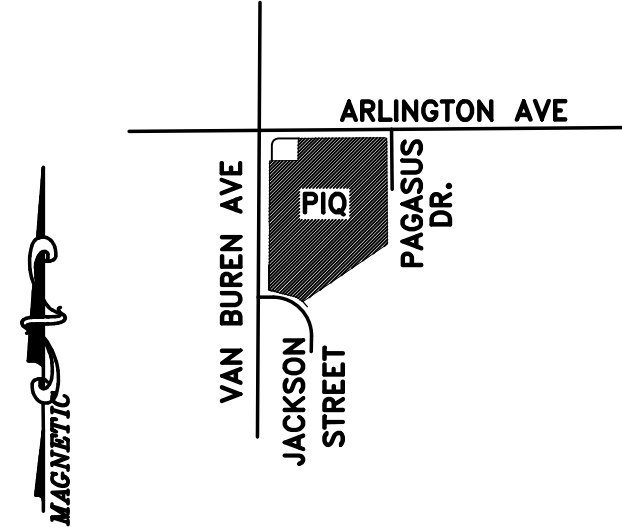
48. ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH WOULD BE DISCLOSED BY AN INSPECTION OF THE LAND.

ZONING AND SETBACKS

PROPERTY IS ZONED CR - COMMERCIAL RETAIL - NO ZONING REPORT WAS PROVIDED.

MINIMUM STREET SIDE SET BACK: NONE
MINIMUM INTERIOR SIDE SETBACK: NONE
MINIMUM REAR SETBACK: NONE
MAXIMUM BUILDING HEIGHT: NONE

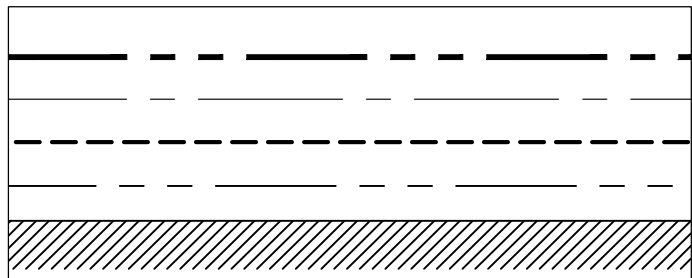
● - INDICATES FOUND MONUMENT AS NOTED



VICINITY MAP

N.T.S.

LEGEND



SMH - SEWER MANHOLE
GI - GREASE INTERCEPTOR
FH - FIRE HYDRANT
TE - TRASH ENCLOSURE
CONC - CONCRETE
WM - WATER METER
WV - WATER VALVE
DI - DRAIN INLET
BO - WATER BLOW OFF
LP - LIGHTPOLE
FDC - FIRE DEPARTMENT CONNECTION
DW - DRIVEWAY
VLT - VAULT
PB - PULLBOX
TELE - TELEPHONE
SCO - SEWER CLEANOUT
ELEC - ELECTRICAL
AC - ASPHALT CONCRETE
GP - GUARD POST
TYP - TYPICAL
PL - PROPERTY LINE

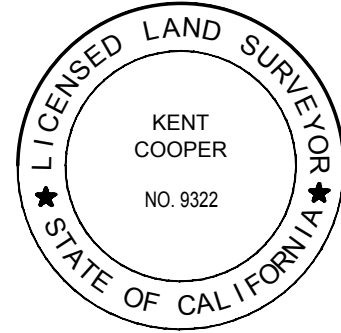
SURVEYORS CERTIFICATE

TO 13011 BROOKHURST LIMITED LIABILITY COMPANY, A WYOMING LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 78% INTEREST, AND 6224 VERMONT LIMITED LIABILITY COMPANY, A WYOMING LIMITED LIABILITY COMPANY, AS TO AN UNDIVIDED 22% INTEREST, AS TENANTS IN COMMON, STEWART TITLE, AND THEIR RESPECTIVE SUCCESSORS AND ASSIGNS:

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS: 3-5, 6(A), 8, 10(A), 11, 14, AND 16-18, IF AND AS APPLICABLE OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JULY 14, 2020

DATE OF MAP: 8/07/20

Kent Cooper
KENT COOPER LS 9322



SURVEYOR'S NOTES

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF ARLINGTON AVE BEING N89°39'204E AS SHOWN ON PARCEL MAP BOOK 7 PAGES 22 IN RIVERSIDE COUNTY.

N CONSULTING ENGINEERS
4 Park Plaza, Suite 1700
Irvine, CA 92614
PHONE: 949.306.1101
www.nconsulting.com

PROJECT ADDRESS:
7200 Arlington Avenue, Riverside, CA 92504

CLIENT:
19011 Brookhurst

DATE: 8

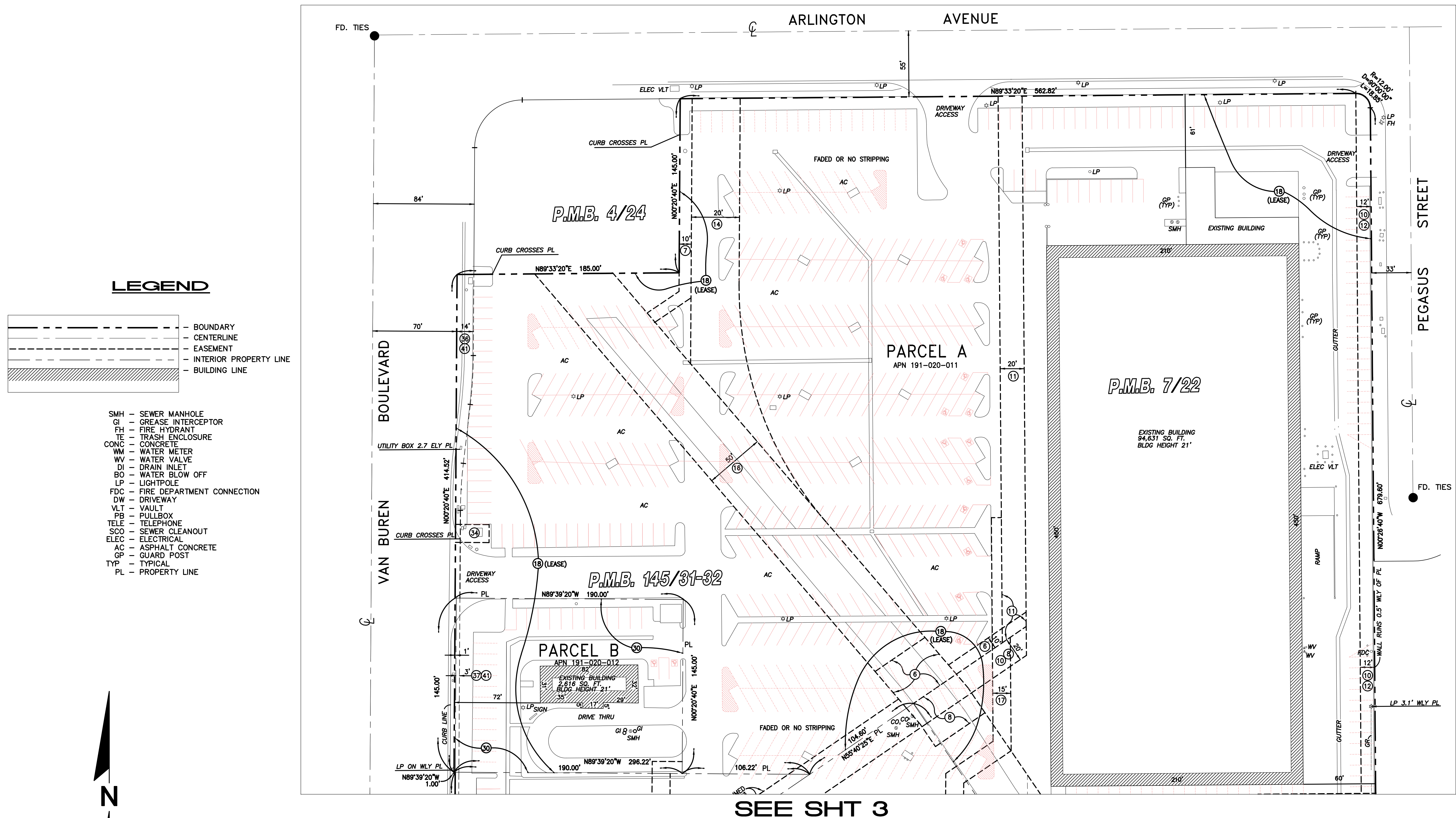
SYN:
APN(s): 191-071-012, Riverside, CA 92504
191-071-013, Riverside, CA 92504

TITLE:
ORDER NO. 18000110002
STEWART TITLE

DRAWN: GW
CHECKED: KES
SCALE AT D: NONE
REV: 1 OF 3

A.L.T.A. / N.S.P.S. SURVEY

CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA



SEE SHT 3

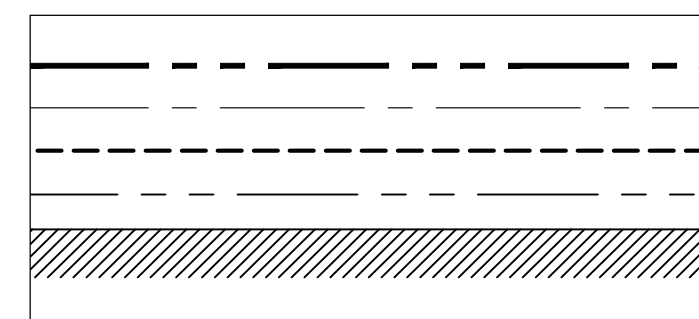
N CONSULTING ENGINEERS 4 Park Plaza, Suite 1700 Irvine, CA 92614 PHONE: 949.206.1101 www.nconsulting.com	PROJECT ADDRESS: 7200 Arlington Avenue, Riverside, CA 92504		SITE: APN(s): 191-071-012, Riverside, CA 92503 191-071-013, Riverside, CA 92503	
	CLIENT: 19011 Brookhurst		TITLE: ORDER NO. 18000110002 STEWART TITLE	
3	DRAWN: GW		SCALE AT D: NONE	
	CHECKED: KES		REV: COUNTH 2 OF 3	

A.L.T.A. / N.S.P.S. SURVEY

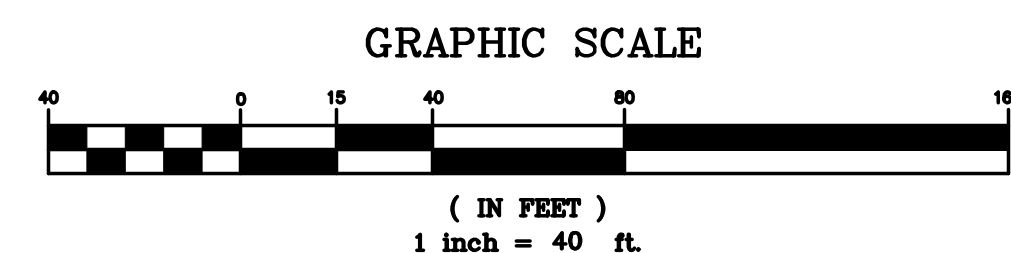
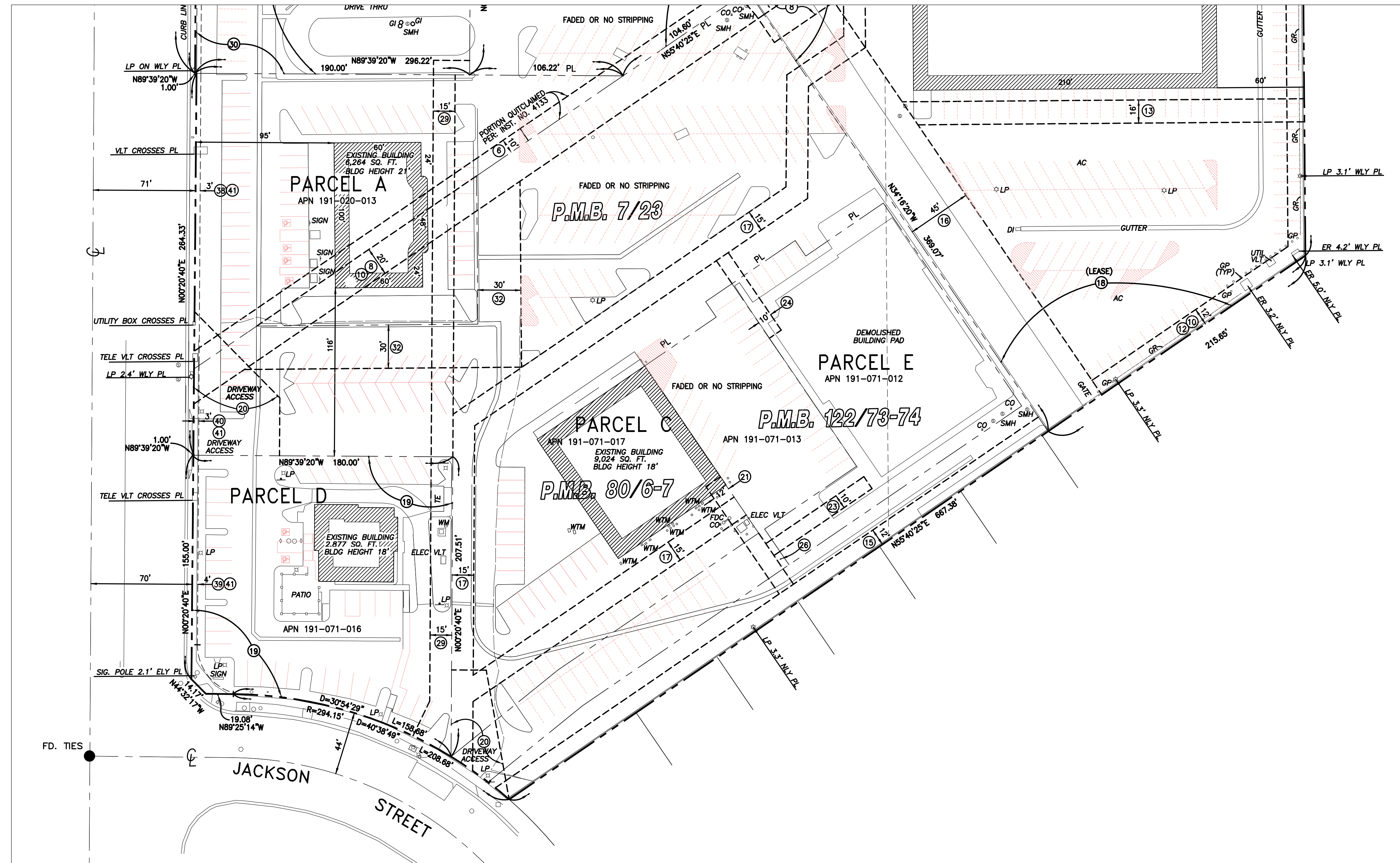
CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA

SEE SHT 2

LEGEND



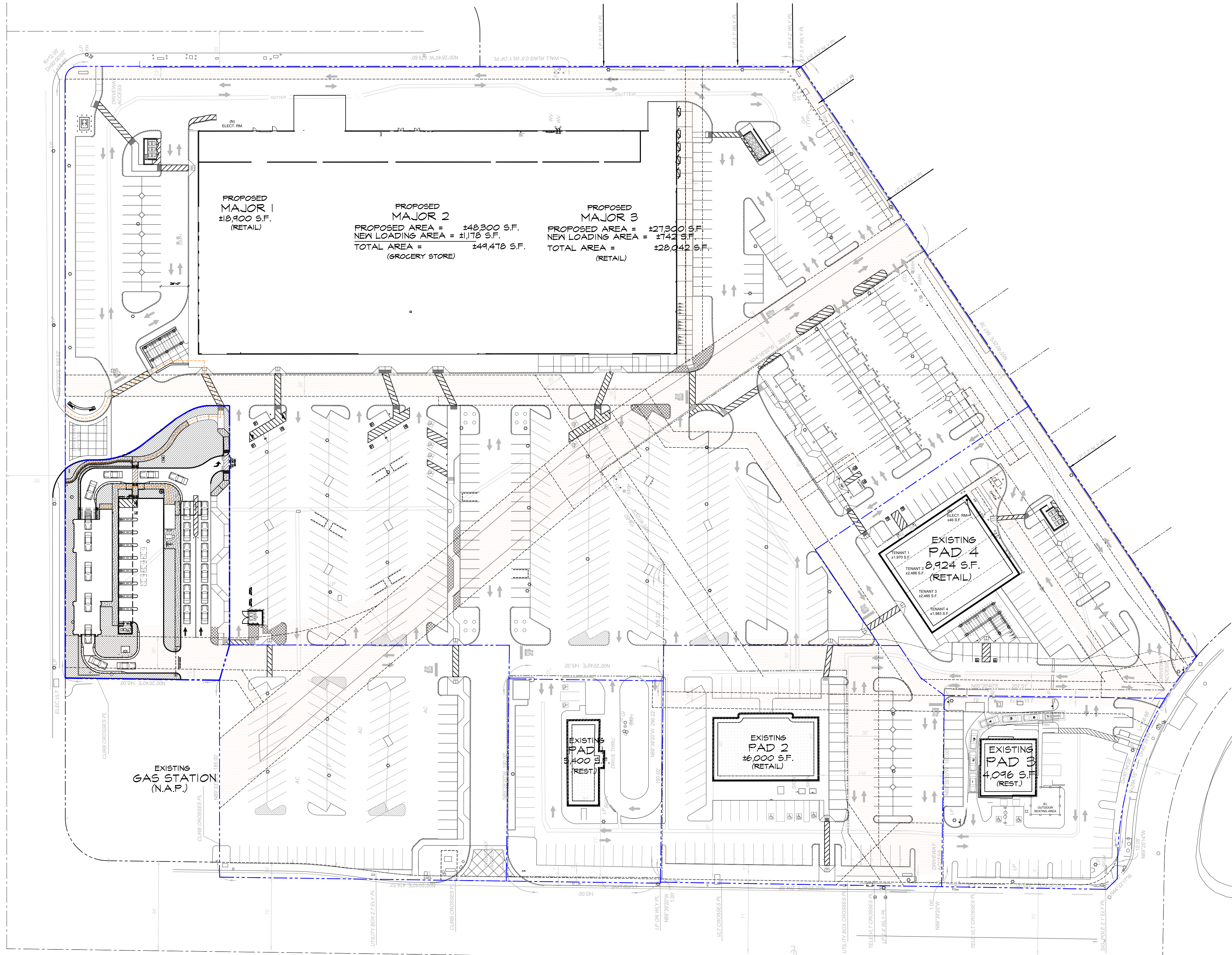
- SMH - SEWER MANHOLE
- GI - GREASE INTERCEPTOR
- FH - FIRE HYDRANT
- TE - TRASH ENCLOSURE
- CONC - CONCRETE
- WM - WATER METER
- WV - WATER VALVE
- DI - DRAIN INLET
- BO - WATER BLOW OFF
- LP - LIGHTPOLE
- FDC - FIRE DEPARTMENT CONNECTION
- DW - DRIVEWAY
- VLT - VAULT
- PB - PULLBOX
- TELE - TELEPHONE
- SCO - SEWER CLEANOUT
- ELEC - ELECTRICAL
- AC - ASPHALT CONCRETE
- GP - GUARD POST
- TYP - TYPICAL
- PL - PROPERTY LINE



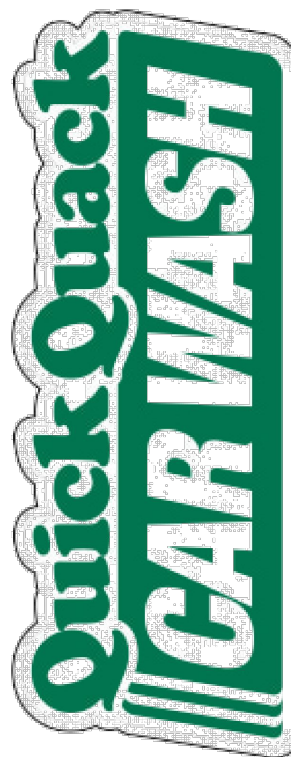
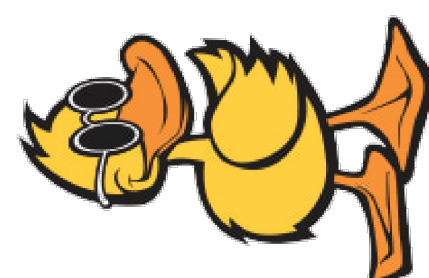
N CONSULTING
ENGINEERS
4 Park Plaza, Suite 1700
Irvine, CA 92614
PHONE: 949.306.1101
www.nconsulting.com

PROJECT ADDRESS:
7200 Arlington Avenue, Riverside, CA 92504
CLIENT:
19011 Brookhurst
SHEET:
3

SITE:
APN(s): 191-071-012, Riverside, CA 92503
191-071-013, Riverside, CA 92503
TITLE:
ORDER NO. 18000110002
STEWART TITLE
DRAWN:
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NONE
REV:
COUNT: 3 OF 3



OVERALL SITE PLAN
SCALE: 1" = 40'



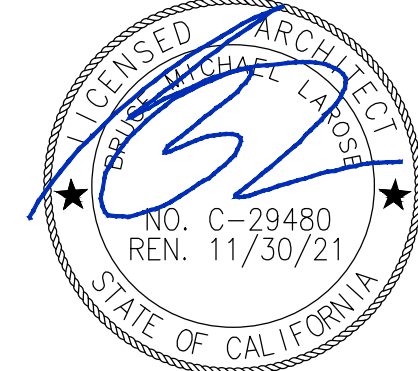
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

OVERALL
SITE PLAN

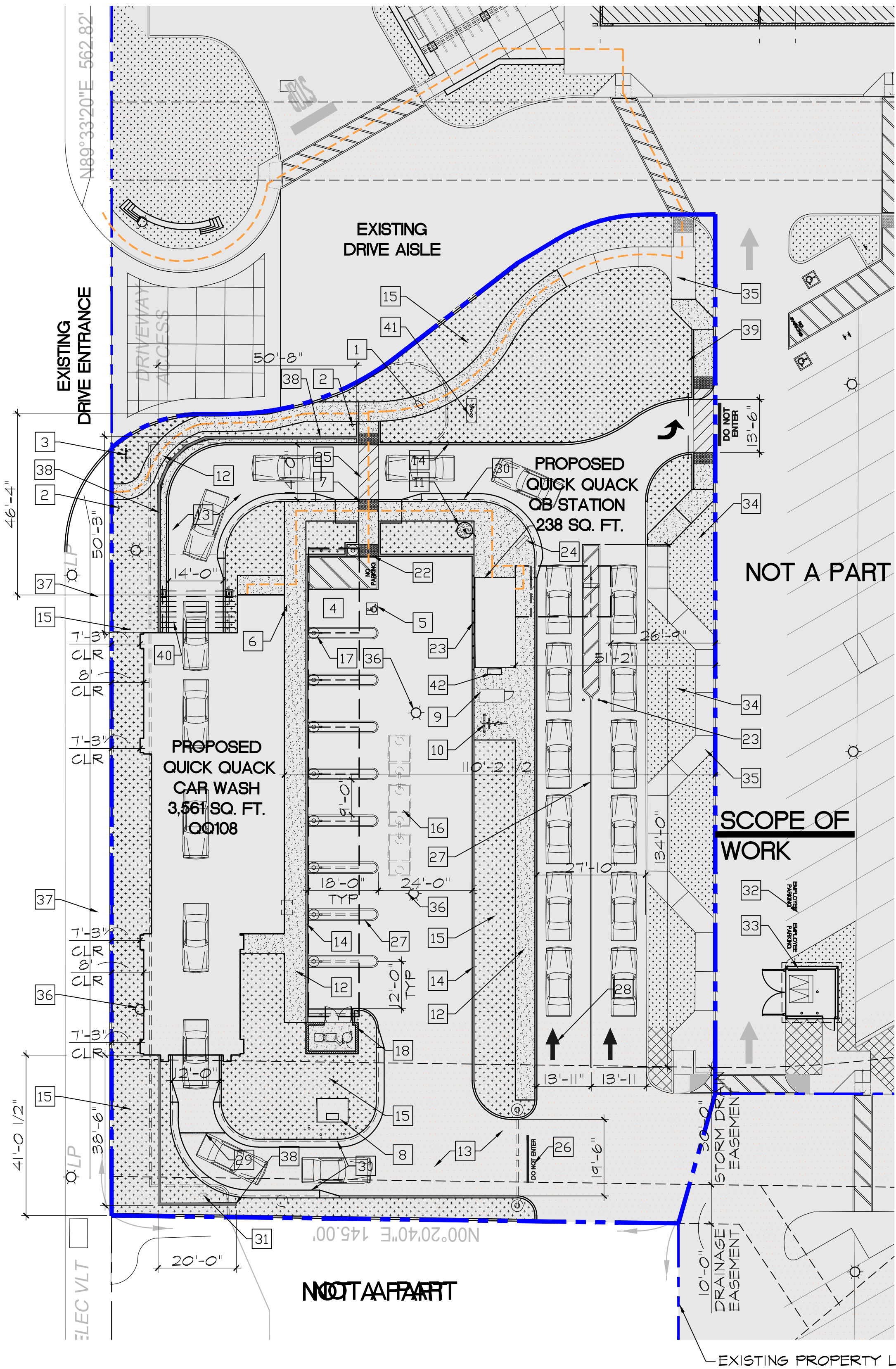
DATE: MARCH 2021
CRM PROJECT #: 2019

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PLANNING DOCUMENTS

ARLINGTON AVENUE



1 PROPOSED SITE PLAN
SCALE: 1" = 20'

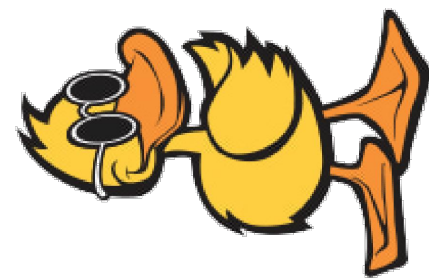
KEYNOTES

- 1 ADA PATH OF TRAVEL SHOWN DASHED.
- 2 NEW POLE MOUNTED INTERNATIONAL SYMBOL OF ACCESSIBILITY AT ACCESSIBLE PATH OF TRAVEL. (TYP. 2 PLACES)
- 3 NEW TOW AWAY ACCESSIBILITY PARKING SIGN AT ENTRANCE
- 4 NEW VAN ACCESSIBLE PARKING STALL - PAINT ACCESSIBLE LOADING ZONE WITH 4" WIDE STRIPING WITH TWO COATS OF HIGHWAY BLUE PAVEMENT MARKING PAINT. PAINT THE WORDS "NO PARKING" IN 12" HIGH LETTERS WITHIN THE LOADING ZONE.
- 5 NEW INTERNATIONAL SYMBOL AT PARKING STALL
- 6 NEW ACCESSIBLE PARKING SIGN
- 7 NEW TRUNCATED DOMES (TYPICAL 4 PLACES)
- 8 NEW ELECTRICAL TRANSFORMER. VERIFY EXACT LOCATION WITH ELECTRIC COMPANY
- 9 NEW LONG TERM BIKE LOCKER
- 10 NEW BICYCLE RACK
- 11 30 FOOT FLAG POLE. STYLE: "MEMORIAL" UNCOMMON USA, INC. INSTALL PER MANUFACTURER'S INSTALLATION GUIDELINES.
- 12 NEW CONCRETE WALK, MEDIUM BROOM FINISH PERPENDICULAR TO TO PATH OF TRAVEL. SLOPE NOT TO EXCEED 5% IN DIRECTION OF TRAVEL. CROSS SLOPE NOT TO EXCEED 2%. PER SOILS REPORT
- 13 NEW CONCRETE DRIVE SLAB WITH WITH #4 BARS AT MID SLAB 24" O.C. EACH WAY. HEAVY BROOM FINISH PERPENDICULAR TO TRAFFIC - PER SOILS REPORT
- 14 NEW 6" CONCRETE CURB (TYPICAL)
- 15 NEW LANDSCAPING - SEE LANDSCAPE DRAWINGS
- 16 NEW UNDERGROUND GREASE INTERCEPTOR - SEE CIVIL DRAWINGS
- 17 NEW TRASH RECEPTACLES (TYPICAL 10 PLACES)
- 18 NEW VACUUM ENCLOSURE. SEE DRAWING A6.0
- 19 NEW 13'-0" X 24'-5" PAY CANOPY - SEE DRAWING A5.0
- 20 NEW 13'-0" X 131'-10" WEST VACUUM CANOPY - SEE DRAWING A5.1
- 21 NOT USED
- 22 NEW FLUSH SURFACE AT TRANSITION (TYPICAL)
- 23 NEW 4" CONCRETE FILLED PIPE BOLLARD (TYPICAL 13 PLACES) PROVIDE 2 AND STACKING LANES, 2 AT ENTRANCE OF CAR WASH AND 9 AT QB STATION
- 24 NEW DISPLAY/PRICE SIGN - REFERENCE ONLY (UNDER SEPARATE PERMIT) (TYPICAL 2 PLACES)
- 25 NEW HIGHWAY PAINT WHITE 4" WIDE @ 3'-0" O.C. PEDESTRIAN STRIPING (TYPICAL 2 PLACES)
- 26 NEW HIGHWAY PAINT YELLOW 18" "DO NOT ENTER"
- 27 NEW HIGHWAY PAINT YELLOW 4" STRIPING
- 28 NEW HIGHWAY PAINT YELLOW PAVEMENT MARKINGS (TYPICAL)
- 29 NEW TRENCH DRAIN
- 30 NEW ROLLED CURB (TYPICAL)
- 31 NEW "EXIT" SIGN - REFERENCE ONLY UNDER SEPARATE PERMIT
- 32 EMPLOYEE PARKING - (TYPICAL 2 PLACES)
- 33 NEW TRASH ENCLOSURE - BY OTHERS
- 34 NEW OFF SITE LANDSCAPING - BY OTHERS
- 35 NEW CONCRETE WALK - BY OTHERS
- 36 EXISTING SITE LIGHT TO BE REMOVED - TYPICAL 3 PLACES
- 37 EXISTING PUBLIC CONCRETE SIDEWALK, CURB AND GUTTER TO REMAIN
- 38 3'-0" SCREEN WALL WITH VERTICAL TRELLIS SCREENING ABOVE SEE LANDSCAPE PLANS
- 39 2 - 4" PIPE BOLLARD AND CHAIN AT EXIT ONLY
- 40 METAL TRELLIS ABOVE ENTRANCE
- 41 FIRE SERVICE CHECK VALVE - SEE CIVIL DRAWINGS
- 42 HVAC UNIT

SITE NUMBER:	4-212
BUILDING:	QQ-108
SITE AREA:	29,746 S.F. (AREA OF WORK)
STACKING LANES:	2 LANES
STACKING WIDTH:	27'-10"
VACUUM STALLS:	10 - 12'-0" x 18'-0"
VACUUM PRODUCER:	1 40 HP
ADA PARKING:	1 - 10'-0" x 18'-0" (VACUUM)
PARKING STALLS:	SHARED PARKING
BUILDING AREA:	3,561 S.F. + 238 S.F. = 3,799 S.F.
BUILDING SPRINKLED:	NO
QB STATION ATTACHED:	YES
BUILDING LENGTH:	108'-0"
SHOWROOM LENGTH:	106'-8"
CONVEYOR TRENCH LENGTH:	106'-8"
CONVEYOR LENGTH:	105'-10"
CONVEYOR TYPE:	REAR WHEEL PUSH
SIGNATURE:	
APPROVAL DATE:	



VICINITY MAP



REVISIONS

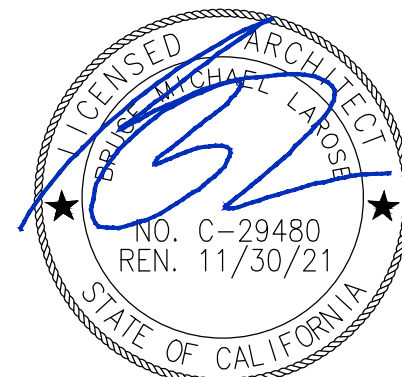
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

SITE PLAN

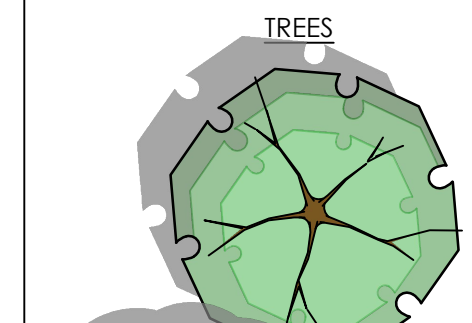


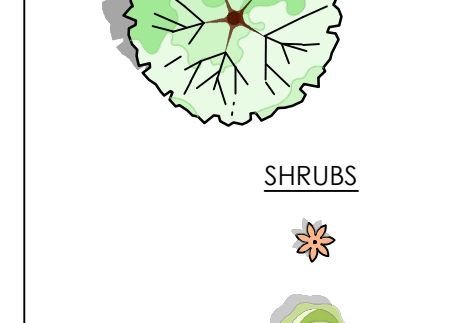








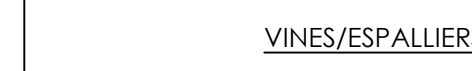

DATE: MARCH 2021
CRM PROJECT #: 2019

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PLANNING DOCUMENTS

PLANT SCHEDULE

TREES	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	3	Parkinsonia x 'Desert Museum' / Desert Museum Palo Verde	24" box	Low	Varies
	1	Ulmus parvifolia 'True Green' / True Green Lacebark Elm	24" box	Moderate	Varies
	3	Washingtonia robusta / Mexican Fan Palm	15' BT	Low	Varies
	9	x Chitalpa tashkentensis / Chitalpa	24" box	Low	Varies
SHRUBS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	101	Anigozanthos x 'Tequila Sunrise' / Tequila Sunrise Kangaroo Paw	5 gal.	Low	Per Plan
	10	Caesalpinia gilliesii / Yellow Bird of Paradise	5 gal.	Low	6'
	53	Callistemon viminalis 'Little John' / Little John Weeping Bottlebrush	5 gal.	Low	3'
	101	Hesperaloe parviflora 'Yellow' / Yellow Yucca	5 gal.	Low	Per Plan
	32	Lantana montevidensis 'White Lightnin' / White Trailing Lantana	1 gal.	Low	Per Plan
	100	Leucophyllum langmaniae 'Rio Bravo' TM / Rio Bravo Langman's Sage	5 gal.	Low	4'
	39	Phormium x 'Dark Delight' / Dark Delight Purple Flax	5 gal.	Low	Per Plan
VINES/ESPALLIERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	24	Clematis armandii 'Apple Blossom' / Evergreen Clematis Train to Green-Screen trellis. Spacing to be no less than 8' O.C.	5 gal.	Moderate	6'
	3	Macfadyena unguis-cat / Yellow Trumpet Vine	5 gal.	Low	Per Plan
GROUND COVERS	QTY	BOTANICAL / COMMON NAME	CONT	WUCOLS	SPACING
	178	Senecio mandraliscae 'Blue Chalk Sticks' / Senecio	4" pot	Low	36" o.c.

Water Efficient Landscape Worksheet

HYDROZONE/PLANTING DESCRIPTION	PLANT FACTOR (PF)	IRRIG. METHOD	IRRIG. EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (Sq. Ft.)	ETAF x AREA	ESTIMATED TOTAL WATER USE (ETWU)
REGULAR LANDSCAPE AREA							
LOW WATER USE PLANTS	.3	DRIP	.81	.37	9,583	3,546	123,997 GAL.
MODERATE WATER USE PLANTS	.5	DRIP	.81	.62	230	143	5000 GAL.
TOTALS					(A) 9,813	(B) 3,689	

ETWU Total 128,997 GAL.
Maximum Applied Water Allowance (MAWA). $MAWA = \frac{[ETa]}{(56.4)} \frac{[Conversion\ factor]}{(.62)} \frac{[(ETAF)(Landscape\ Area)]}{(.45 \times 9,813)} + \frac{[(1-ETAF) \times SLA]}{[1-.45] \times 0} = 154,413 \text{ GALLONS}$

Estimated Total Water Use (ETWU). $ETWU = \frac{[ETa]}{(56.4)} \frac{[Conversion\ factor]}{(.62)} \frac{[(ETAF)(Area)]}{(3,689)} = 128,997 \text{ GALLONS}$

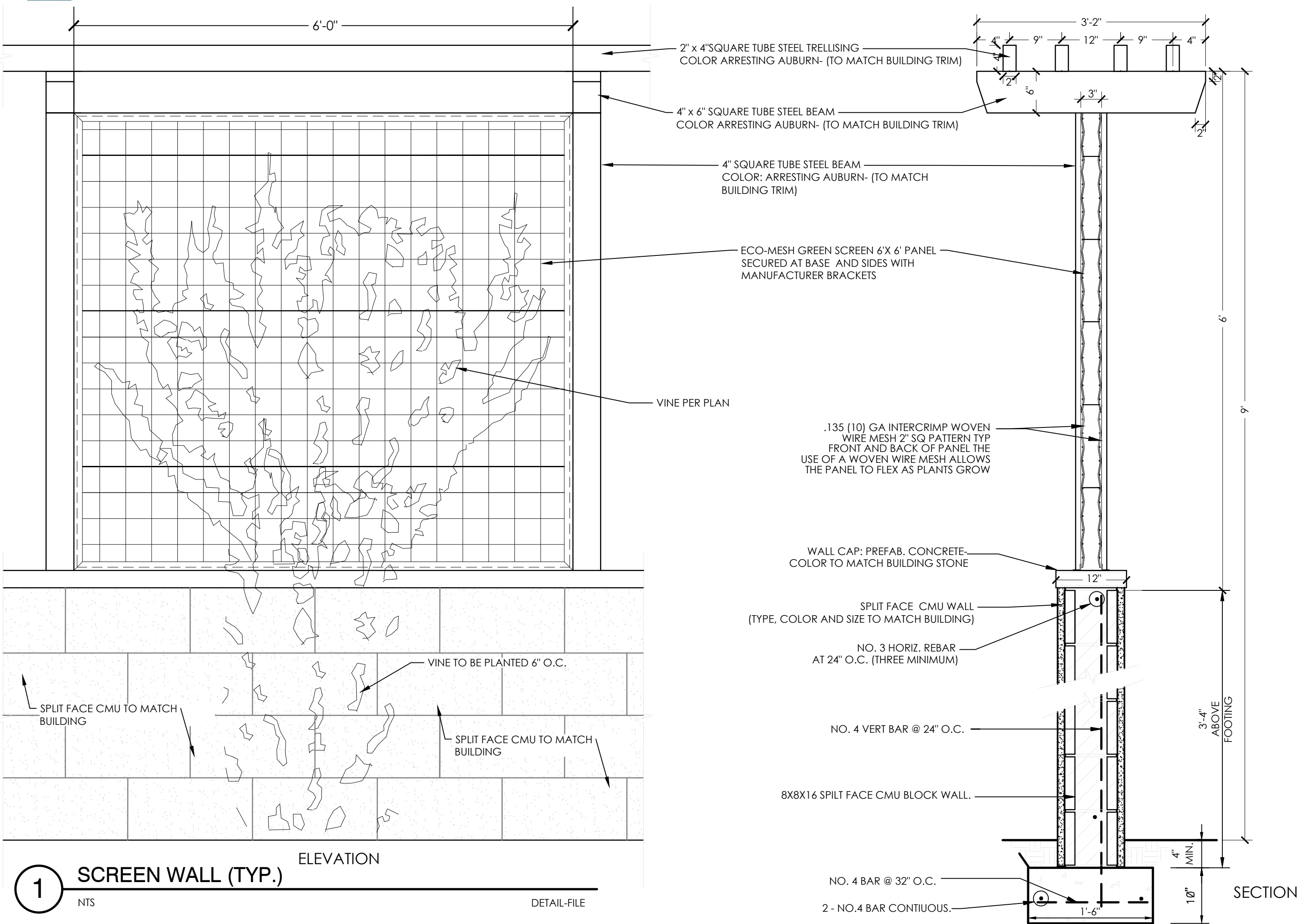
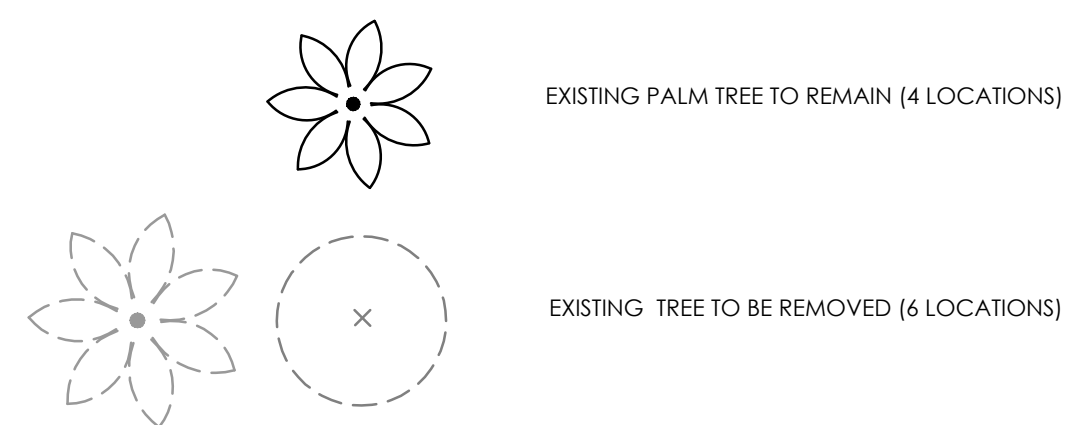
ETAF Calculations

Regular Landscape Areas

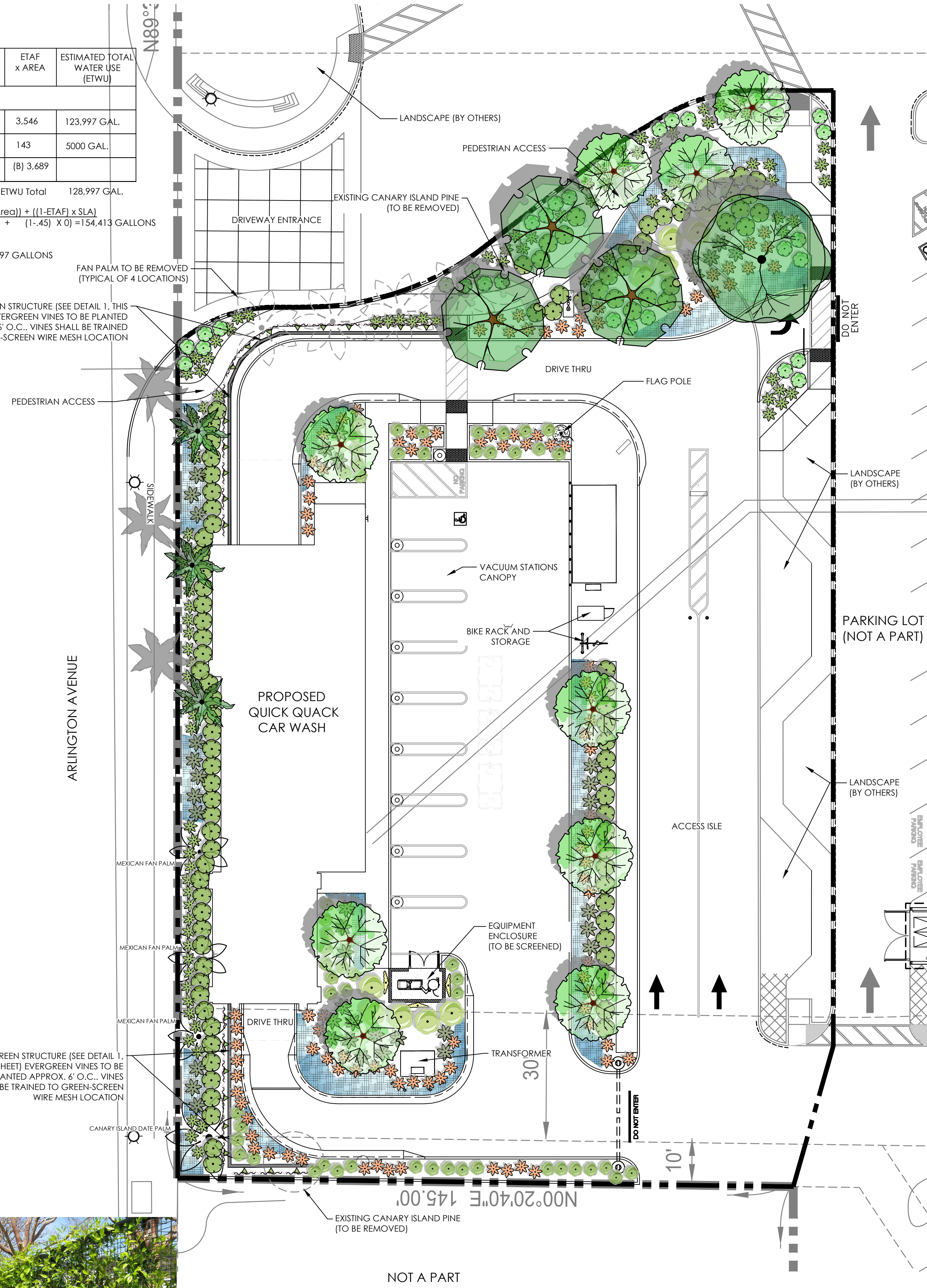
Total ETAF x Area	(B) 3,689
Total Area	(A) 9,813
Average ETAF	(B / A) .36

Note:
1. Average ETAF for Regular Landscape Areas must be below .55 for residential areas and .45 for non-residential areas.

EXISTING TREE LEGEND



ECO-MESH PANEL IMAGE



GENERAL NOTES

- Landscape Plant selection and layout is in general compliance with Landscape Plans (dated 1-18-21) provided by CCA, Inc.
- All landscape areas shall have or receive a minimum 3" layer of organic mulch.
- Irrigation to all plant material shall be low volume drip and shall be operated by a weather based controller with a weather sensor. Irrigation shall conform to City of Riverside water conservation standards.

REVISIONS		
#	DATE	DESCRIPTION
1	8/10/21	REVISE PER PLANNING

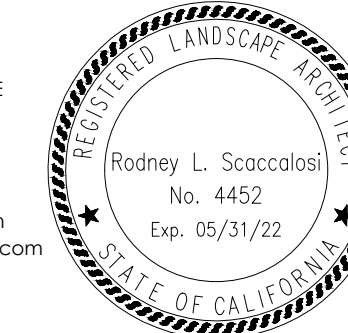
QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

LANDSCAPE PLAN

DATE: MARCH 2021
CRM PROJECT # 2019

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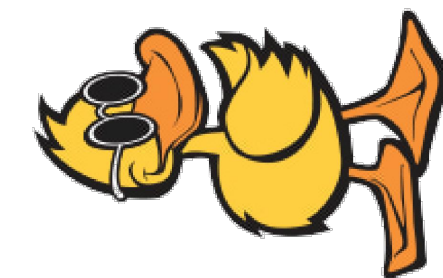
OLIVE STREET
LANDSCAPE ARCHITECTURE
P.O. Box 2083
Petaluma CA 94952
707-280-8990
OliveStreetLandscape.com
rod@olivestreetlandscape.com








PLANNING DOCUMENTS

A2.2

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CRM Architects & Planners, Inc.
Currismi Rohrer McMillen Architects and Planners, Inc.
5000 Stanford Ranch Road #20, Rockstar CA 92563
phone: (916) 931-1500

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	1	K-4ME w BLS	SINGLE	0.970	13032	130	OSQ-A-NM-4ME-K-40K-UL-XX w/OSQ-DAXX OSQ-BLSMF
	1	SF1	SINGLE	0.970	16959	130	OSQ-A-NM-4ME-K-40K-UL-XX w/OSQ-DAXX
	1	C - EXISTING	SINGLE	0.970	16959	130	OSQ-A-NM-4ME-K-40K-UL-XX w/OSQ-DAXX
	4	B - EXISTING	3 @ 120°	0.970	16897	130	OSQ-A-NM-5SQ-K-40K-UL-XX w/OSQ-DAXX
	11	F11	SINGLE	1.000	6778	52	VT3204HUNV50K

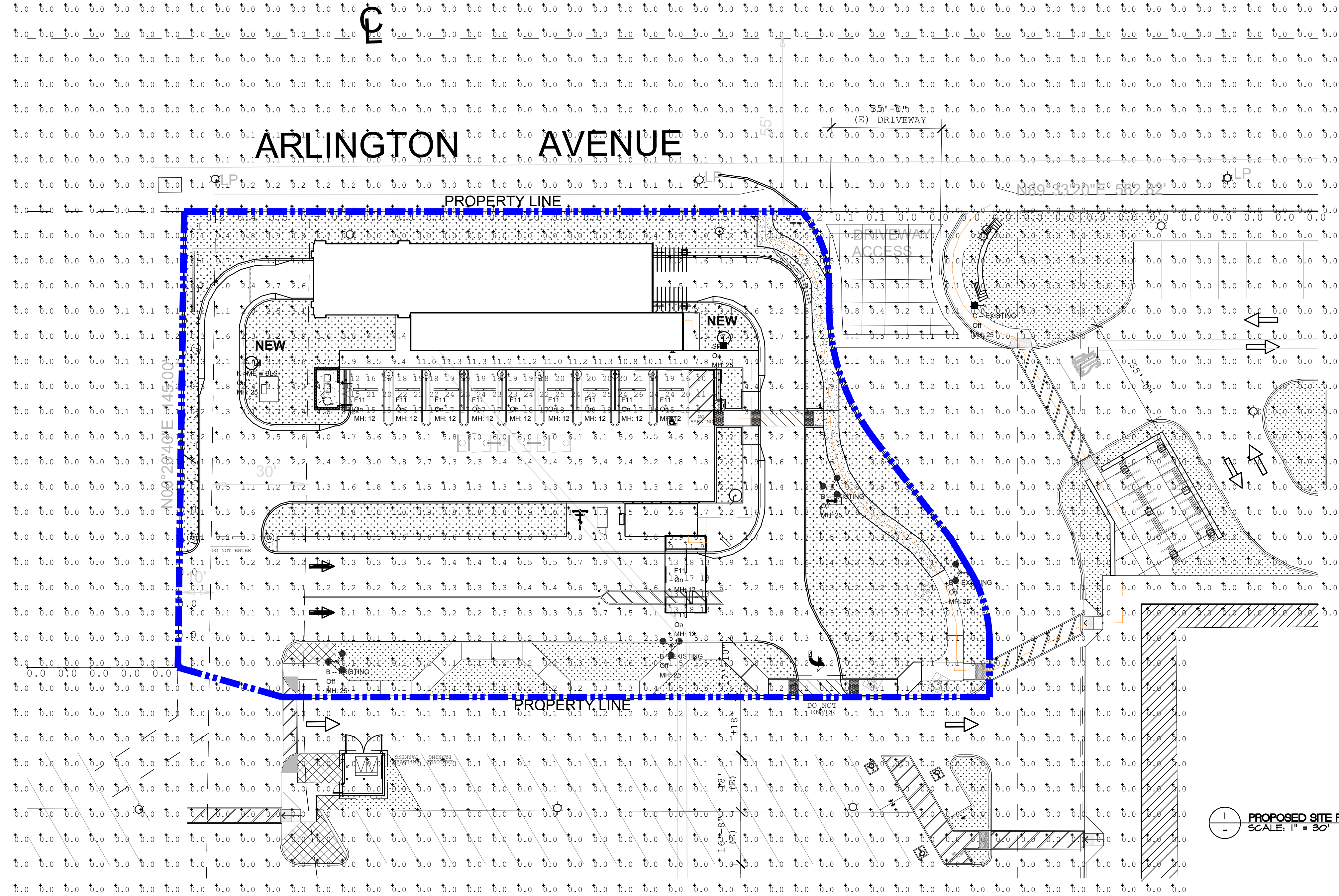
Calculation Summary: 1.00 LLF						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
All Calc Points	Fc	0.44	11.3	0.0	N.A.	N.A.
Pay Canopy	Fc	13.53	18	9	1.50	2.00
Property Line	Fc	0.10	0.5	0.0	N.A.	N.A.
Vacuum Canopy	Fc	18.19	26	3	6.06	8.67

FIXTURE MOUNTING HEIGHTS AS SHOWN
POLES MOUNTED ON 3.0' BASE
Fixture Mounting Height: 25' AFG (22' Pole + 3.0' Base)

ADDITIONAL EQUIPMENT REQUIRED:
(2) SRS-5-11-22-SW-BS-1D-C-XX (22' x 5" RND Round Steel Pole, Single)
(2) OSQ-DAXX - (Direct Arm Mount)
(1) OSQ-BLSMF - (Backlight Shield - Medium)

PROPOSED POLES MEET 140MPH SUSTAINED WIND LOADS

***CUSTOMER TO VERIFY MOUNTING, VOLTAGE, AND COLOR
PRIOR TO PLACING ORDER



CREE LIGHTING

A COMPANY OF IDEAL INDUSTRIES, INC.

9201 Washington Ave, Racine, WI 53406 https://creeighting.com - (800) 236-6800

Illumination results shown on this lighting design are based on project parameters provided to Cree Lighting used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: Quick Quack #4-212 7200 Arlington Ave. Riverside, CA - EXT

SR-35687

Footcandles calculated at grade

Filename: QQ-210521RICACJWR2.AGI

Layout By:
Collin Witherow

Date: 7/30/2021

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CRM Architects & Planners, Inc.
Carissimi Rohrer McMullen Architects and Planners, Inc.
5800 Stanford Ranch Road #720, Rocklin CA 95765
Phone: (916) 451-1500



REVISIONS
DATE DESCRIPTION

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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

PHOTOMETRIC
SITE PLAN

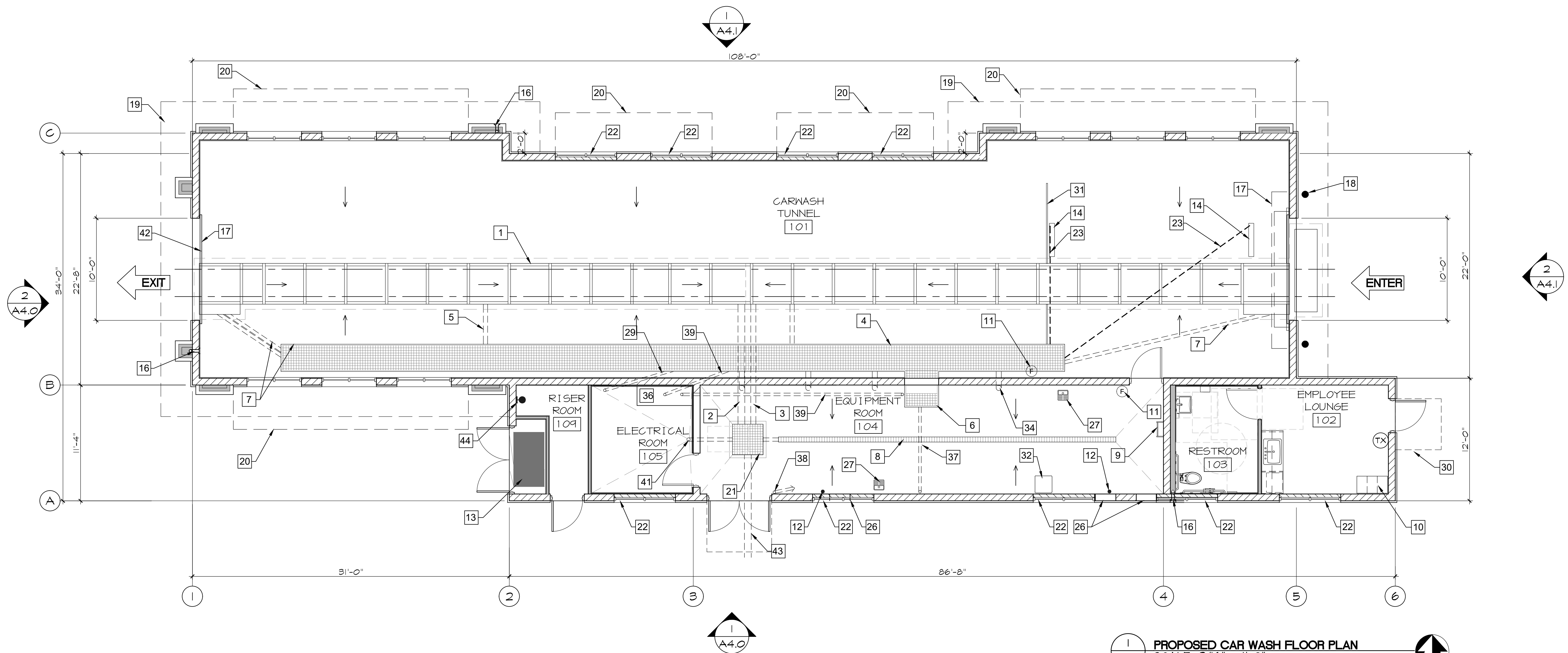
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PLANNING DOCUMENTS

A2.3



PROPOSED CAR WASH FLOOR PLAN

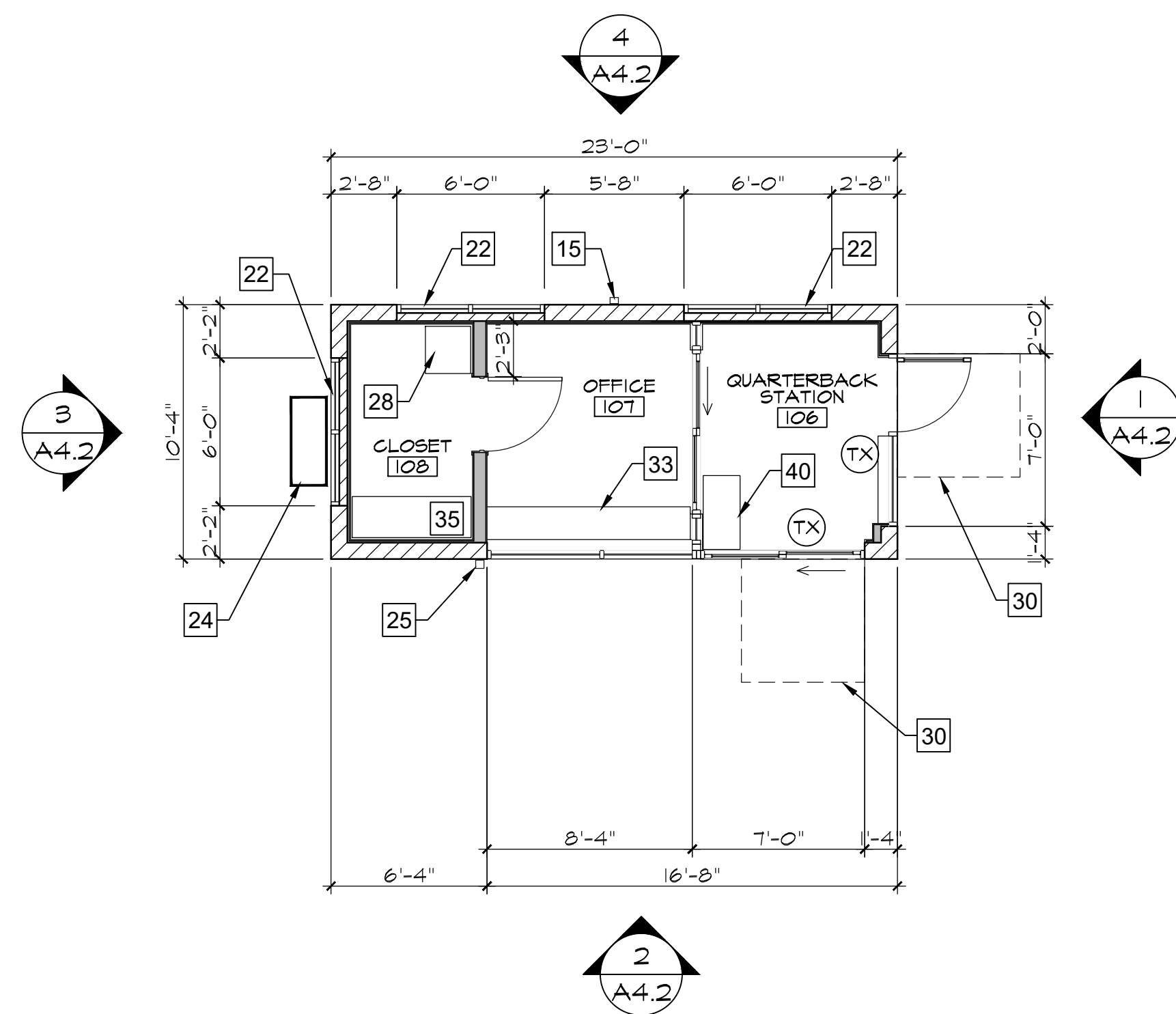
SCALE: 3/16" = 1'-0"
 NOTE:
 AN AN NFPA 13 FIRE SPRINKLER SYSTEM PER
 2016 NFPA 13 IS REQUIRED DEFERRED SUBMITTAL

KEYNOTES

- 1 CONVEYOR TRENCH. SLOPE AT 1/4" PER FOOT TO DRAIN.
- 2 8" PIPE FROM CONVEYOR TRENCH TO CLEAN OUT PIT.
- 3 6" OVERFLOW PIPE FROM CONVEYOR TRENCH TO CLEAN OUT PIT
- 4 UTILITY TRENCH. SLOPE BOTTOM TO DRAIN.
- 5 4" FLOOR DRAIN FROM UTILITY TRENCH TO THE CONVEYOR TRENCH SPACED EQUALLY IN UTILITY TRENCH (TYPICAL 2 PLACES)
- 6 3'-4" WIDE X 2'-2" DEEP OPEN FOR ACCESS TO UTILITY TRENCH. CONTRACTOR TO PROVIDE COVER - MATCH UTILITY TRENCH
- 7 4" PIPE CHASE FROM END OF UTILITY TRENCH TO CONVEYOR TRENCH. (TYPICAL 3 PLACES)
- 8 6" TRENCH DRAIN.
- 9 ROOF ACCESS LADDER.
- 10 EMPLOYEE LOCKERS. (TOTAL OF 3 - 1 ADA ACCESSIBLE) CONTRACTOR SUPPLIED AND INSTALLED
- 11 WALL MOUNTED ENCLOSED FIRE EXTINGUISHER. - 2A-10BC (TYPICAL 2 PLACES)
- 12 ROOF DRAIN LEADER. (TYPICAL 2 PLACES)
- 13 ELECTRICAL SERVICE SWITCHGEAR.
- 14 3/4" DEEP X 6" WIDE X 3'-3" LONG RECESS IN SLAB FOR TIRE SENSOR SWITCH. (TYPICAL 2 PLACES)
- 15 COLLECTOR AND DOWNSPOUT - SEE EXTERIOR ELEVATIONS
- 16 HOSE BIB IN RECESS BOX. PROVIDE WITH LOCKABLE DOOR AT EXTERIOR LOCATIONS. SEE PLUMBING DRAWINGS (TYPICAL 3 PLACES)
- 17 COILING ROLL-UP DOOR. (TYPICAL 2 PLACES)
- 18 4" CONCRETE FILLED PIPE BOLLARD AT ENTRANCE. (TYPICAL 2 PLACES)
- 19 LINE OF ROOF ABOVE.
- 20 WALL MOUNTED CANOPY ABOVE. (TYPICAL 5 PLACES)
- 21 3'-0" X 3'-0" RECLAIM CLEAN-OUT.
- 22 FAUX WINDOW - SEE EXTERIOR ELEVATIONS
- 23 1/2" CONDUIT AT END OF RECESS TO UTILITY TRENCH FOR TIRE SWITCH. CONDUIT TO GO UNDER CONVEYOR TRENCH (TYPICAL 2 PLACES)

- 24 HVAC CONDENSING UNIT - PROVIDE SCREENING
- 25 KNOX BOX - CONTRACTOR TO COORDINATE WITH LOCAL FIRE DEPARTMENT FOR TYPE, SIZE AND PREFERRED LOCATION
- 26 32" WIDE X 16" HIGH AIR VENT - SEE EXTERIOR ELEVATIONS (TYP. 3 PLACES)
- 27 16" X 16" X 12" DEEP FLOOR SINK. PLACE SINK AS CLOSE TO WALL AS POSSIBLE WITHOUT INTERFERING WITH FOOTING (TYPICAL 2 PLACES)
- 28 WALL MOUNTED IT CABINET
- 29 3" CHASE TO UTILITY TRENCH TERMINATE AT CONTROLLER
- 30 LEVEL LANDING PER CBC 11B-404.2.4 AND TABLE 11B404.2.4.1 (TYP) - 24" MIN STRIKE EDGE CLEARANCE FOR THE EXTERIOR DOOR LANDING
- 31 3/4" X 1 1/2" WIDE RECESS IN SLAB FOR DRAINAGE. SLOPE EACH SIDE TO CONVEYOR TRENCH
- 32 CONTRACTOR SUPPLIED AND INSTALLED EYE WASH STATION
- 33 34" MAXIMUM A.F.F. COUNTER TOP.
- 34 6" SWEEPS FROM UTILITY TRENCH TO EQUIPMENT ROOM (TYPICAL 4 PLACES) VERIFY WITH OWNER FOR EXACT LOCATIONS
- 35 CONTRACTOR FURNISHED AND INSTALLED 20" X 54" X 96" TALL STORAGE CABINET WITH ADJUSTABLE SHELVING AND WHITE MELAMINE FINISH ON THE INSIDE AND GRAY OUTSIDE
- 36 2'-0" X 5'-6" X 4" TALL CONCRETE "HOUSE CLEANING PAD" FOR MCC PANEL
- 37 3" DIA. PVC CHASE FROM ACCESS OPENING TO FACE OF WALL
- 38 1" DIA. PVC CHASE TO BUG JUICE CONTROL PANEL
- 39 2 - 3" CHASE AT CENTER OF MCC PANEL "HOUSE KEEPING PAD". RUN ONE CHASE TO EQUIPMENT TRENCH AND ONE NEXT TO ACCESS OPENING
- 40 CONTRACTOR FURNISHED AND INSTALLED 18" X 36" X 40" TALL POS CABINET
- 41 4" FLOOR DRAIN - CONNECT TO TRENCH DRAIN
- 42 3/4" X 2 1/2" WIDE RECESS IN SLAB FOR DRAINAGE. SLOPE EACH SIDE TO CONVEYOR TRENCH. EXTEND 1'-0" PAST EXIT OPENING
- 43 8" PIPE FROM CLEAN OUT PIT TO GREASE INTERCEPTOR (CLARIFIER).
- 44 FIRE RISER

NOTE:
 ALL CONDUITS TO HAVE SWEEPS ONLY. 90 DEGREE CONDUIT/CHASE BENDS ARE NOT ALLOWED



PROPOSED QUARTERBACK STATION FLOOR PLAN

SCALE: 3/16" = 1'-0"

REVISIONS

DATE DESCRIPTION

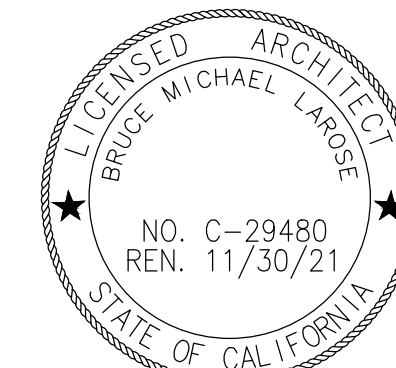
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

FLOOR PLAN

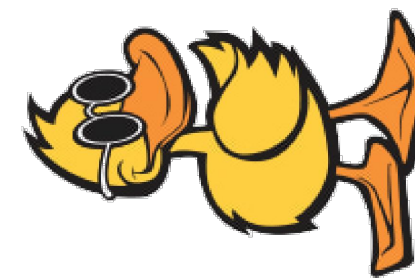
DATE: MARCH 2021
 CRM PROJECT #: 2019

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PLANNING DOCUMENTS





REVISIONS

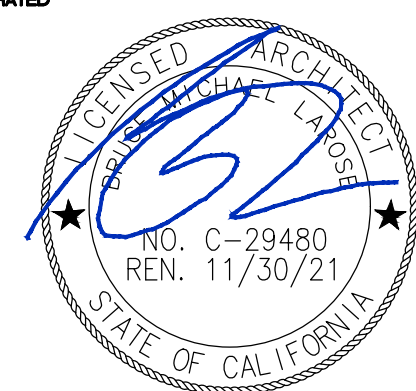
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
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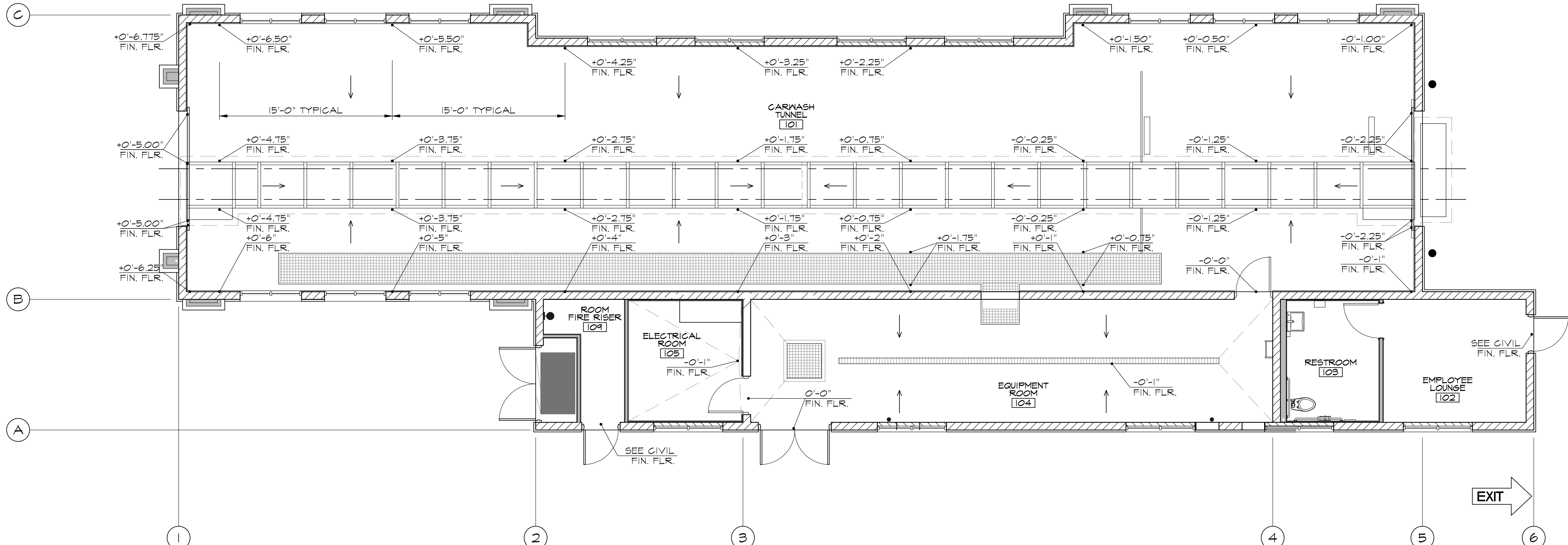
ELEVATION
FLOOR PLAN

DATE: MARCH 2021
CRM PROJECT #: 2019

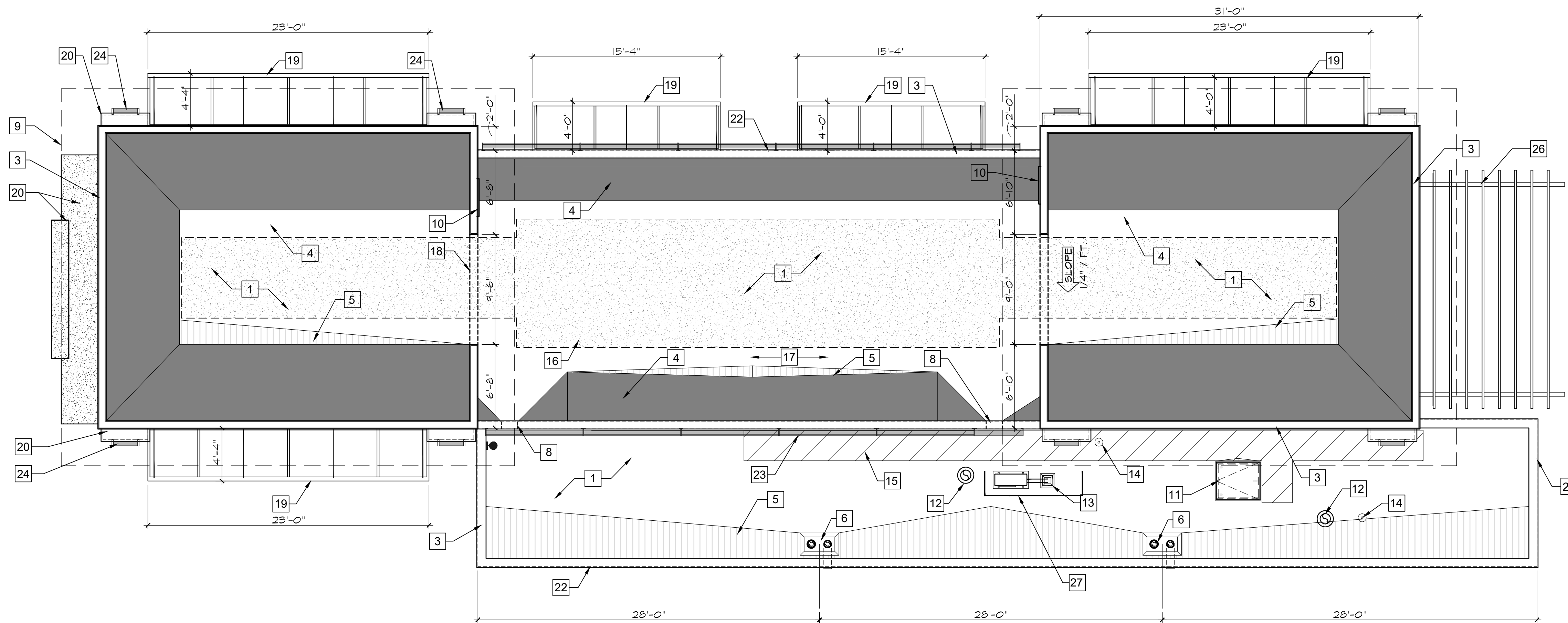
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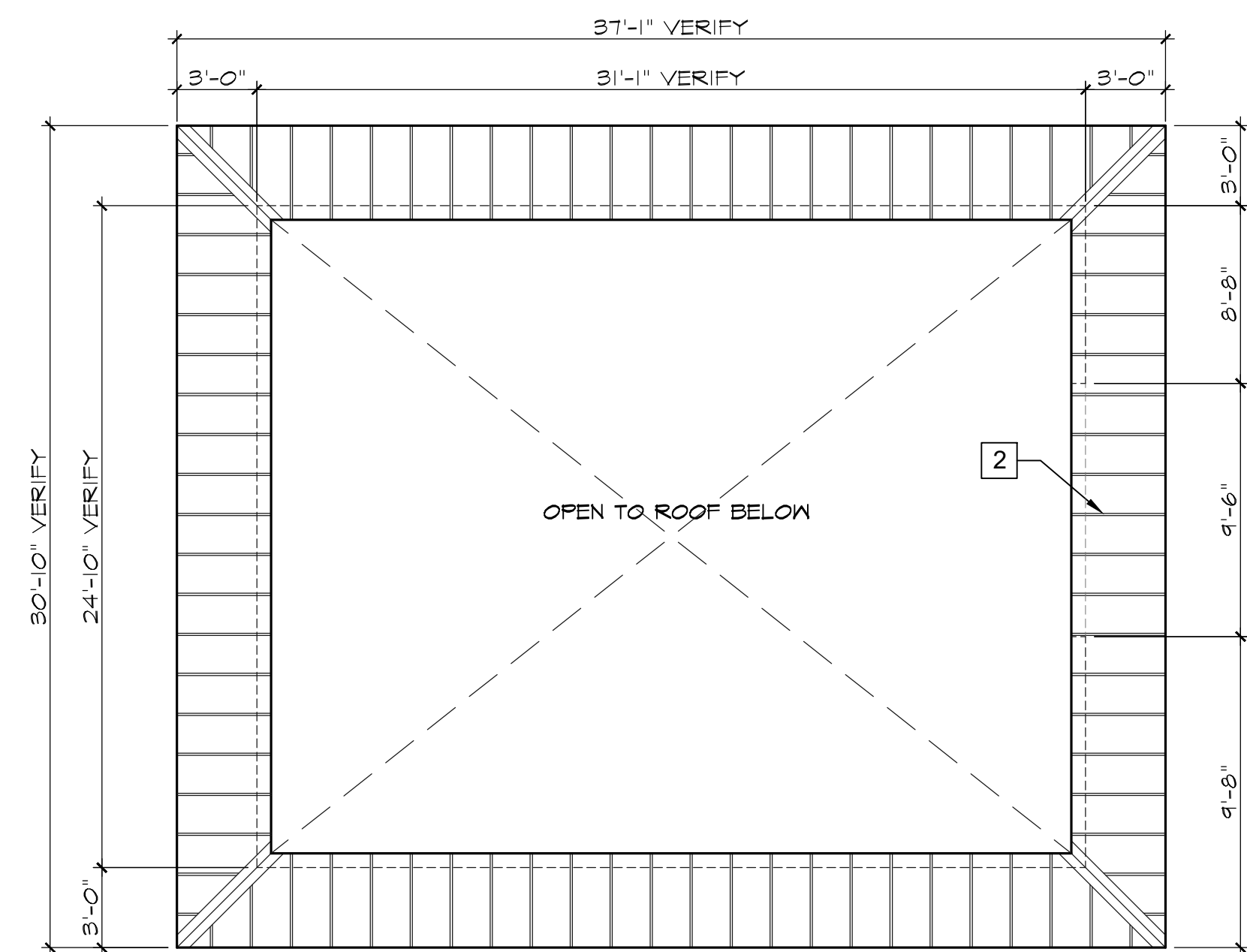
PLANNING DOCUMENTS



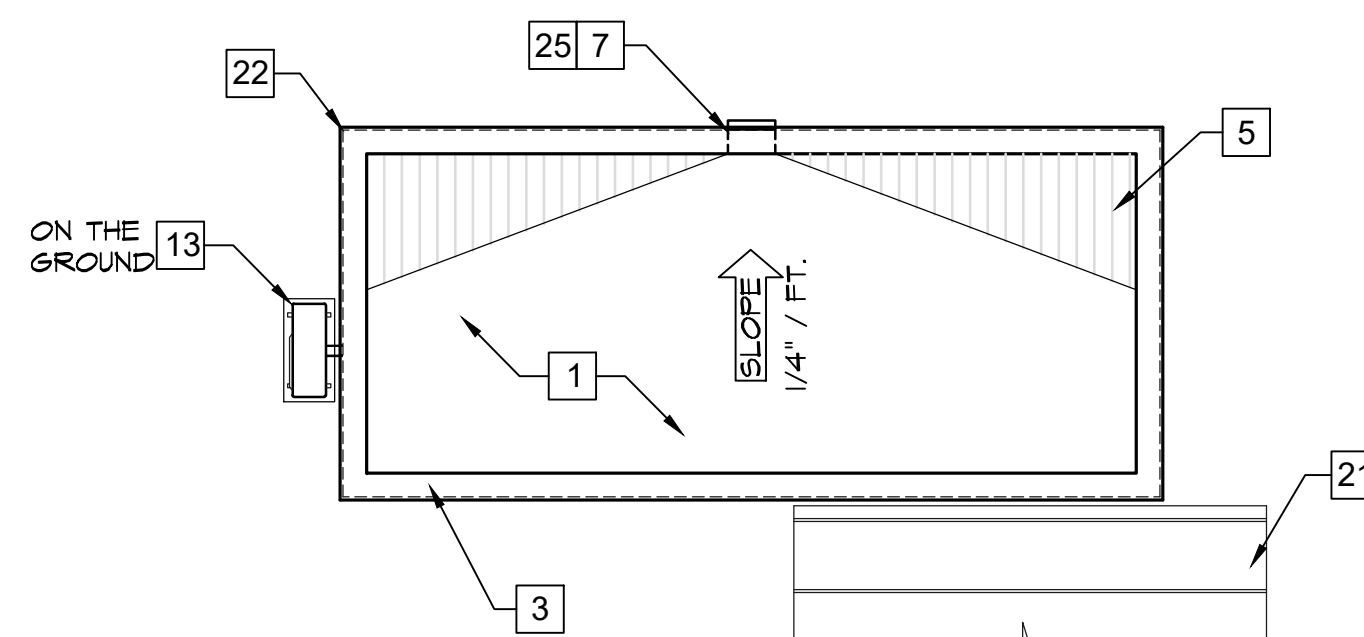
CAR WASH FINISH FLOOR ELEVATIONS
SCALE: 3/16" = 1'-0"



1
-
ROOF PLAN
SCALE: 3/16" = 1'-0"



2
-
UPPER ROOF AT ENTRY TOWER
SCALE: 3/16" = 1'-0"



3
-
QUARTERBACK STATION ROOF PLAN
SCALE: 3/16" = 1'-0"

KEYNOTES

- 1 TPO MEMBRANE ROOFING. SEE DETAIL.
- 2 STANDING SEAM METAL ROOFING.
- 3 PRE-FINISHED METAL COPING AT TOP OF PARAPET WALL.
- 4 ROOF CRICKET, 1/2" ROOF SHEATHING OVER METAL STUD DIAGONAL BRACING SLOPE AT ONE TO ONE.
- 5 TAPERED RIGID INSULATION CRICKET WITH 1/2" ISOLATION BOARD (TYP).
- 6 ROOF DRAIN AND OVERFLOW IN RECESS. (TYPICAL 2 PLACES)
- 7 THROUGH WALL OVERFLOW SCUPPER.
- 8 THROUGH WALL SCUPPER. SPILL TO ROOF BELOW.
- 9 OUTLINE OF UPPER ROOF AT ENTRY TOWER. SEE UPPER ROOF PLAN
- 10 ACCESS PANEL (TYPICAL 2 PLACES)
- 11 ROOF ACCESS LADDER HATCH.
- 12 EXHAUST FAN UNIT. (TYPICAL 2 PLACES)
- 13 MECHANICAL UNIT TO BE CONCEALED FROM VIEW BY PARAPET.
- 14 PLUMBING VENT. (TYPICAL 2 PLACES)
- 15 ROOF WALK PATH OVERLAY.
- 16 ROOF AREA DEDICATED TO POSSIBLE FUTURE SOLAR PANEL INSTALLATION.
- 17 ROOF AREA DEDICATED TO MAINTENANCE ACCESS TO POSSIBLE FUTURE SOLAR INSTALLATION.
- 18 OPENING IN WALL BETWEEN CRICKETS.
- 19 WALL MOUNTED METAL CANOPY BELOW (TYP).
- 20 CEMENT PLASTER FINISH AT TOP OF FURRED WALL FEATURE (TYP).
- 21 FREE STANDING METAL PAY STATION CANOPY BELOW.
- 22 WALL BELOW SHOWN DASHED.
- 23 LINEAR DOWN LIGHTING - SEE ELECTRICAL PLANS
- 24 FILASTER DOWN LIGHTING - SEE ELECTRICAL PLANS
- 25 COLLECTOR AND DOWNSPOUT - SEE EXTERIOR ELEVATIONS
- 26 ENTRY TRELLIS. SEE EXTERIOR ELEVATIONS.
- 27 METAL PANEL - SHIELD HVAC UNIT FROM VIEW. PAINT DUNN EDWARDS 'WHITE'

REVISIONS

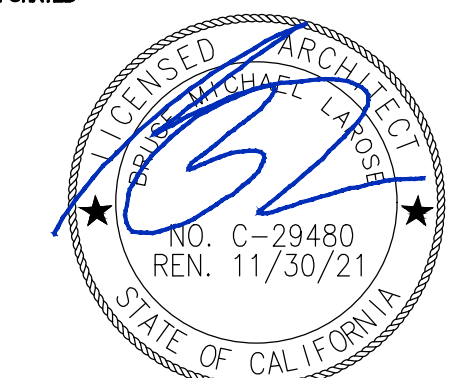
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

ROOF PLAN

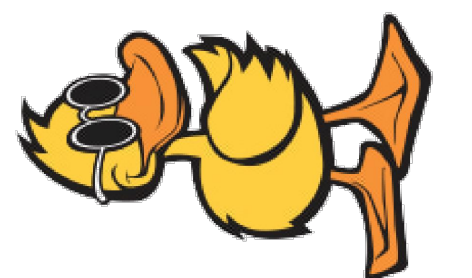
DATE: MARCH 2021
CRM PROJECT #: 2019

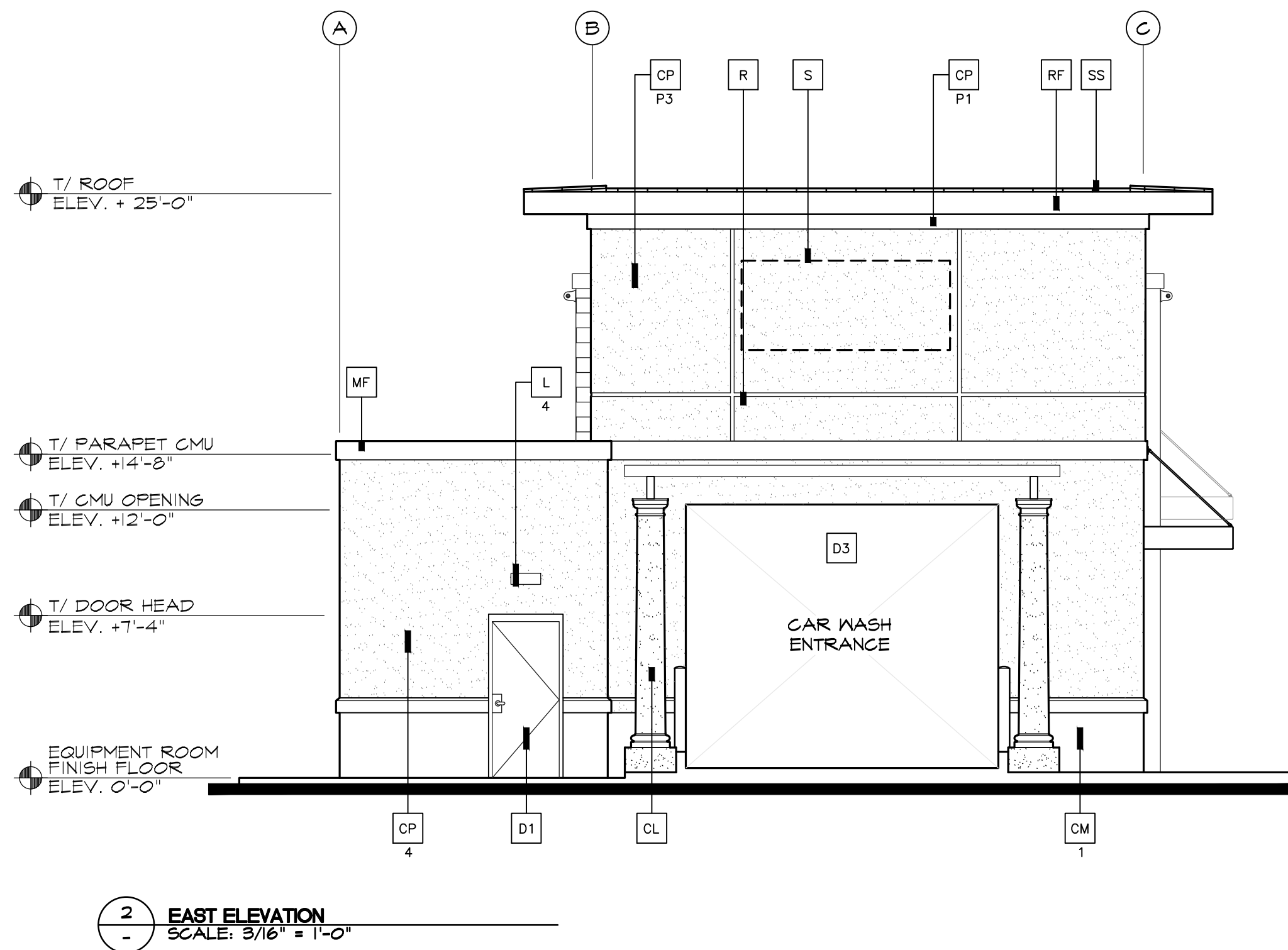
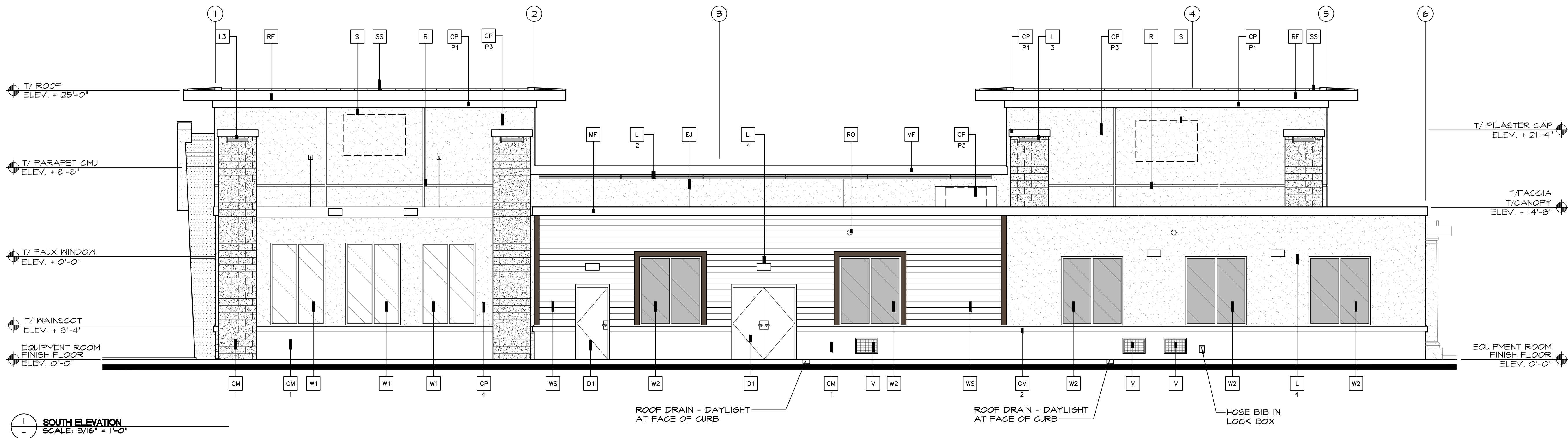
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PLANNING DOCUMENTS

A3.2





KEY NOTES:

- CL PRE-FABRICATED COLUMN - ARISTONE DESIGNS #CT21-9
- CM 1 ANGELUS BLOCK SPLIT FACE CONCRETE MASONRY UNITS - "ONYX" - MATCH SHOPPING CENTER. WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.
- CM 2 ANGELUS BLOCK BURNISHED CONCRETE MASONRY UNITS - COLOR "ONYX" MAINSCOT CAP WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

ACRYLIC PLASTER COLOR COAT

COLOR DESIGNATION:

- P1 = MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
P2 = MATCH SHERWIN WILLIAMS #6902 "DECISIVE YELLOW"
P3 = MATCH DUNN EDWARDS DEN360 "WHITE"
P4 = MATCH DUNN EDWARDS DE6375 "CASTLE ROCK" PLASTER COLOR COAT TO BE SAND FINISH

- D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"
D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"
D3 CLEAR ANODIZED ALUMINUM COMMERCIAL SLIDING GLASS DOOR
D5 COLLECTOR AND DOWNSPOUT. PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"

1/4" DEEP REVEAL EXPANSION JOINT

LIGHT FIXTURE

TYPE:

- L1 = LED RADIAL WALL SCORCE (DOWN ONLY)
L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)
- CONTACT STEVE FRIEDMAN 1.847.830.1444 WITH HERMITAGE LIGHTING FOR ORDERING LIGHTING. (NO EXCEPTIONS)

- MF METAL FASCIA - PAINT TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)

- MP METAL PANEL - PAINT TO MATCH DUNN EDWARDS DEN360 "WHITE"
MT METAL TRELLIS - PAINT SHERWIN WILLIAMS #6034 "QUICK QUACK GREEN"
P 4" PIPE BOLLARD FILLED WITH CONCRETE - PROVIDE YELLOW PROTECTIVE SLEEVE
R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL
RF METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)
RO PVC ROOF OVERFLOW SCUPPER - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"
S SIGNAGE BY OTHERS SHOWN DASHED- FOR REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL CONTRACTOR TO COORDINATE WITH SIGN COMPANY.

- SS STANDING SEAM METAL ROOF FIRESTONE UCB - "DARK IVY".
T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"
V 32" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH
W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT
W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT
WS AZEK SIDING - "AZEK/TIMBERTECH" VINTAGE COLLECTION 60% MAHOGANY, 20% CYPRESS, 20% DARK HICKORY RANDOM LAYOUT - MATCH SHOPPING CENTER

REVISIONS

DATE DESCRIPTION

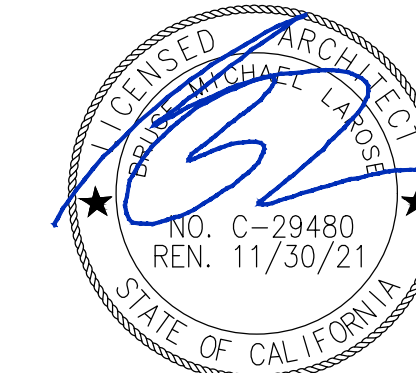
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

EXTERIOR ELEVATIONS

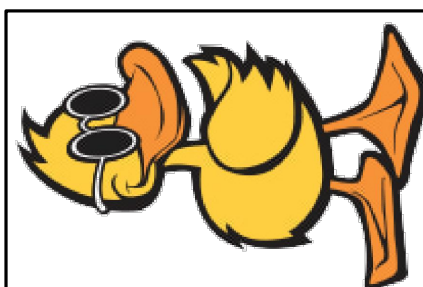
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PLANNING DOCUMENTS

A4.0



Quick Quack
CAR WASH

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QUICK QUACK CAR WASH
STORE #4-212
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EXTERIOR ELEVATIONS

DATE: MARCH 2021
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PLANNING DOCUMENTS

A4.1

PRE-FABRICATED COLUMN - ARISTONE DESIGNS #CT21-9

CM
1 ANGELUS BLOCK SPLIT FACE CONCRETE MASONRY
UNITS - "ONYX" - MATCH SHOPPING CENTER. WATER
REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC"
FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CM
2

ANGELUS BLOCK BURNISHED CONCRETE MASONRY
UNITS - COLOR "ONYX" WAINSCOT CAP WITH INTEGRAL
FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE.
MORTAR TO HAVE "RAINBLOC" FOR MORTAR
ADMIXTURE. MORTAR COLOR TO MATCH.

☐ ACRYLIC PLASTER COLOR COAT

P—COLOR DESIGNATION:

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P4 = MATCH DUNN EDWARDS DE6375 "CASTLE ROCK"
PLASTER COLOR COAT TO BE SAND FINISH

D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN
WILLIAMS #7025 "BACKDROP"

D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN
WILLIAMS #7025 "BACKDROP"

03 CLEAR ANODIZED ALUMINUM COMMERCIAL SLIDING GLASS DOOR

DS COLLECTOR AND DOWNSPOUT. PAINT TO TO MATCH
SHERWIN WILLIAMS #7025 "BACKDROP"

1/4" DEEP REVEAL EXPANSION JOINT

☐ LIGHT FIXTURE

1 TYPE:

L1 = LED RADIAL WALL SCONCE (DOWN ONLY)
L2 = LINEAR FACADE WALL LIGHT (DOWN ONLY)
L3 = 2 FOOT LED PILASTER LIGHT (DOWN ONLY)
L4 = WALL PACK (DOWN ONLY)

CONTACT STEVE FRIEDMAN 1.847.830.1444 WITH
HERMITAGE LIGHTING FOR ORDERING LIGHTING. (NO
EXCEPTIONS)

MF METAL FASCIA - PAINT TO MATCH SHERWIN
WILLIAMS "QUICK QUACK GREEN" (GREEN)

MP METAL PANEL - PAINT TO MATCH DUNN
EDWARDS DEW360 "WHITE"

MT METAL TRELLIS - PAINT SHERWIN WILLIAMS #6034
"QUICK QUACK GREEN"

P 4" PIPE BOLLARD FILLED WITH CONCRETE - PROVIDE
YELLOW PROTECTIVE SLEEVE

R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM
PLASTER REVEAL

RF METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS
"QUICK QUACK GREEN" (GREEN)

RO	PVC ROOF OVERFLOW SCUPPER - PAINT TO TO MATCH SHERWIN WILLIAMS #7025 "BACKDROP"
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S SIGNAGE BY OTHERS SHOWN DASHED- FOR
REFERENCE ONLY UNDER SEPARATE PERMIT. GENERAL
CONTRACTOR TO COORDINATE WITH SIGN COMPANY.

SS STANDING SEAM METAL ROOF
FIRESTONE UC3 - "DARK IVY".

T1 METAL WALL CANOPY SYSTEM - COLOR TO MATCH
SHERWIN WILLIAMS "QUICK QUACK GREEN"

T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH
SHERWIN WILLIAMS "QUICK QUACK GREEN"

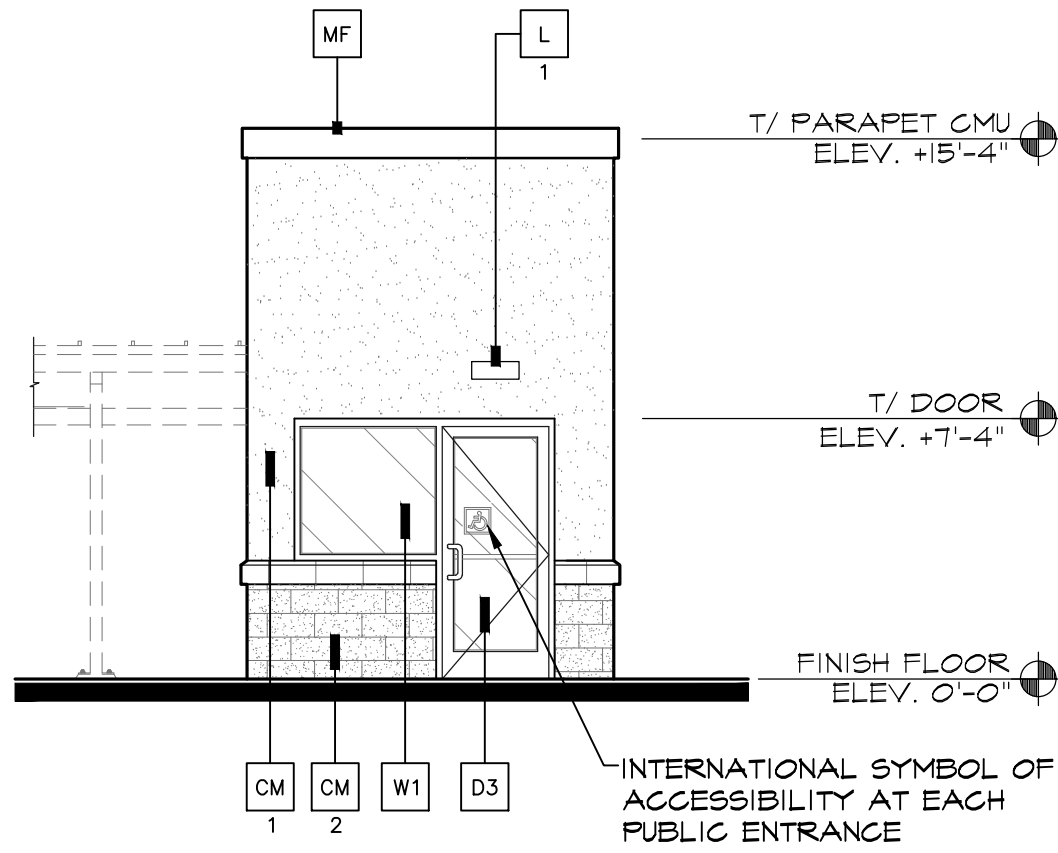
☐ 32" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS
CLEAR ANODIZED ALUMINUM STOREFRONT

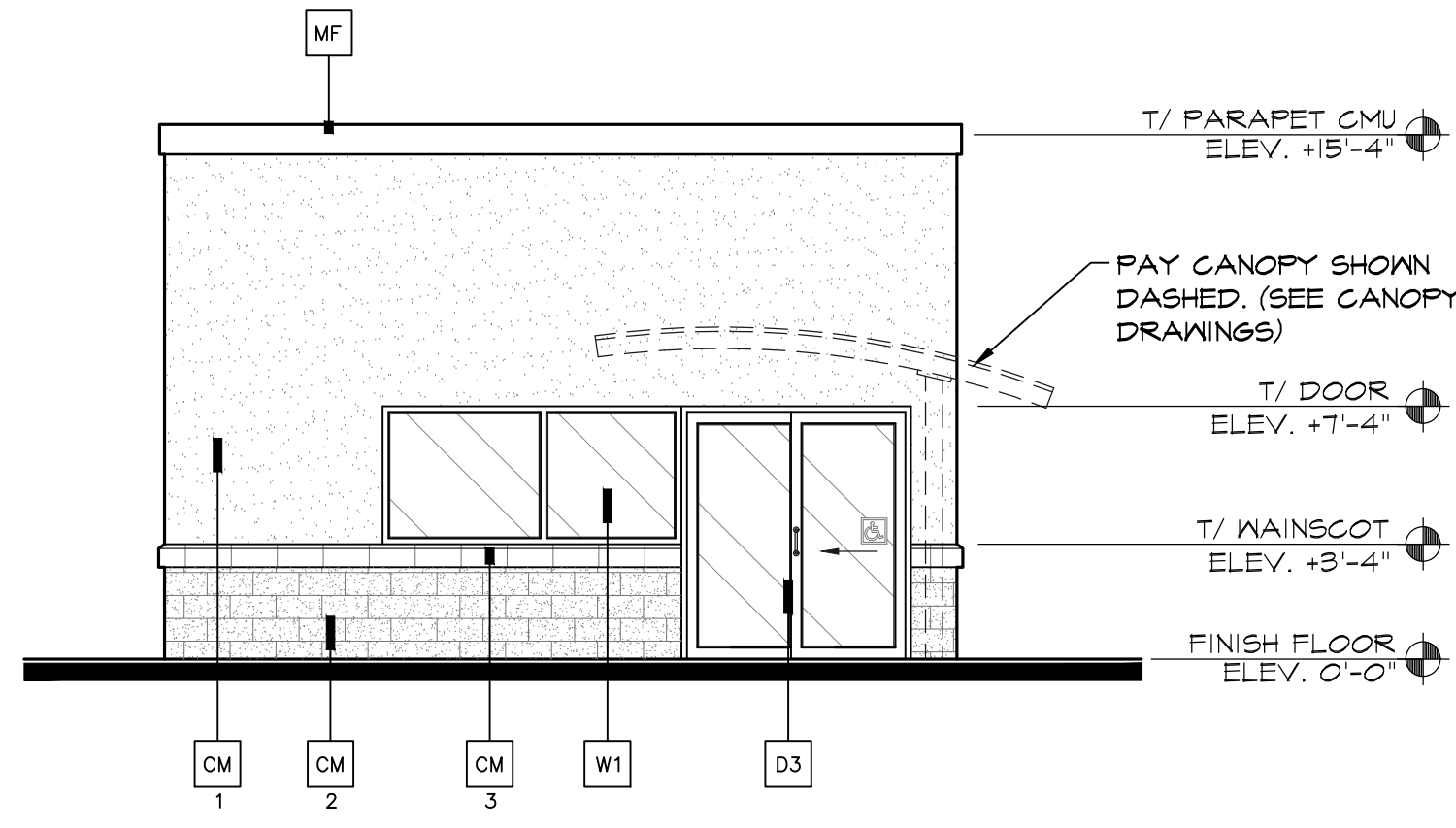
W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR

ANODIZED ALUMINUM STOREFRONT

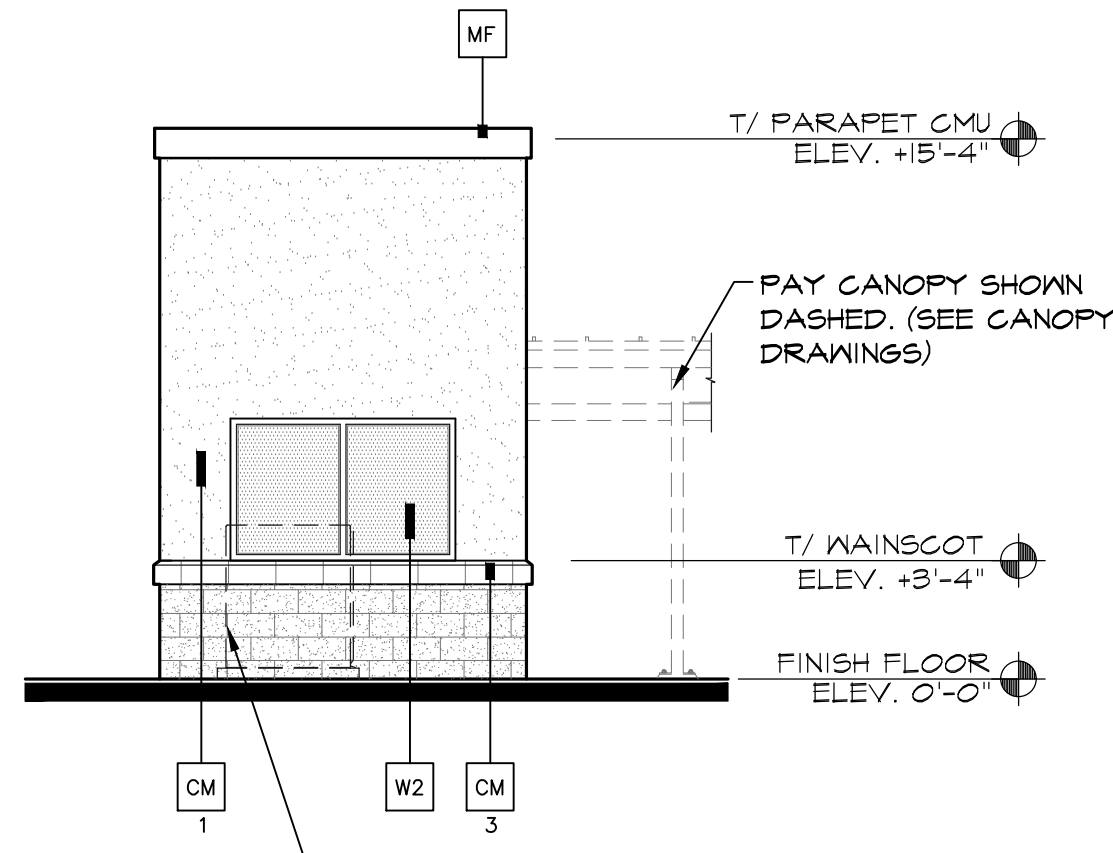
WS AZEK SIDING - "AZEK/TIMBERTECH" VINTAGE COLLECTION
60% MAHOGANY, 20% CYPRESS, 20% DARK HICKORY
RANDOM LAYOUT - MATCH SHOPPING CENTER



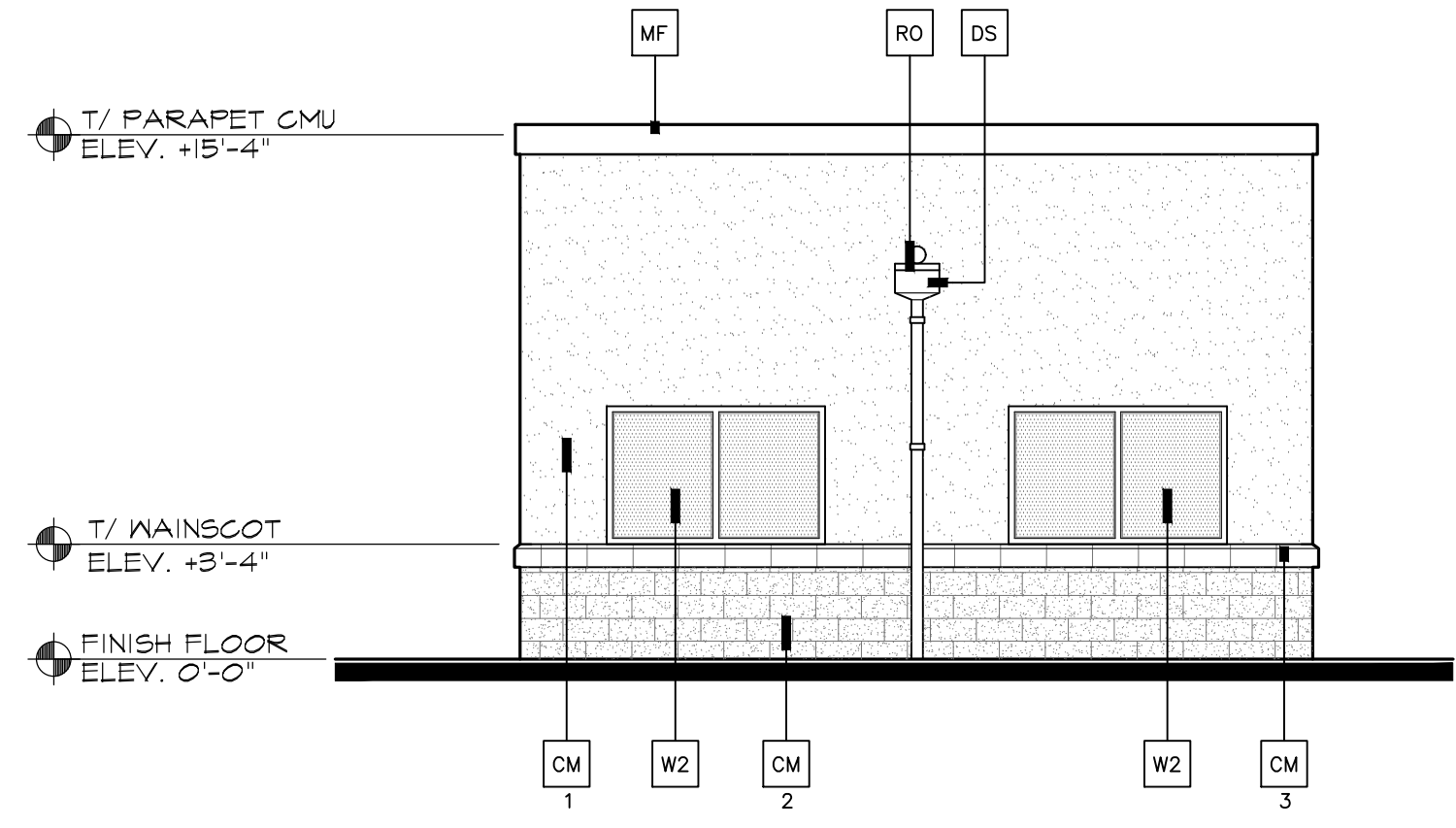
1 - EAST ELEVATION
SCALE: 3/16" = 1'-0"



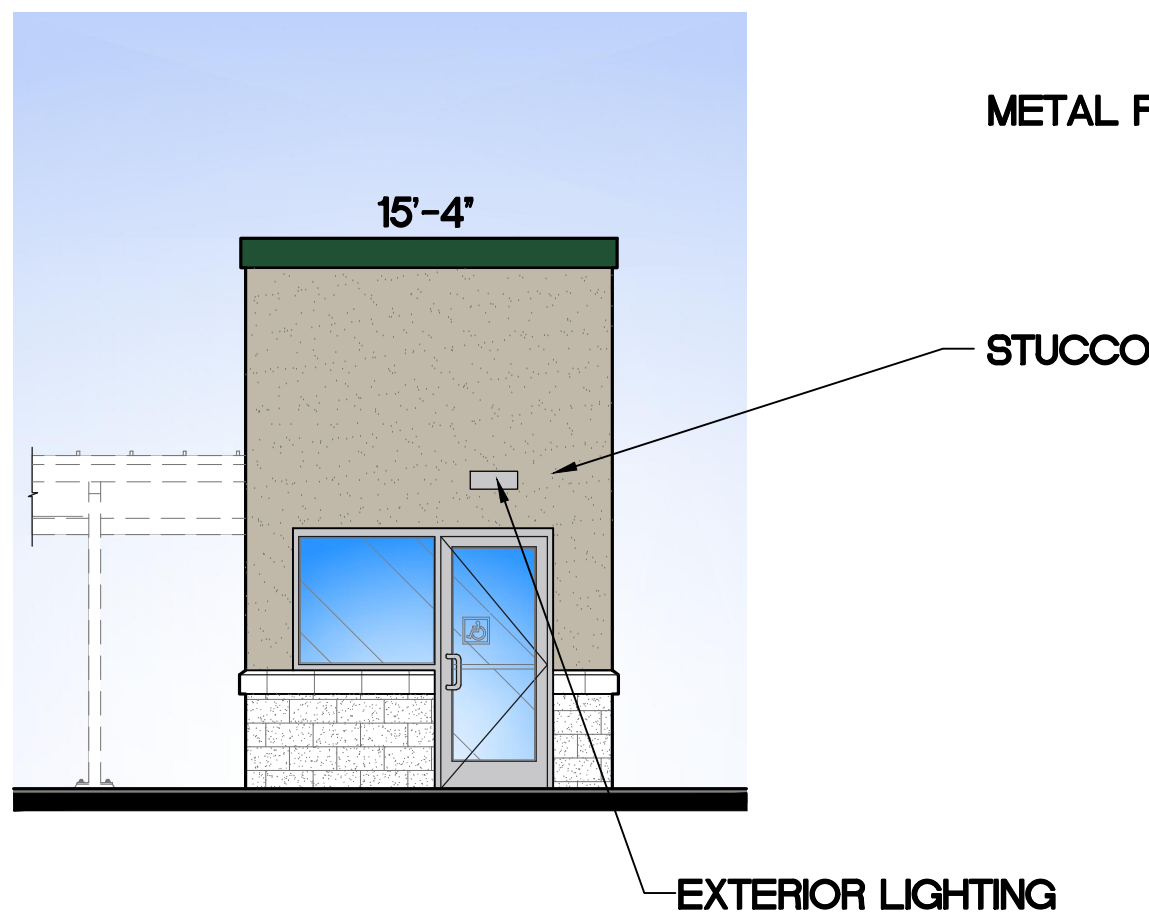
2 - SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



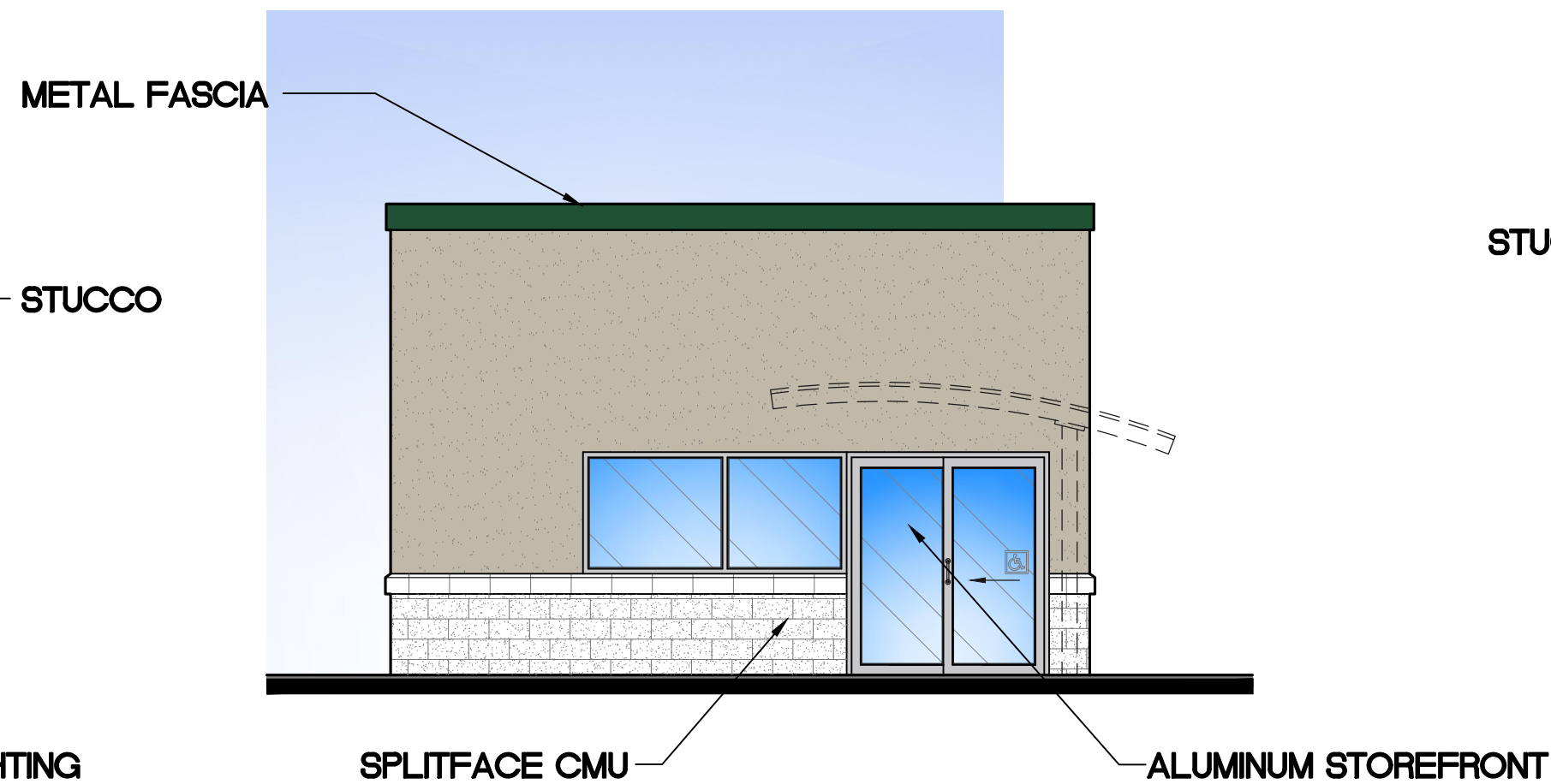
3 - WEST ELEVATION
SCALE: 3/16" = 1'-0"



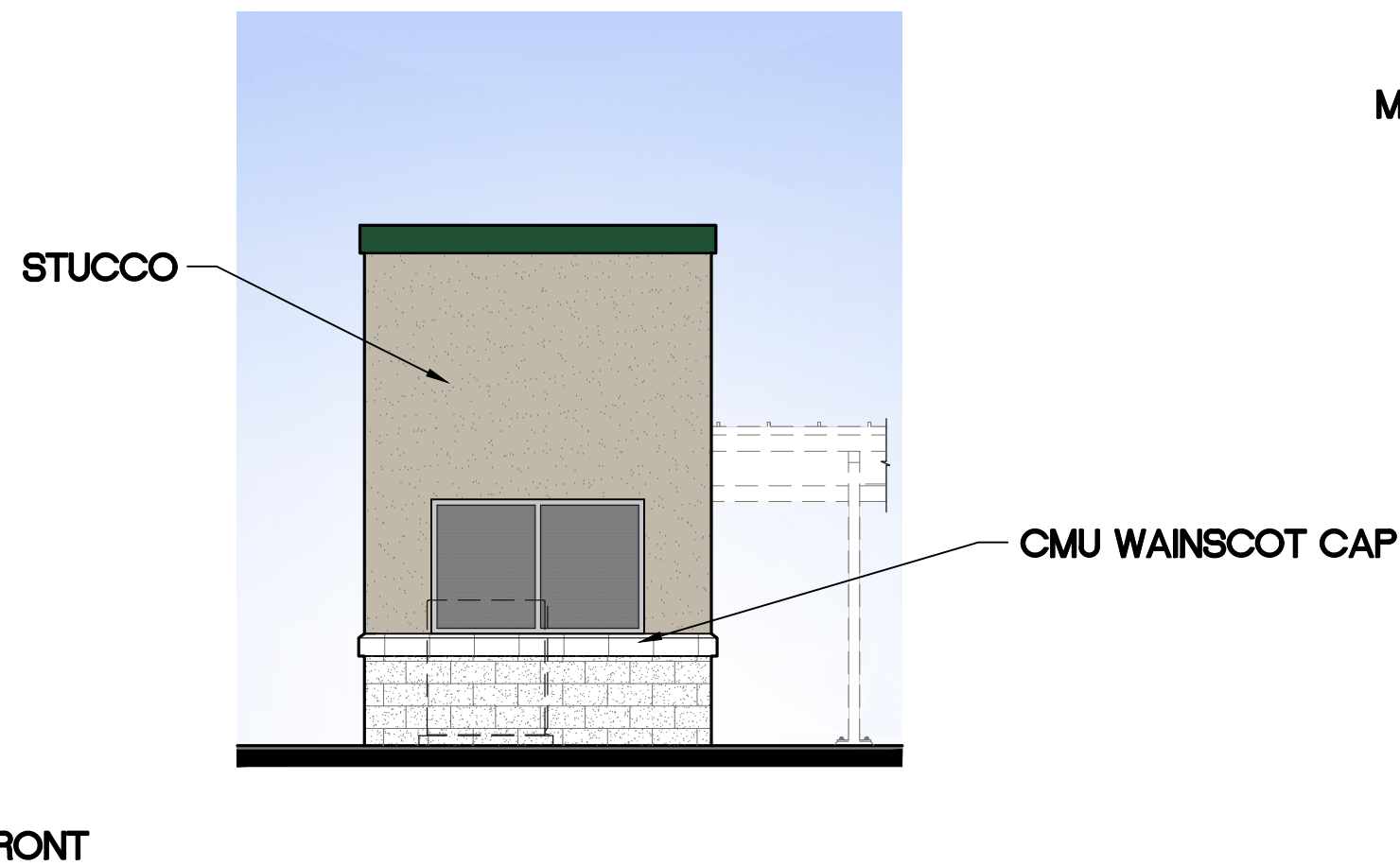
4 - NORTH ELEVATION
SCALE: 3/16" = 1'-0"



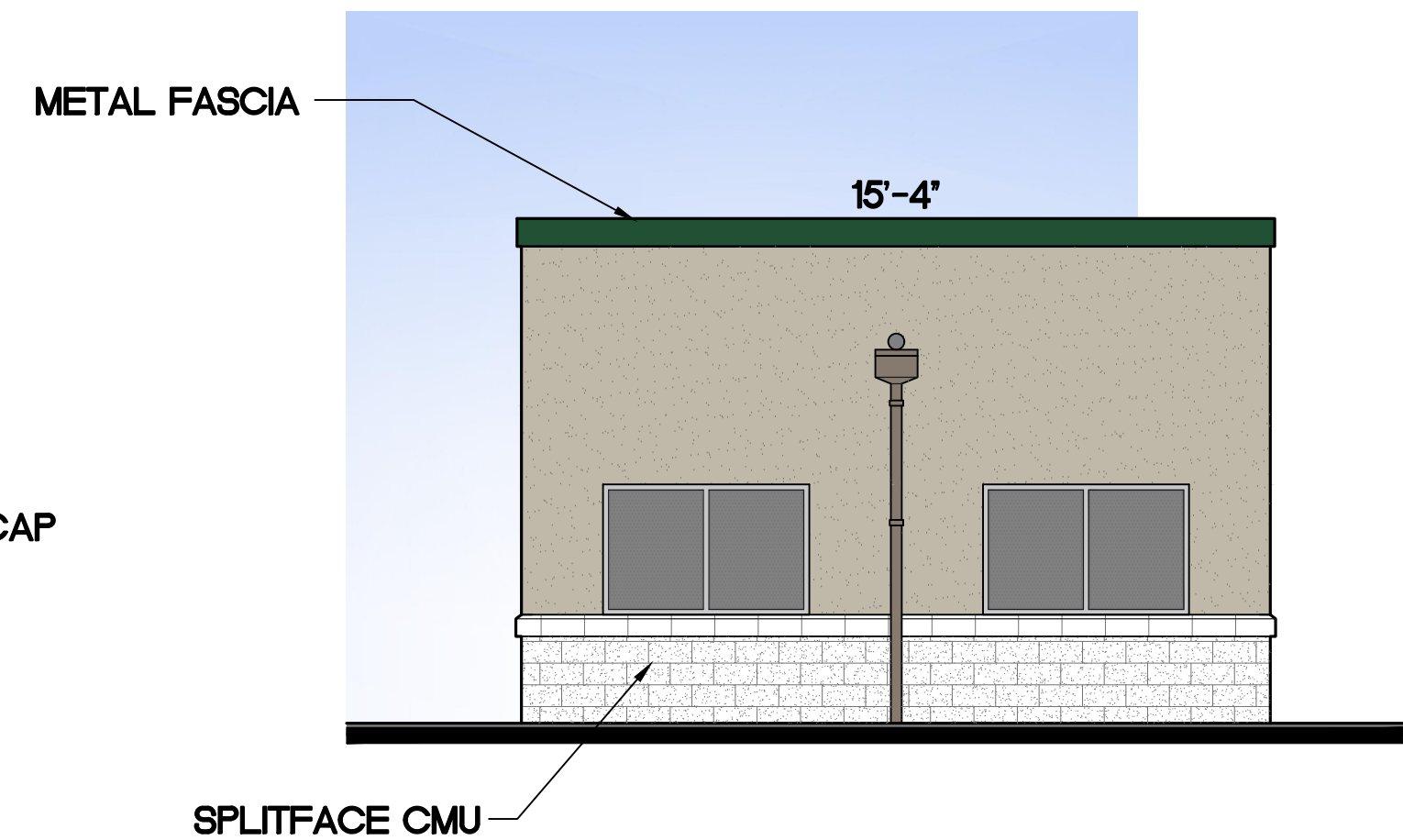
1 - EAST ELEVATION
SCALE: 3/16" = 1'-0"



2 - SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 - WEST ELEVATION
SCALE: 3/16" = 1'-0"



4 - NORTH ELEVATION
SCALE: 3/16" = 1'-0"

KEY NOTES:

CL PRE-FABRICATED COLUMN - ARISTONE DESIGNS #CT21-4

CM 1 ANGELUS BLOCK SPLIT FACE CONCRETE MASONRY UNITS - "ONYX" - MATCH SHOPPING CENTER. WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

CM 2 ANGELUS BLOCK BURNISHED CONCRETE MASONRY UNITS - "ONYX" WAINSCOT CAP WITH INTEGRAL FACTORY "RAINBLOC" WATER REPELLENT ADMIXTURE. MORTAR TO HAVE "RAINBLOC" FOR MORTAR ADMIXTURE. MORTAR COLOR TO MATCH.

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D1 HOLLOW METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"

D2 OVERHEAD METAL DOOR - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"

D3 CLEAR ANODIZED ALUMINUM COMMERCIAL SLIDING GLASS DOOR

D5 COLLECTOR AND DOWNSPOUT. PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"

EJ 1/4" DEEP REVEAL EXPANSION JOINT

L LIGHT FIXTURE

T TYPE:

L1 = LED RADIAL WALL SCONCE (DOWN ONLY)
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P 4" PIPE BOLLARD FILLED WITH CONCRETE - PROVIDE YELLOW PROTECTIVE SLEEVE

R 2" WIDE X 1/4" DEEP CLEAR ANODIZED ALUMINUM PLASTER REVEAL

RF METAL ROOF FASCIA - MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN" (GREEN)

RO PVC ROOF OVERFLOW SCUPPER - PAINT TO TO MATCH SHERWIN WILLIAMS #1025 "BACKDROP"

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T2 WALL CANOPY TIE-BACK SYSTEM - COLOR TO MATCH SHERWIN WILLIAMS "QUICK QUACK GREEN"

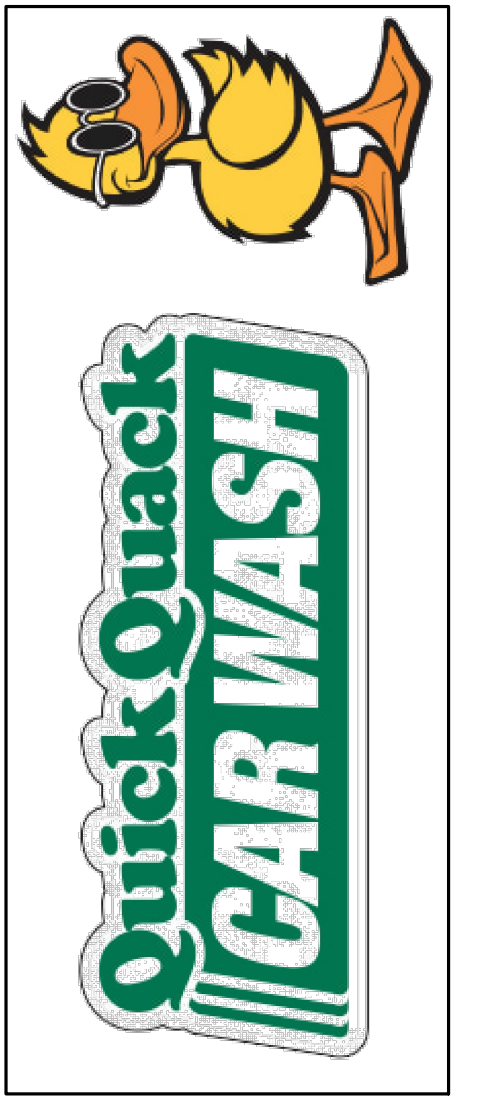
V 32" WIDE X 16" HIGH VENT - PAINT TO MATCH ADJACENT FINISH

W1 EXTERIOR WINDOW ASSEMBLY - TEMPERED GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

W2 EXTERIOR FAUX WINDOW ASSEMBLY - WITH BLACK CERAMIC FRIT TEMPERED SPANDREL GLASS CLEAR ANODIZED ALUMINUM STOREFRONT

WS AZEK SIDING - "AZEK/TIMBERTECH" VINTAGE COLLECTION 60% MAHOGANY, 20% CYPRESS, 20% DARK HICKORY RANDOM LAYOUT - MATCH SHOPPING CENTER

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REVISIONS

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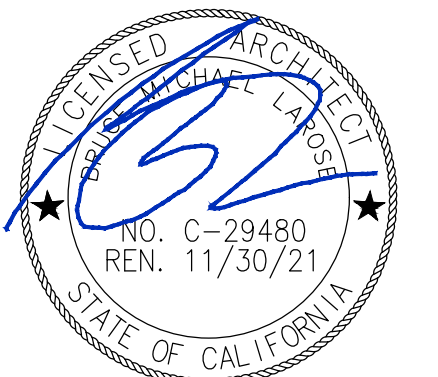
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

QUATERBACK STATION
EXTERIOR ELEVATIONS

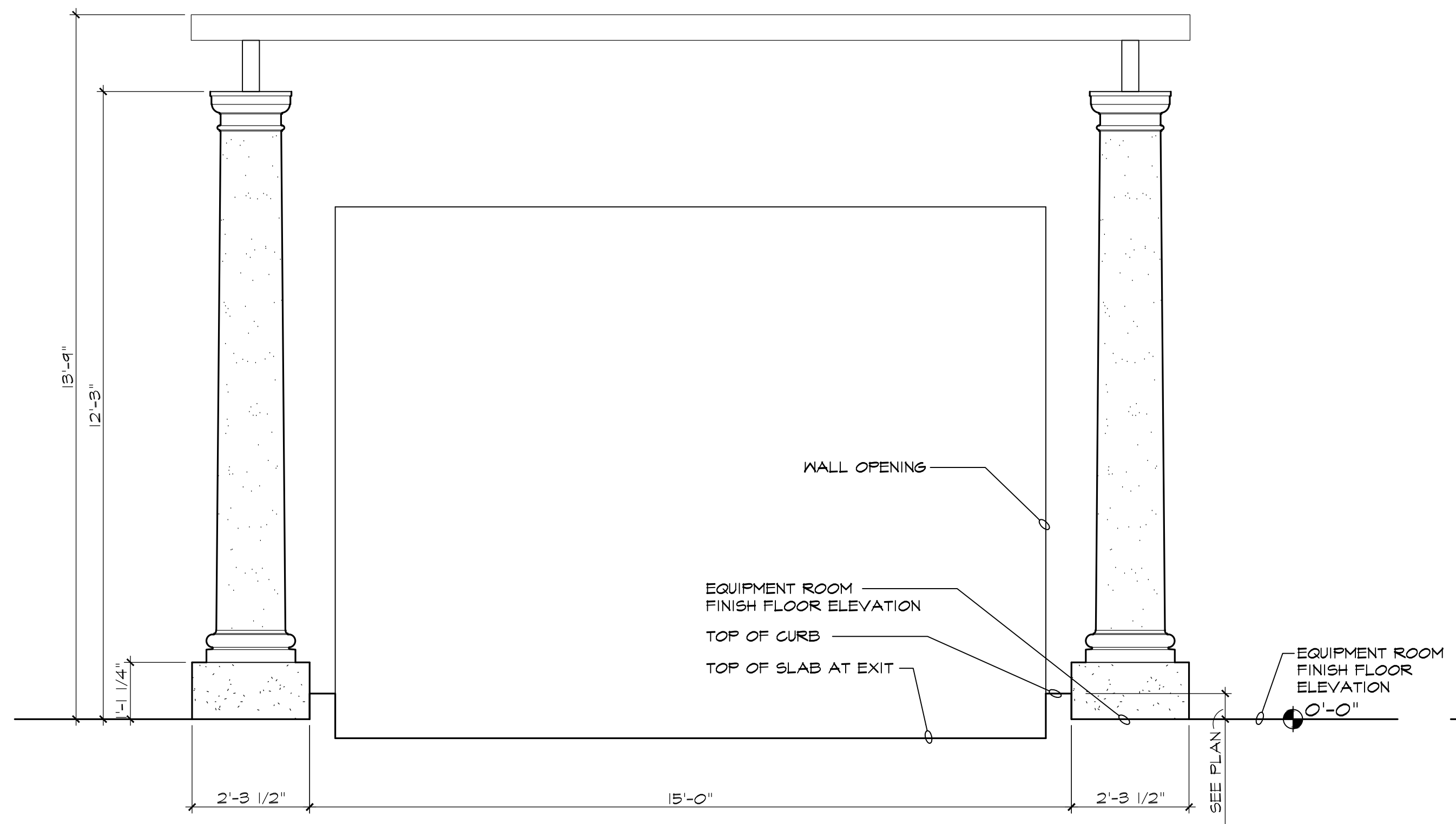
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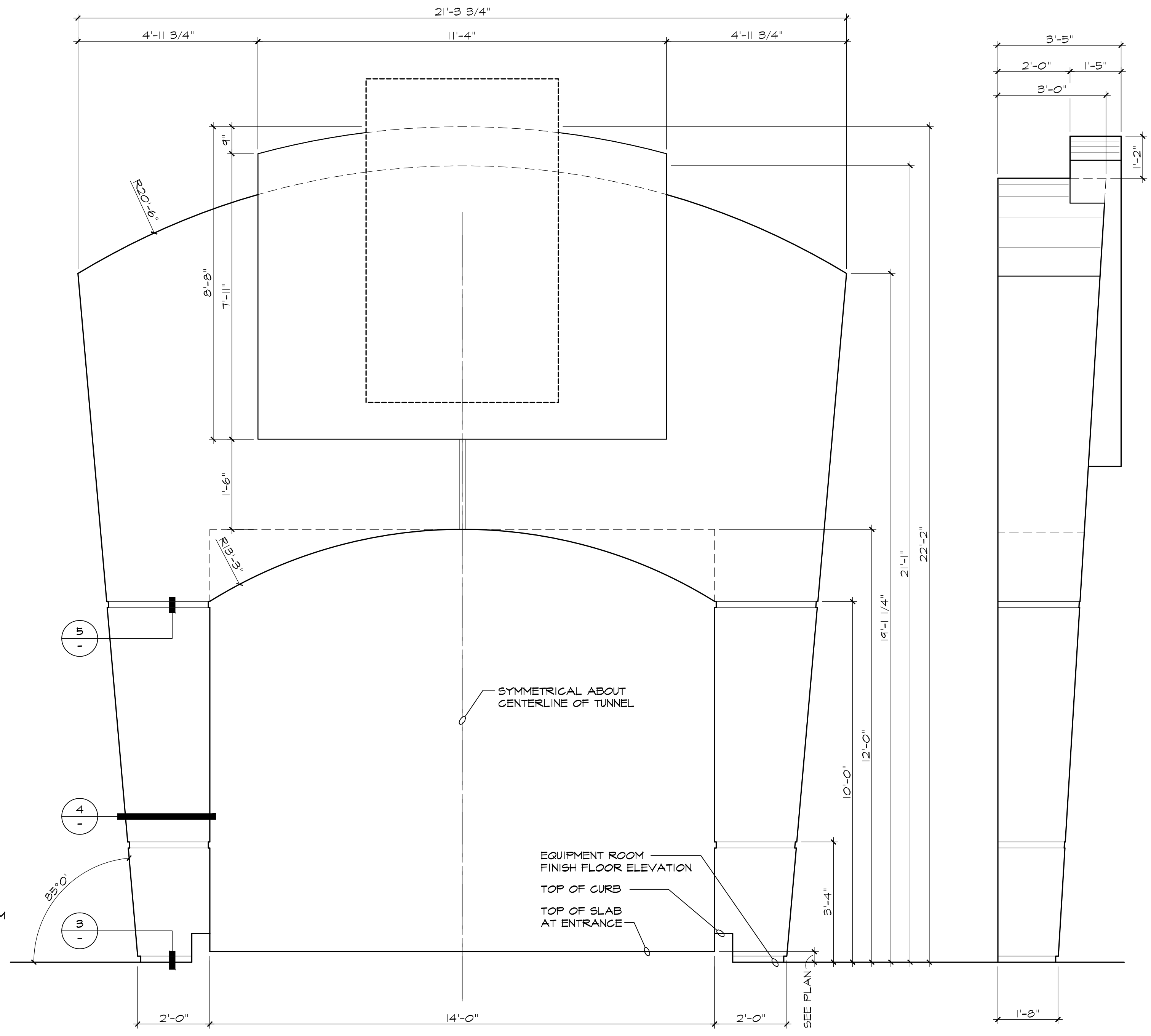


PLANNING DOCUMENTS

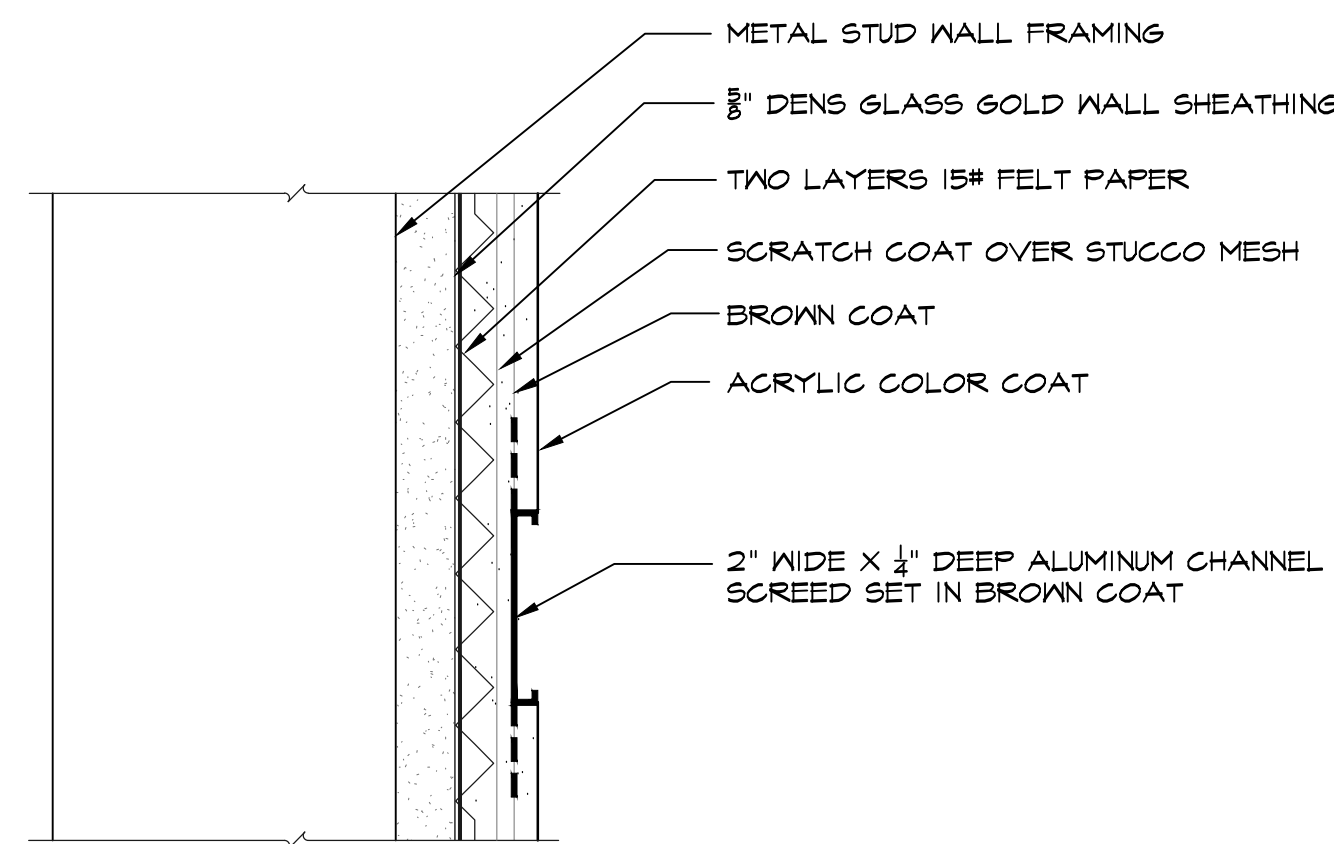
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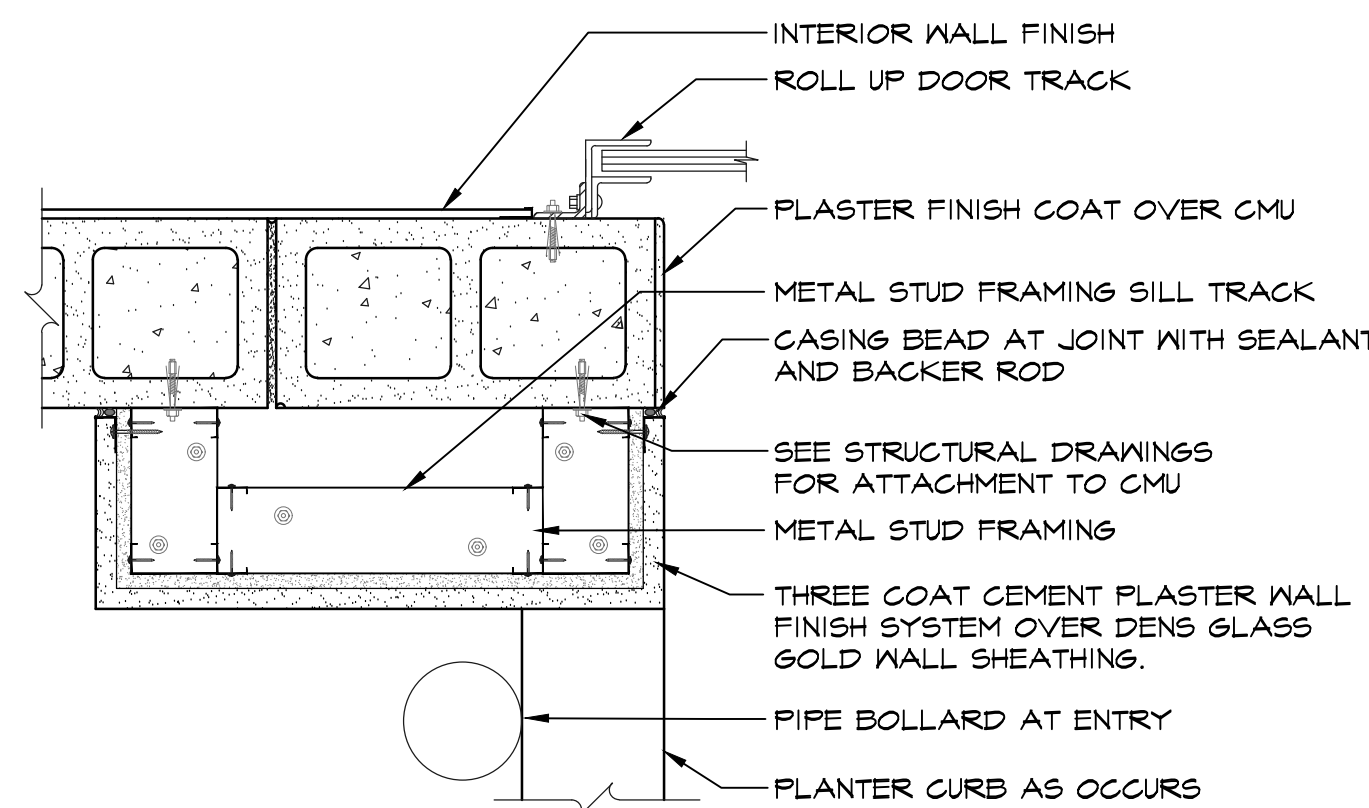
2 ENTRY WALL FEATURE
SCALE: 1/2" = 1'-0"



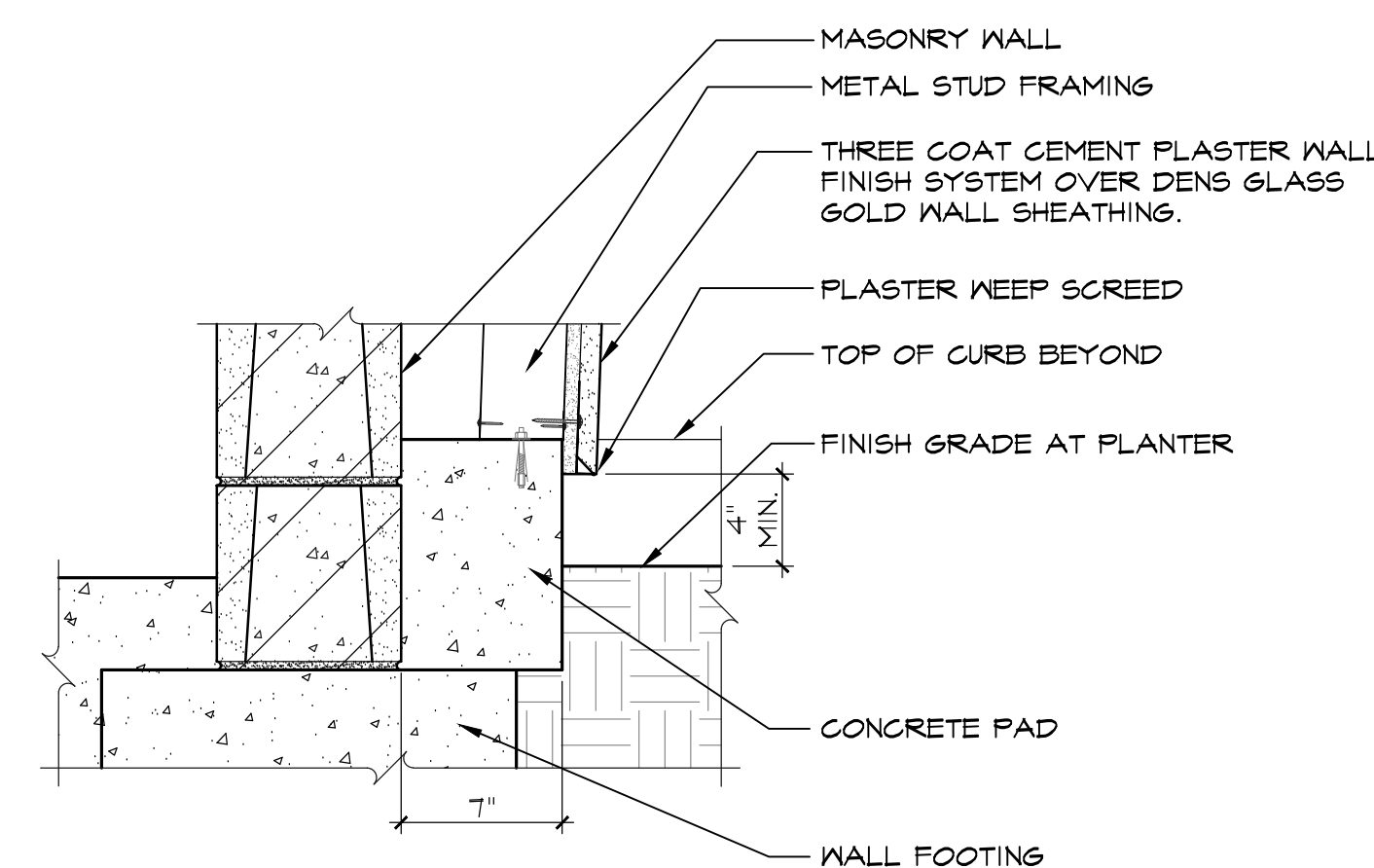
1 EXIT ARCH WALL FEATURE
SCALE: 1/2" = 1'-0"



5 PLASTER CHANNEL SCREED REVEAL
HALF SCALE



4 FEATURE WALL LEG PLAN
SCALE: 1 1/2" = 1'-0"



3 FEATURE WALL SILL
SCALE: 1 1/2" = 1'-0"

NOTE:
ALL EXPOSED CONCRETE TO HAVE SACK FINISH AT FOOTINGS FOR ARCADE AND PILASTERS (TYPICAL)

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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

ARCH WALL FEATURE ELEVATIONS

DATE: MARCH 2021
CRM PROJECT #: 2019

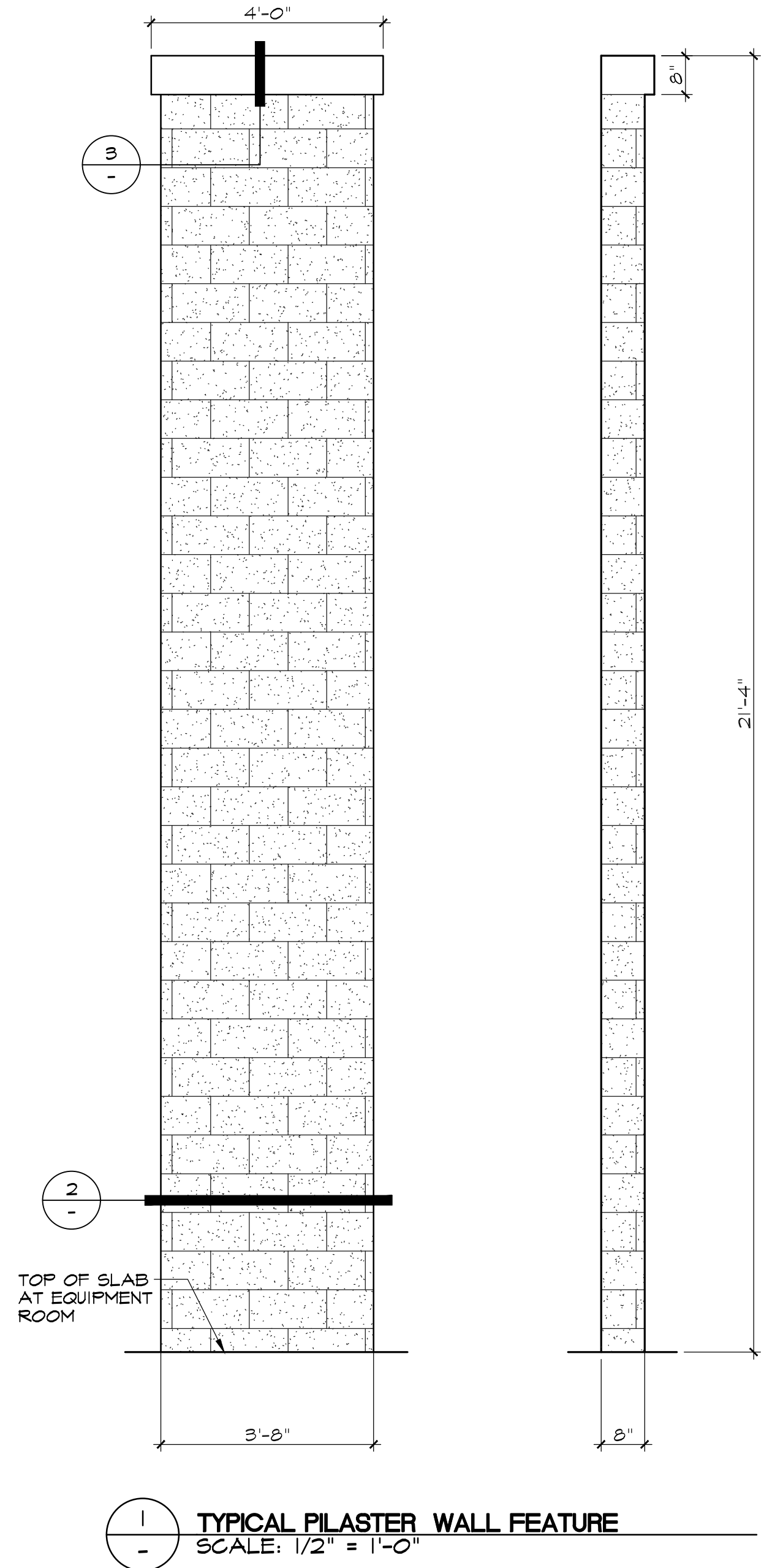
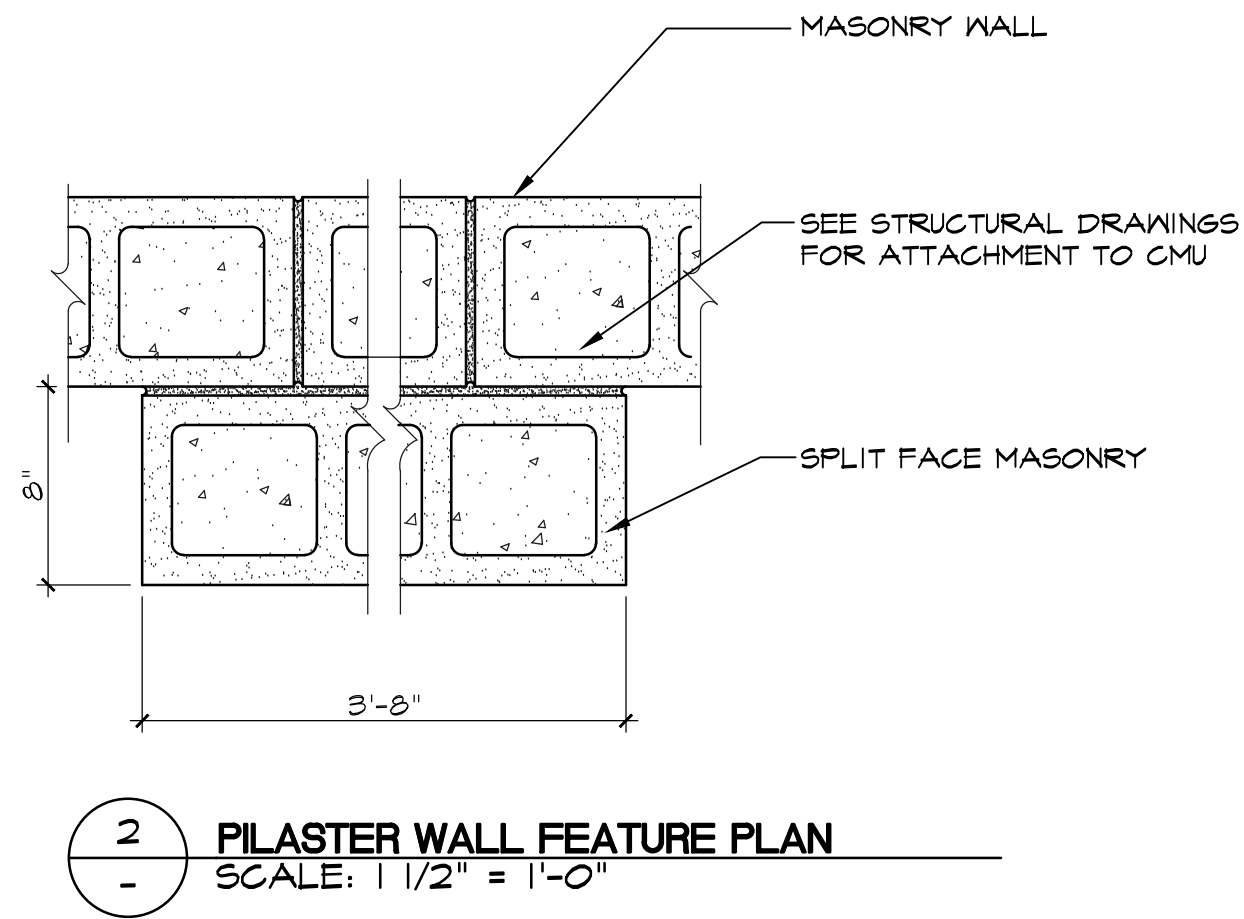
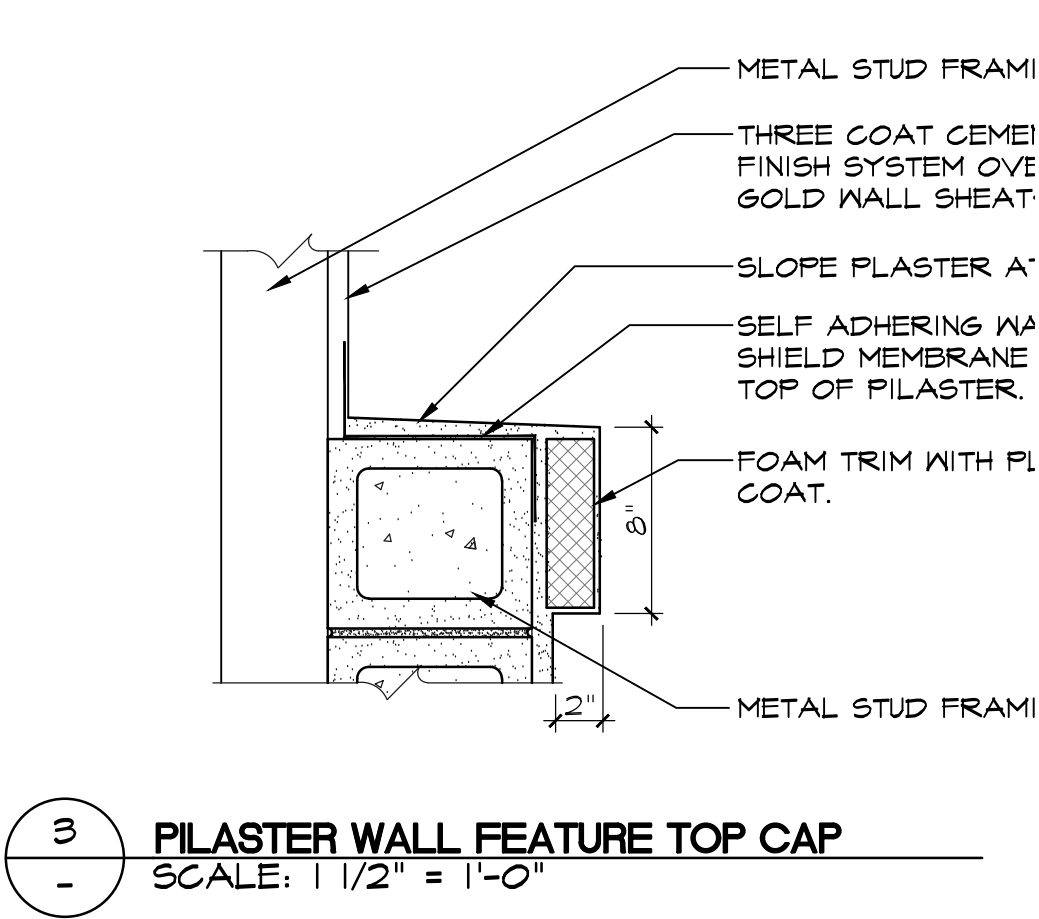
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PLANNING DOCUMENTS

A4.3

NOTE:
ALL EXPOSED CONCRETE TO HAVE SACK FINISH AT FOOTINGS
FOR ARCADE AND PILASTERS (TYPICAL)



CRM Architects & Planners, Inc.
Carissimi Rohrer McMullen Architects and Planners, Inc.
5800 Stanford Ranch Road #720, Rocklin CA 95765
phone: (916) 451-1500

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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

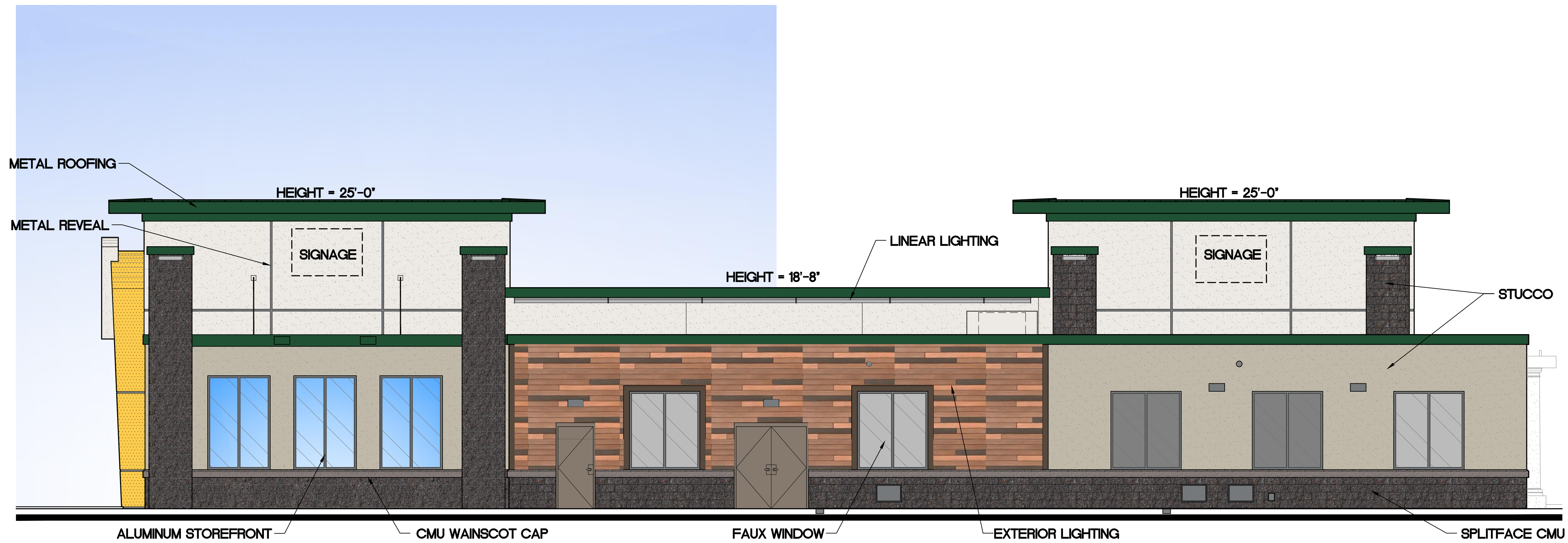
PILASTER ELEVATIONS

DATE: MARCH 2021
CRM PROJECT #: 2019

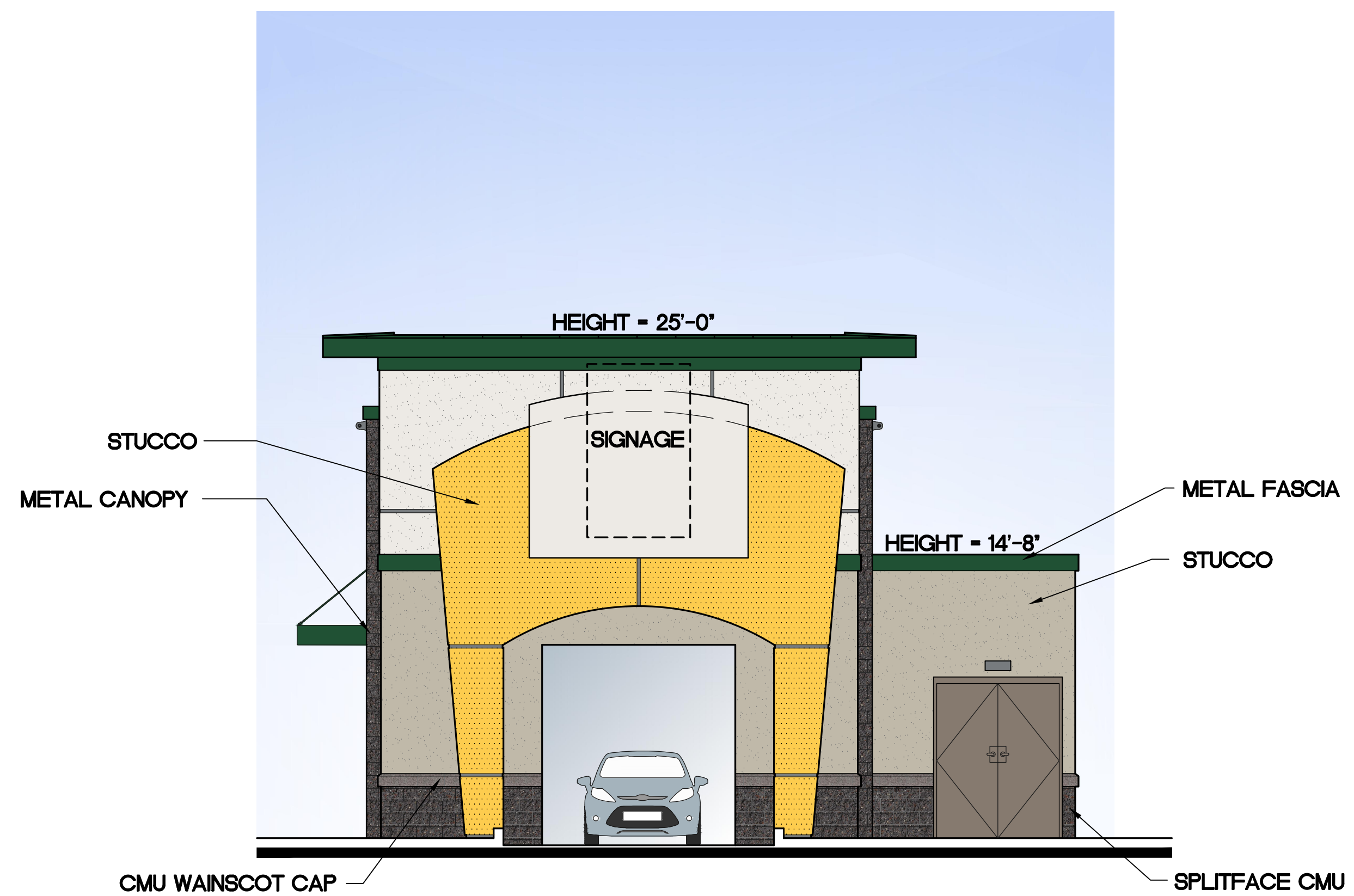
LICENSED ARCHITECT
CARISSIMI ROHRER
NO. C-29480
REN. 11/30/21
STATE OF CALIFORNIA

PLANNING DOCUMENTS

A4.4



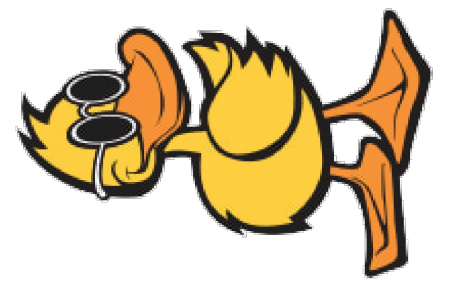
1 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



2 WEST ELEVATION
SCALE: 3/16" = 1'-0"

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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

COLOR BUILDING
ELEVATIONS

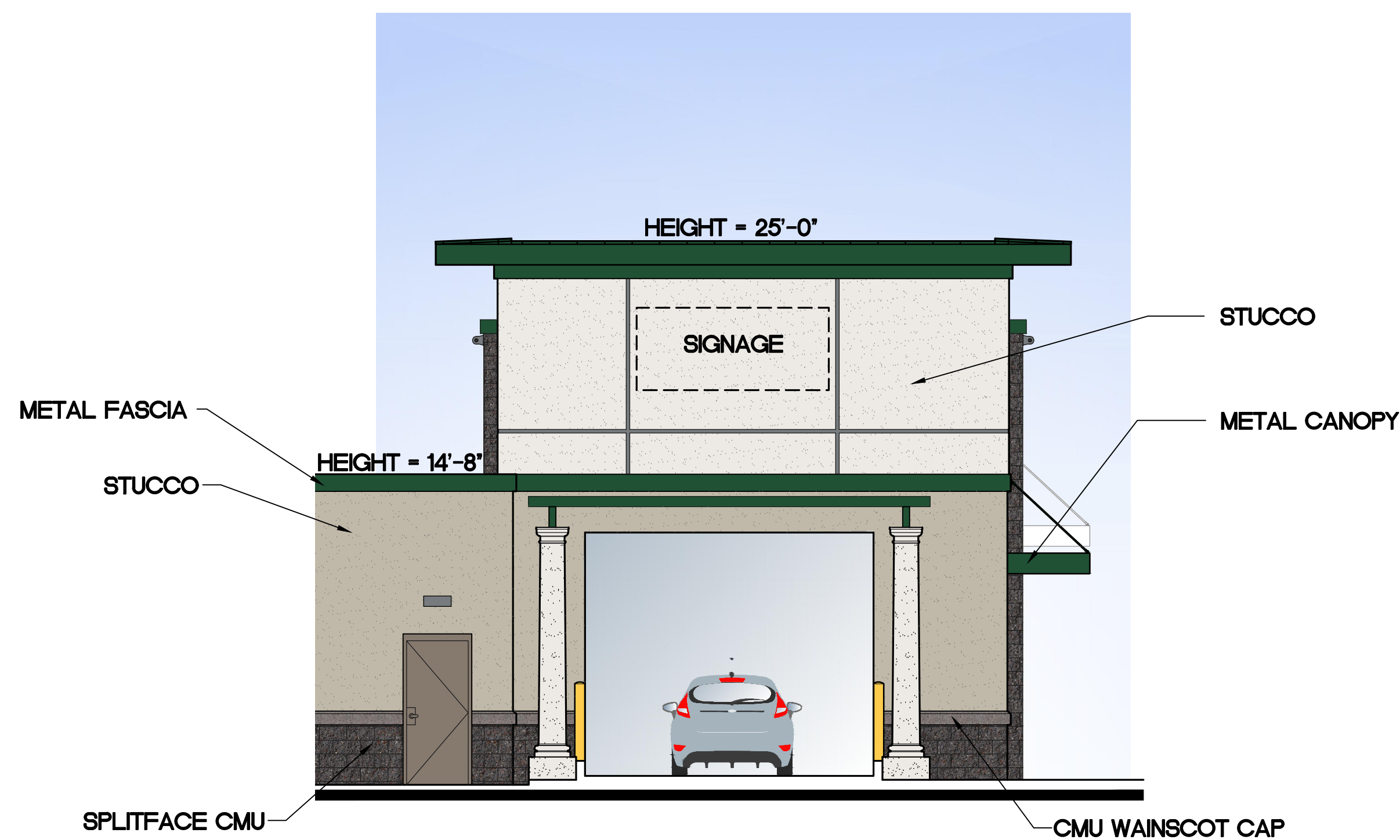
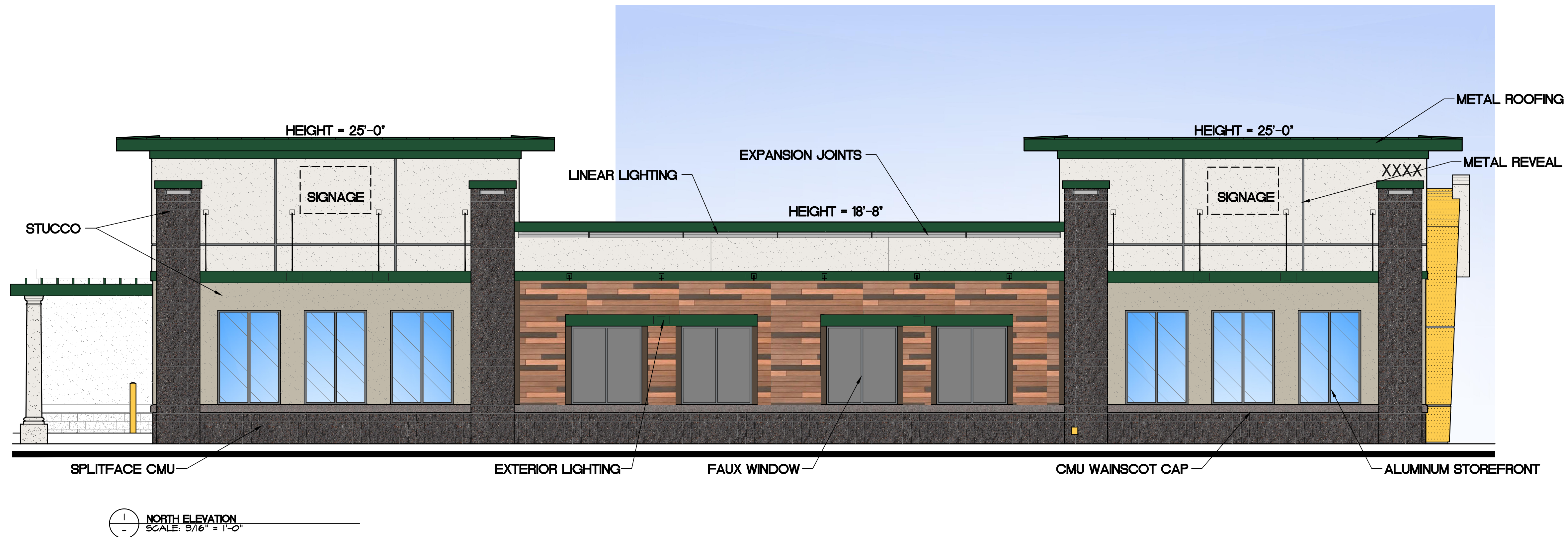
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CRM PROJECT #: 2019

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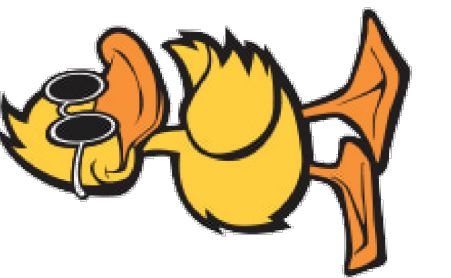
PLANNING DOCUMENTS

A4.5



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REVISIONS

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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

COLORED BUILDING ELEVATIONS

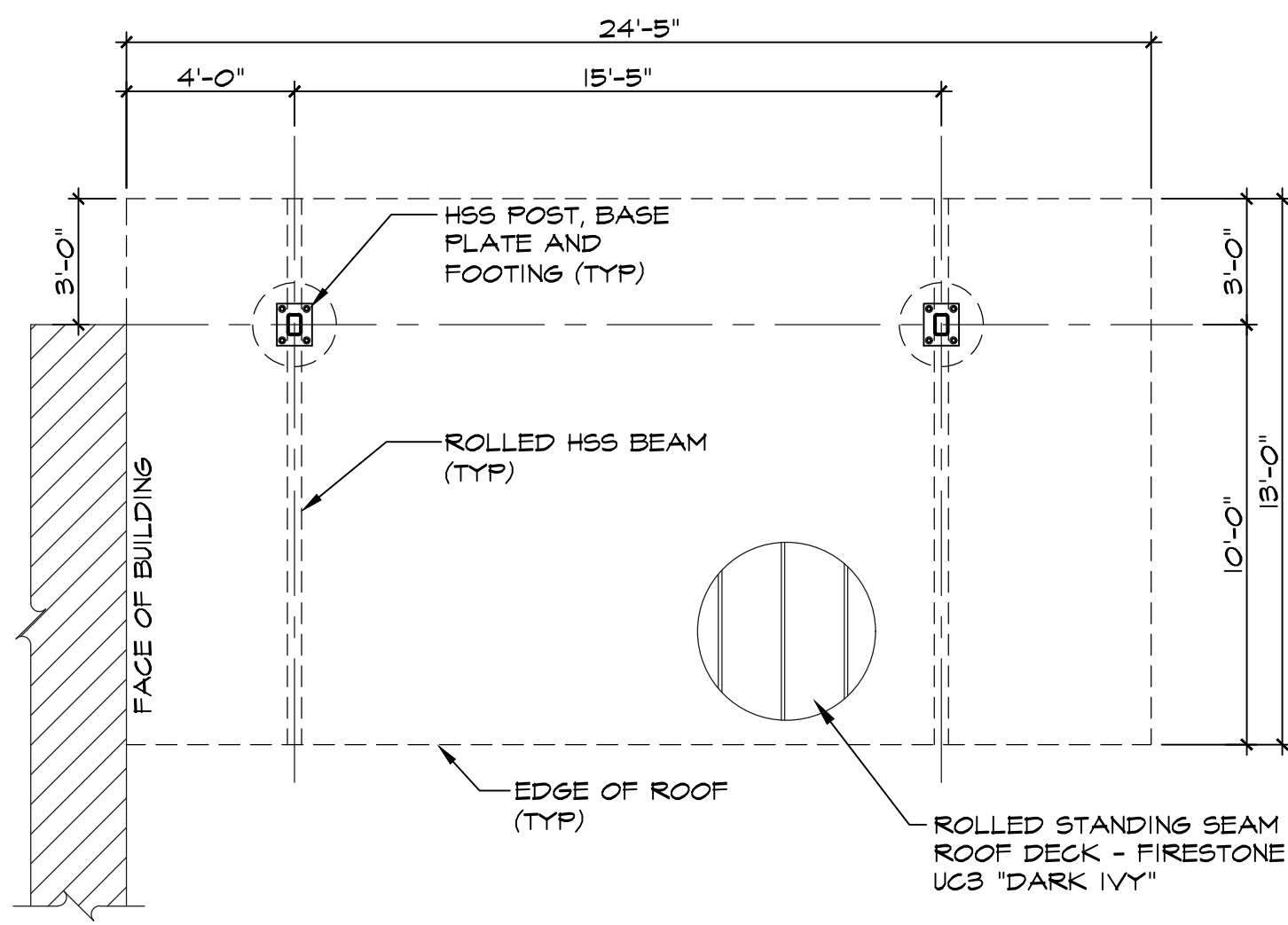
DATE: MARCH 2021
CRM PROJECT #: 2019

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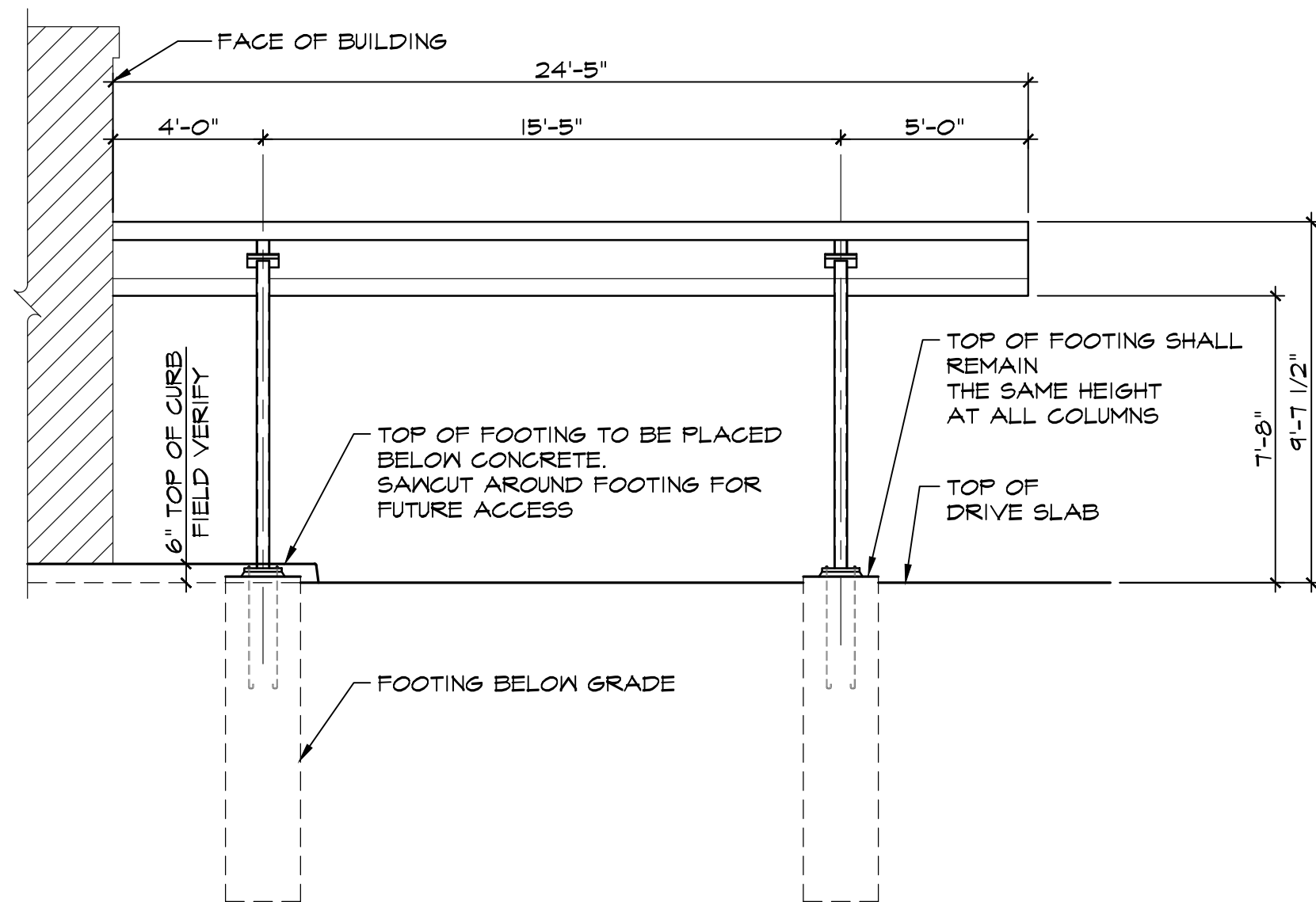


PLANNING DOCUMENTS

A4.6



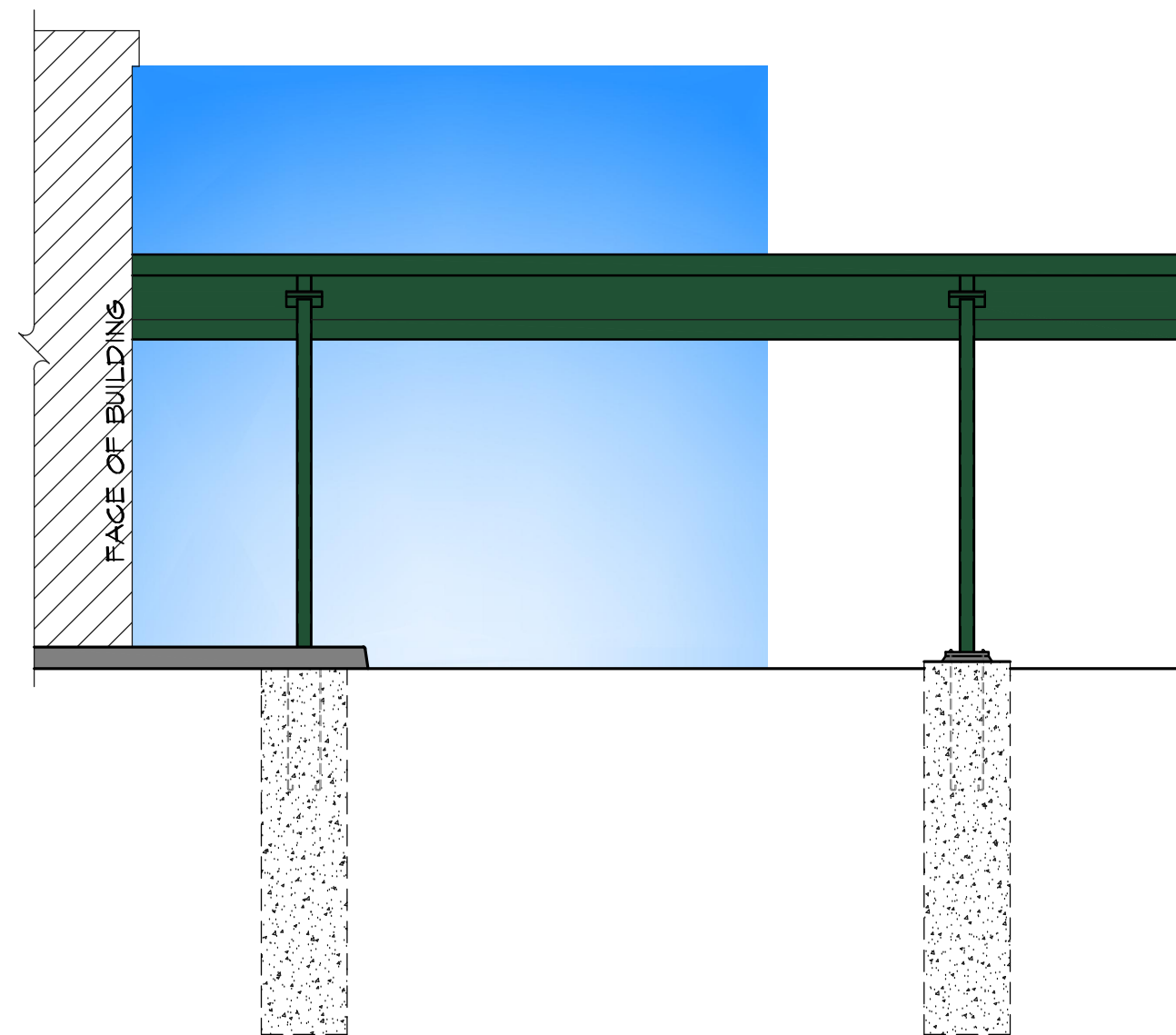
1
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PAY STATION CANOPY PLAN
SCALE: 1/4" = 1'-0"



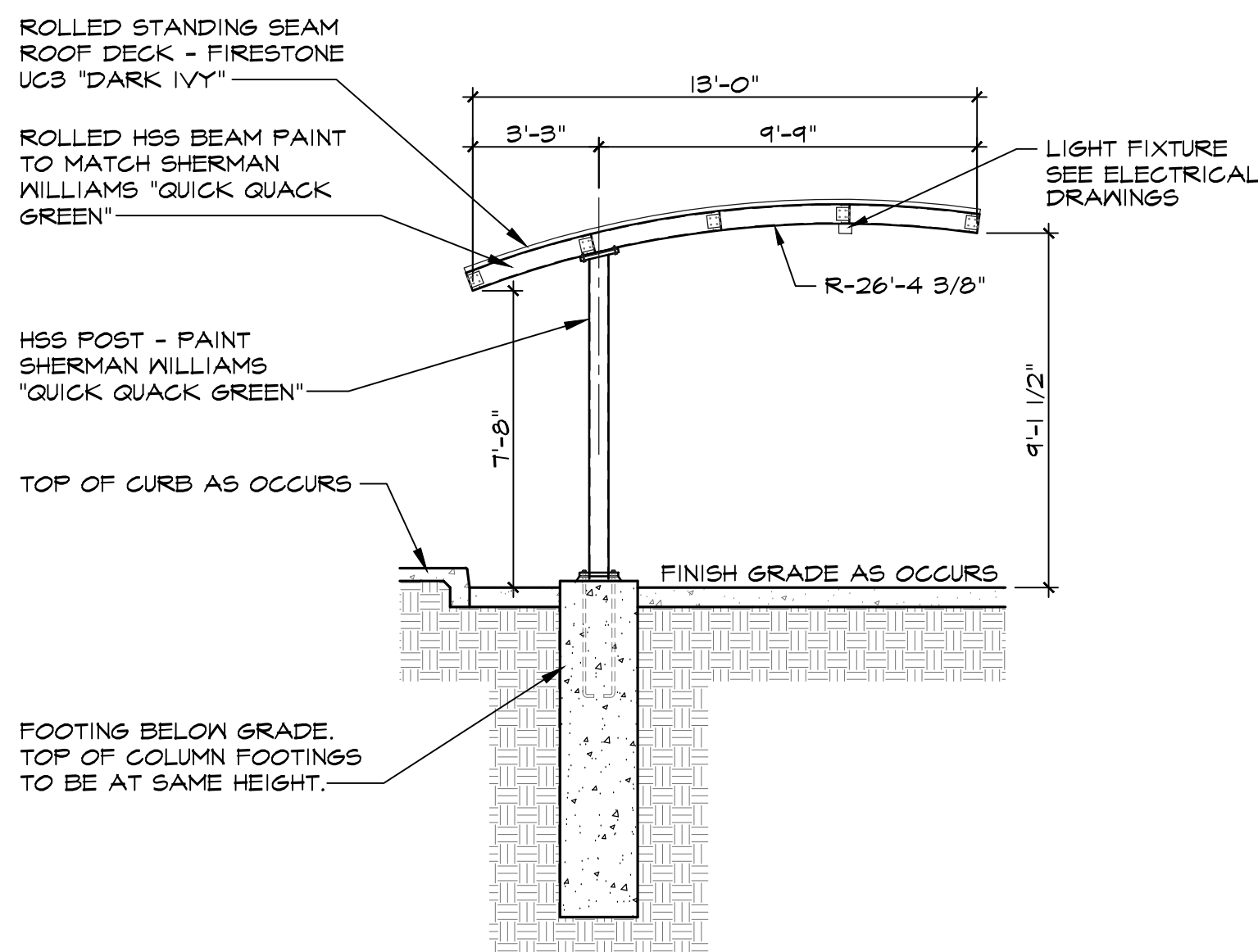
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PAY STATION CANOPY ELEVATION
SCALE: 1/4" = 1'-0"



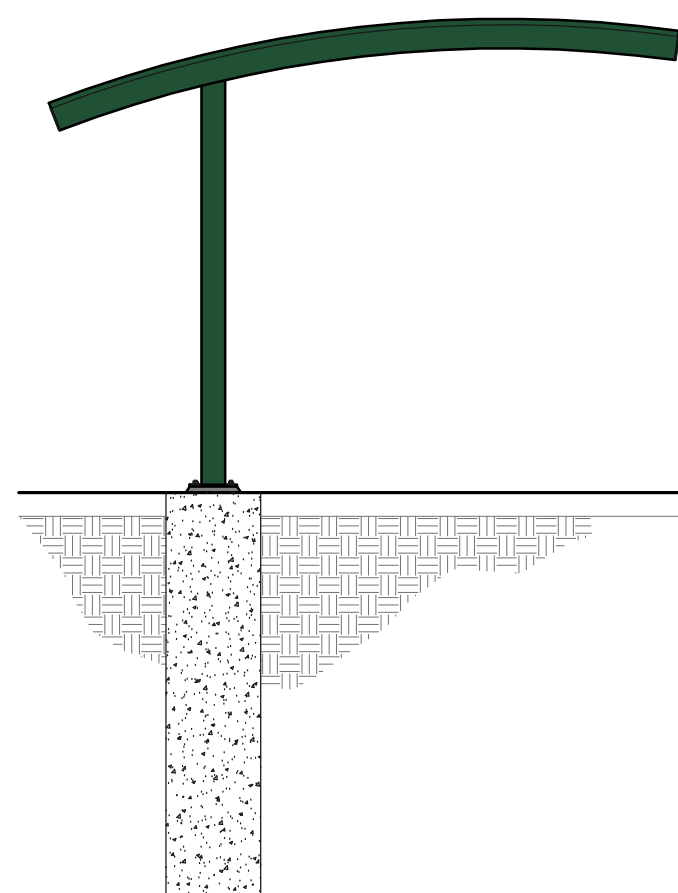
3
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PAY STATION COLOR PLAN VIEW
SCALE: 1/4" = 1'-0"



4
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PAY STATION CANOPY COLOR ELEVATION
SCALE: 1/4" = 1'-0"

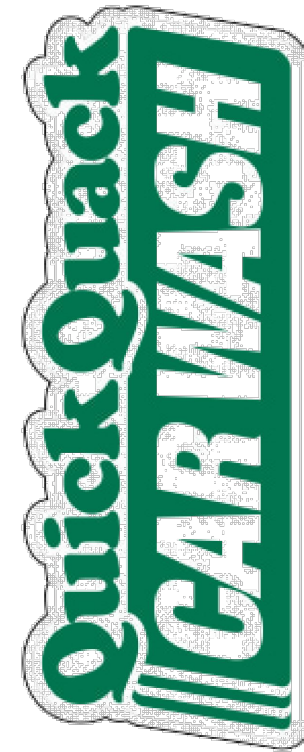
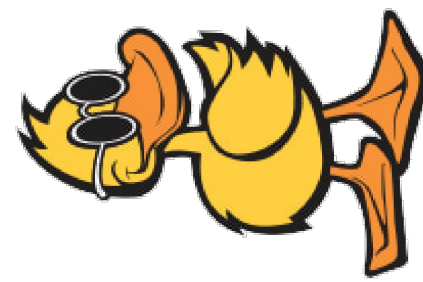


A-A
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TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"



5
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PROPOSED CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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REVISIONS

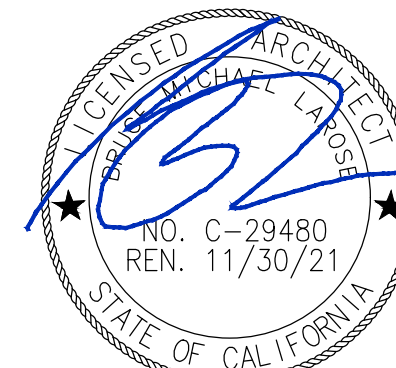
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
RIVERSIDE, CA.

PAY CANOPY

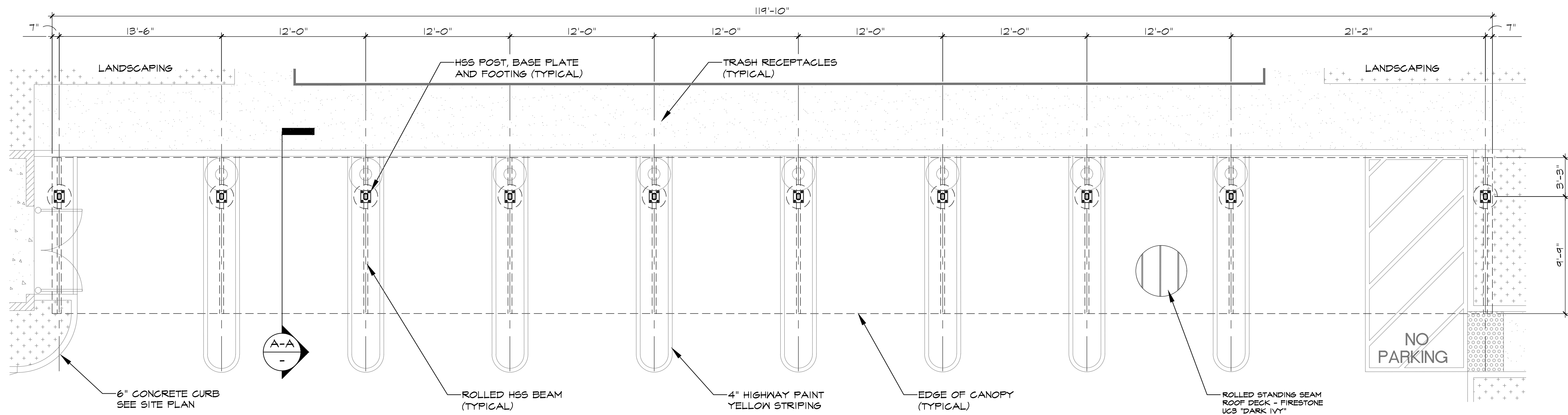
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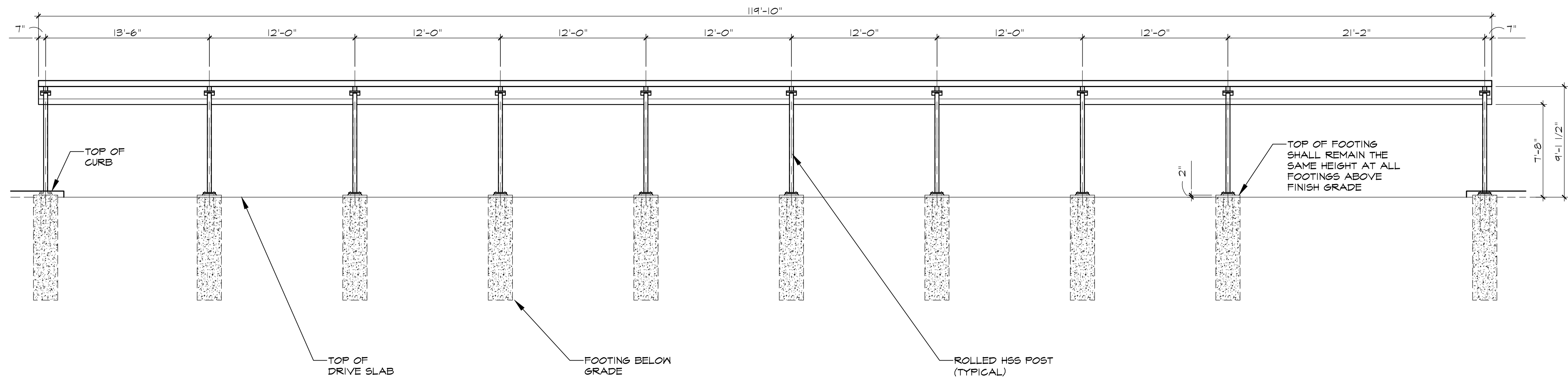


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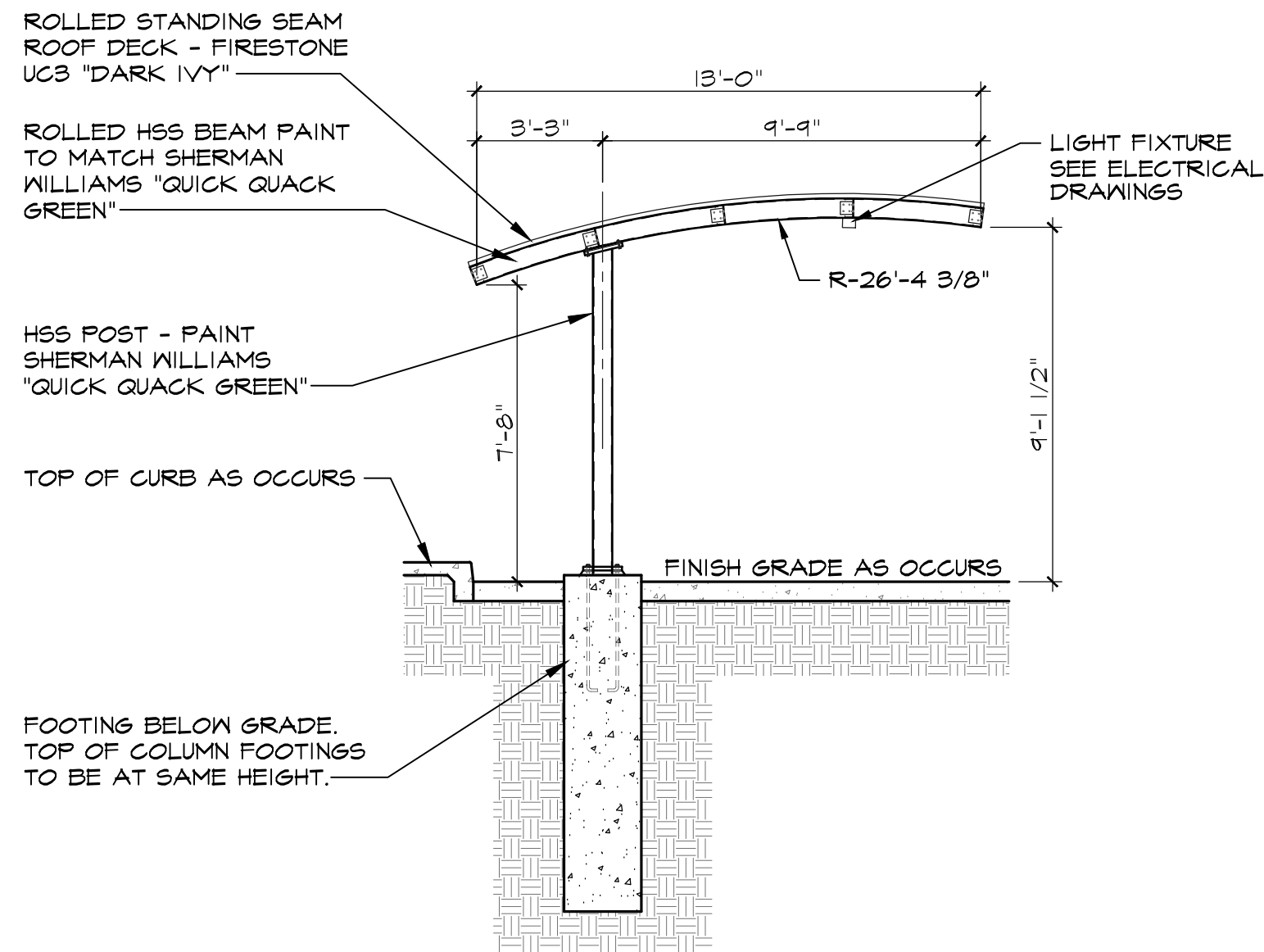
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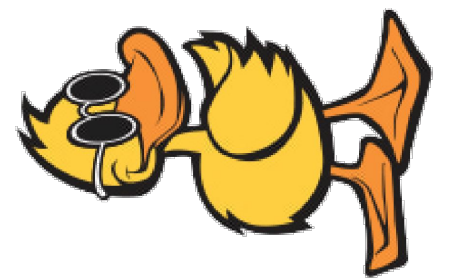
1
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VACUUM CANOPY PLAN
SCALE: 3/16" = 1'-0"



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VACUUM CANOPY ELEVATION
SCALE: 3/16" = 1'-0"



A-A
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TYPICAL CANOPY SECTION
SCALE: 1/4" = 1'-0"



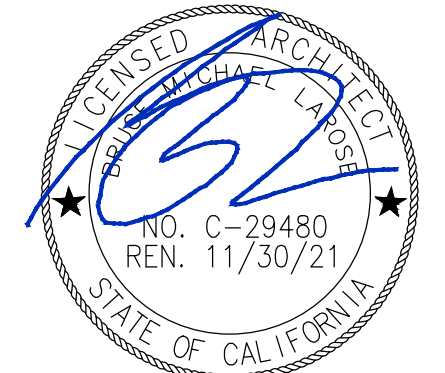
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QUICK QUACK CAR WASH
STORE #4-212
7200 ARLINGTON AVE.
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VACUUM CANOPY

DATE: MARCH 2021
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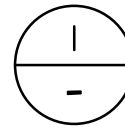
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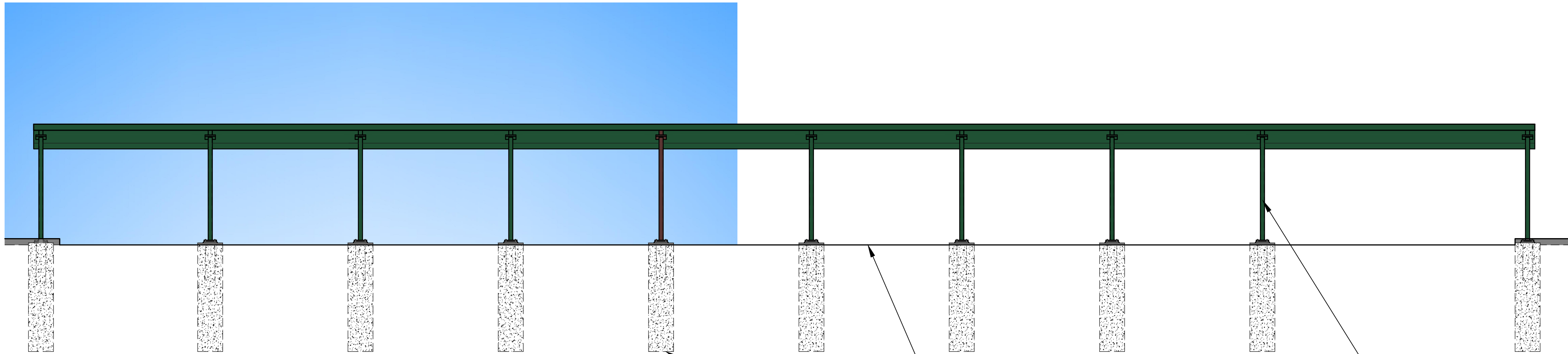
PLANNING DOCUMENTS



ROLLED STANDING SEAM
ROOF DECK - FIRESTONE
UG3 "DARK IVY"



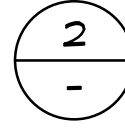
1
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COLORED VACUUM CANOPY PLAN
SCALE: 3/16" = 1'-0"



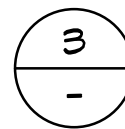
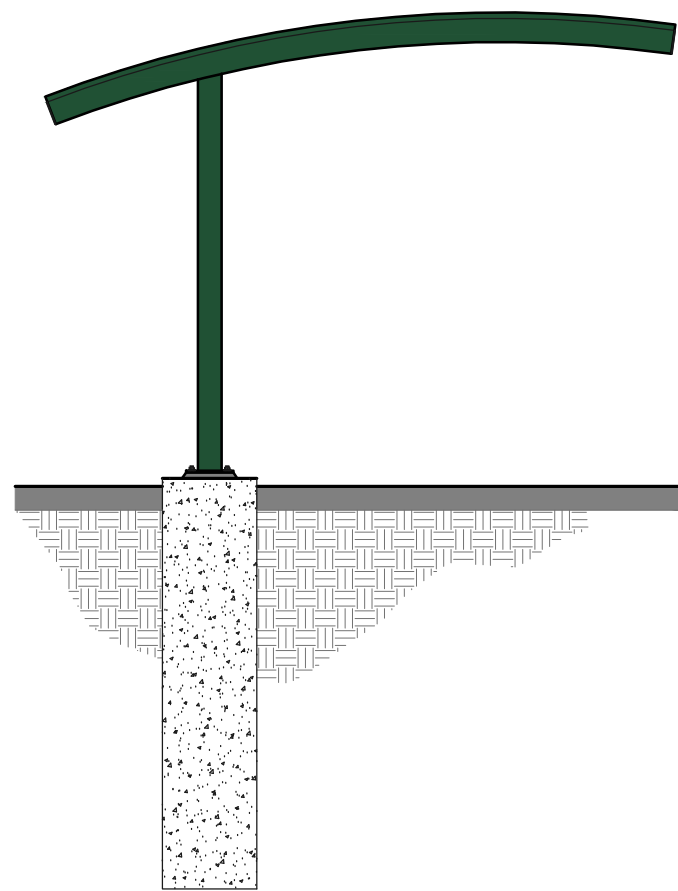
FOOTING BELOW
GRADE

TOP OF
DRIVE SLAB

ROLLED HSS POST
(TYPICAL)

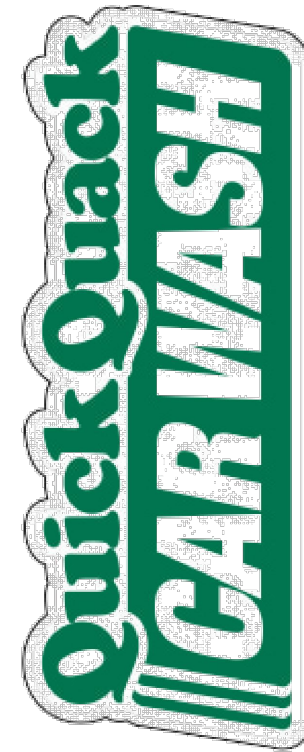
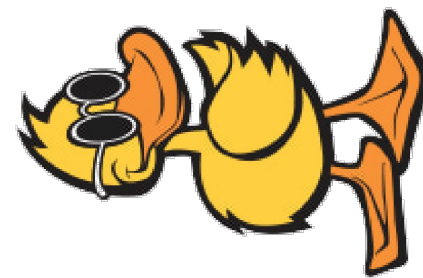


2
-
COLORED VACUUM CANOPY ELEVATION
SCALE: 3/16" = 1'-0"



3
-
COLORED TYPICAL CANOPY SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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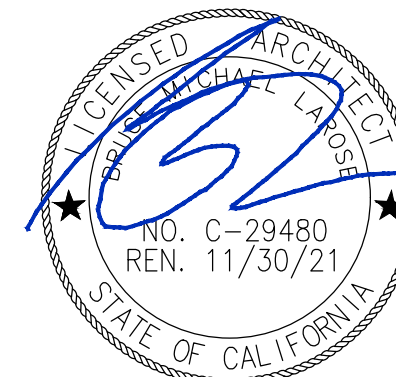
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QUICK QUACK CAR WASH
STORE #4-212
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RIVERSIDE, CA.

COLORED VACUUM CANOPY

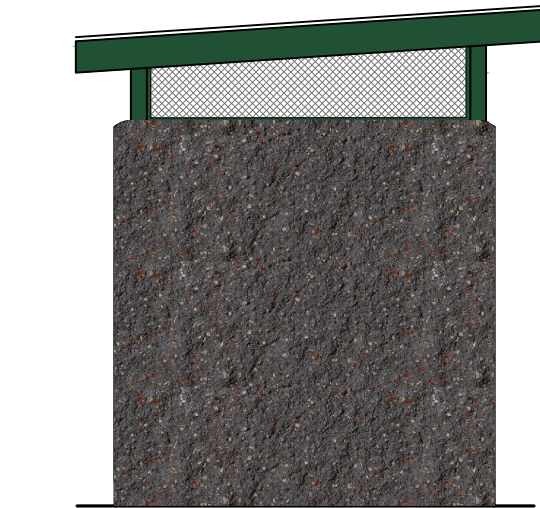
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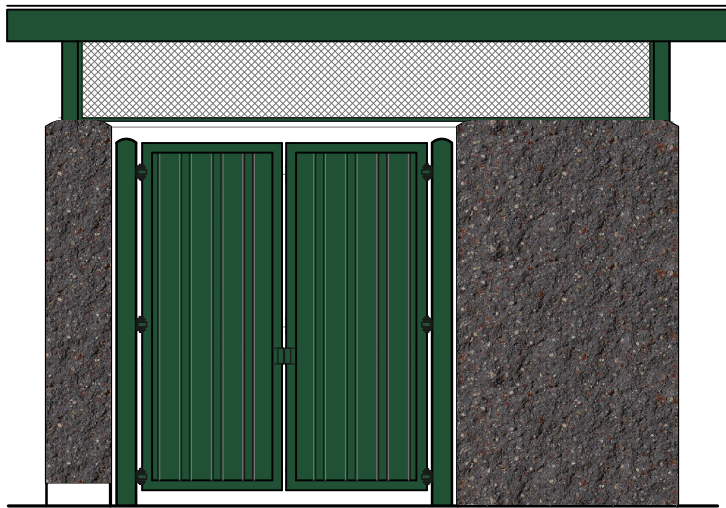


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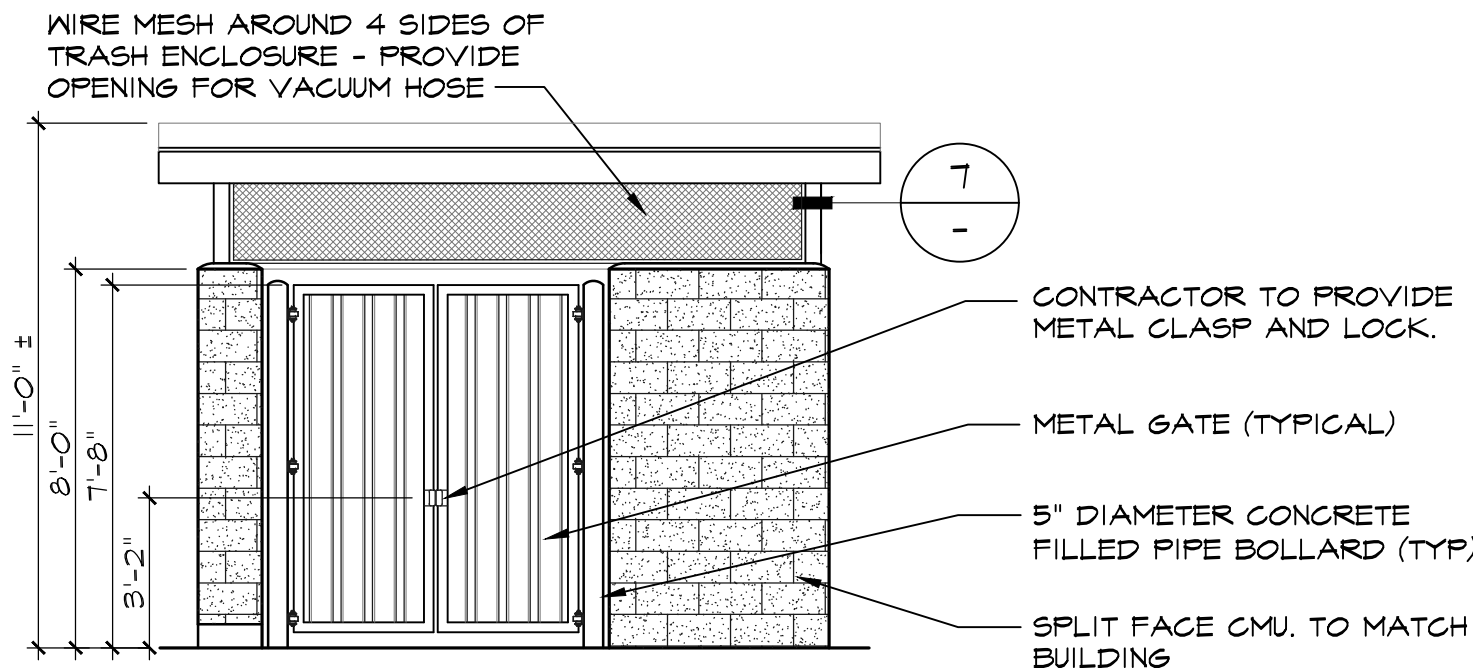
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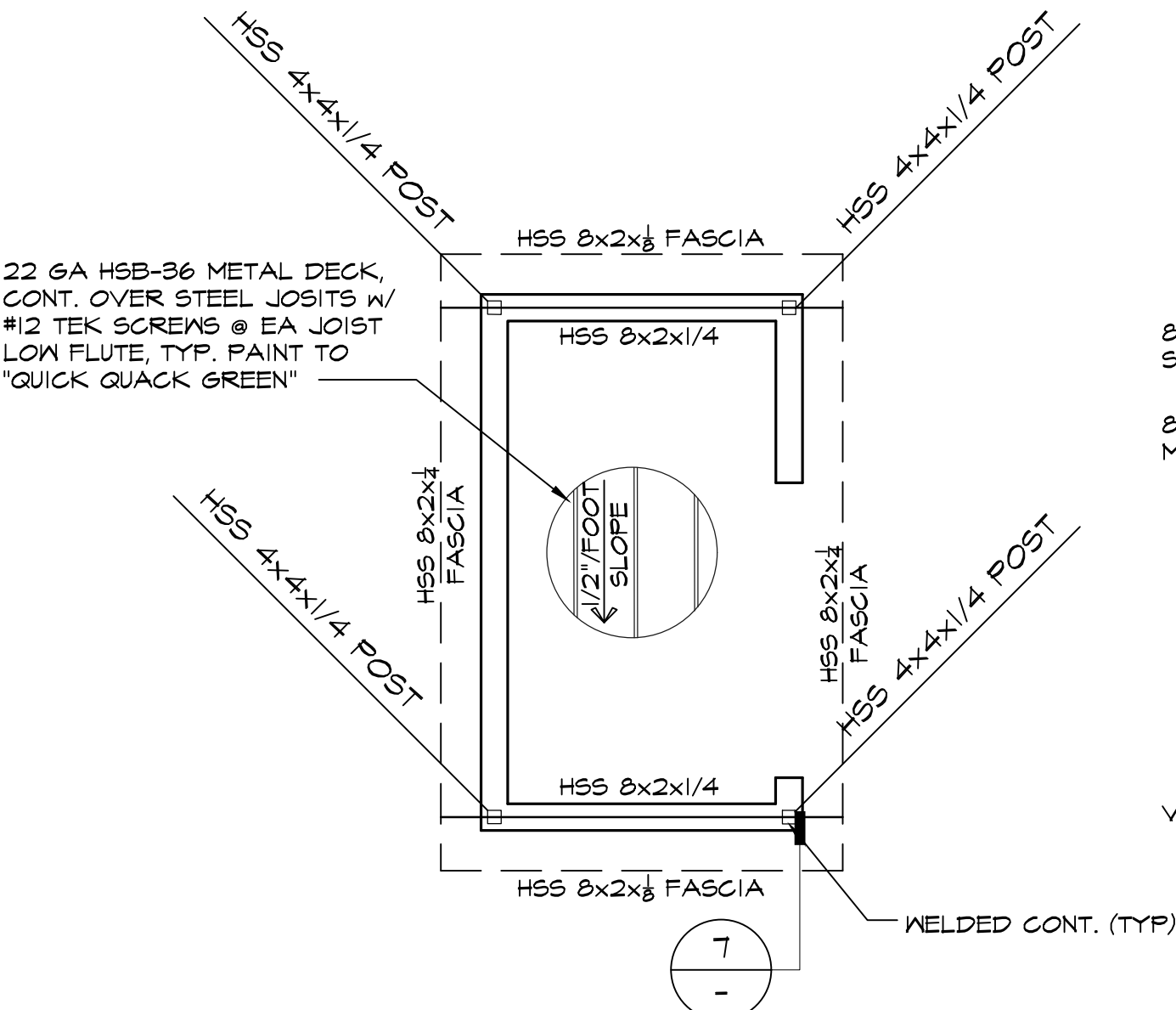
VACUUM ENCLOSURE SIDE ELEVATION



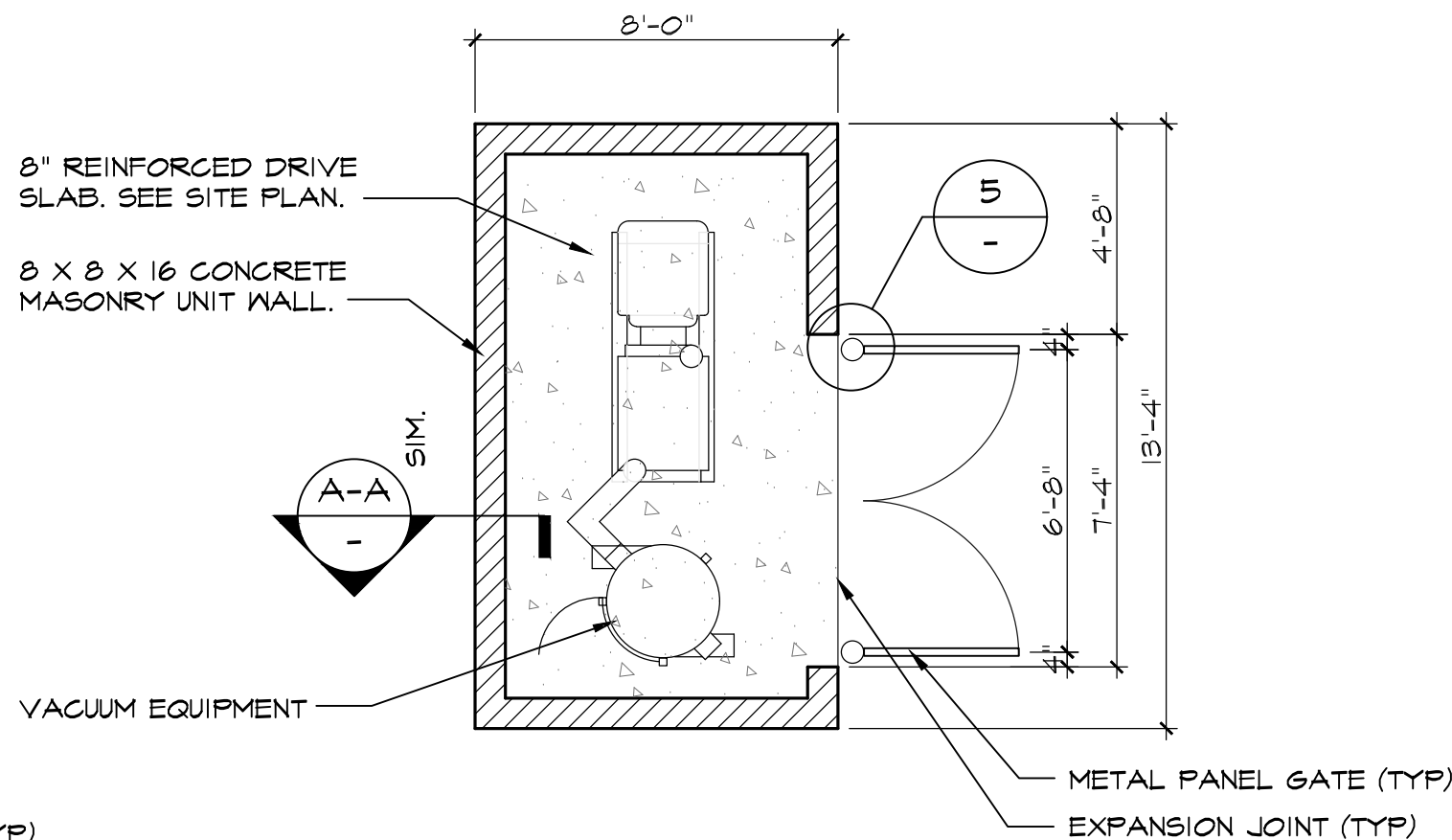
VACUUM ENCLOSURE FRONT ELEVATION



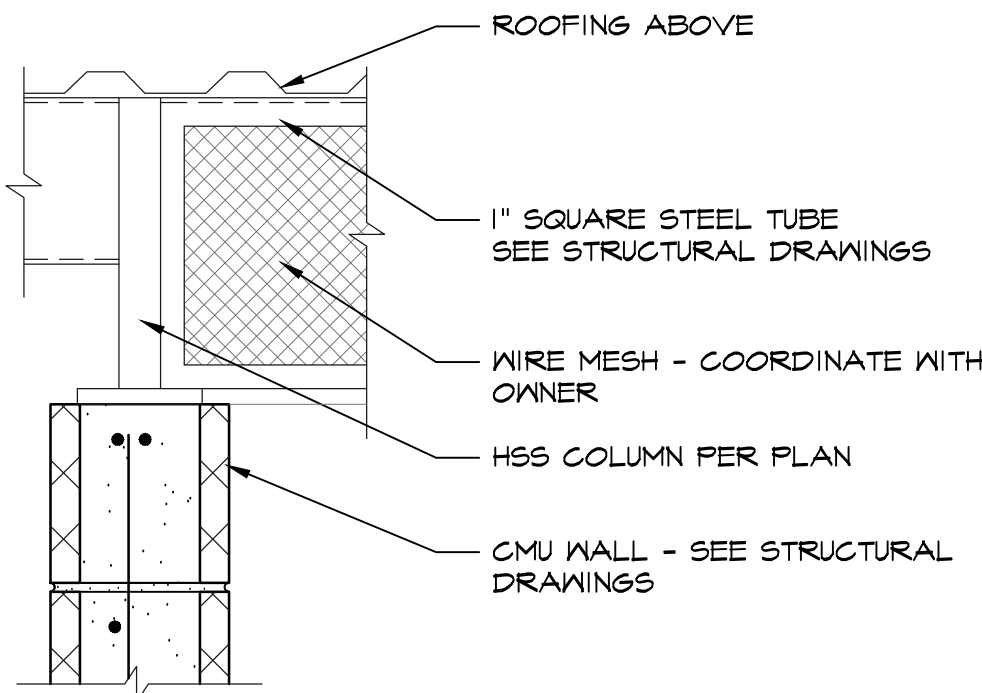
VACUUM ENCLOSURE FRONT ELEVATION



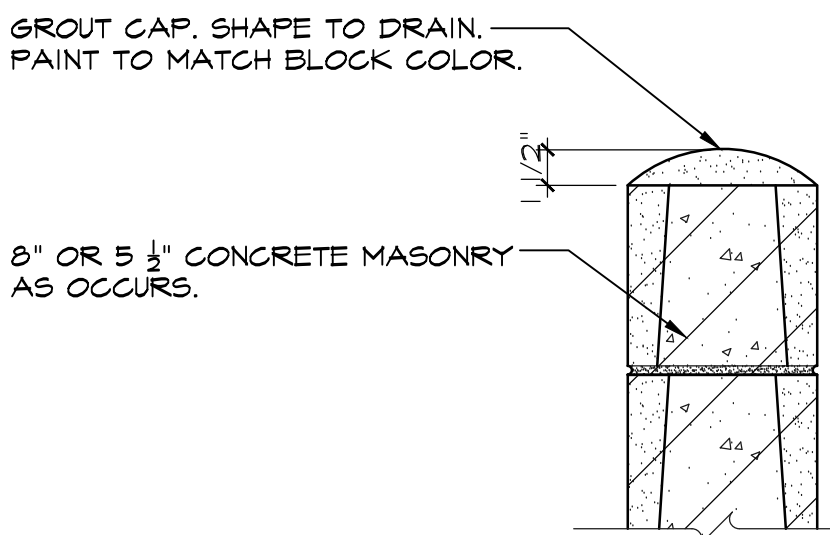
2 VACUUM ENCLOSURE ROOF PLAN
SCALE: 1/4" = 1'-0"



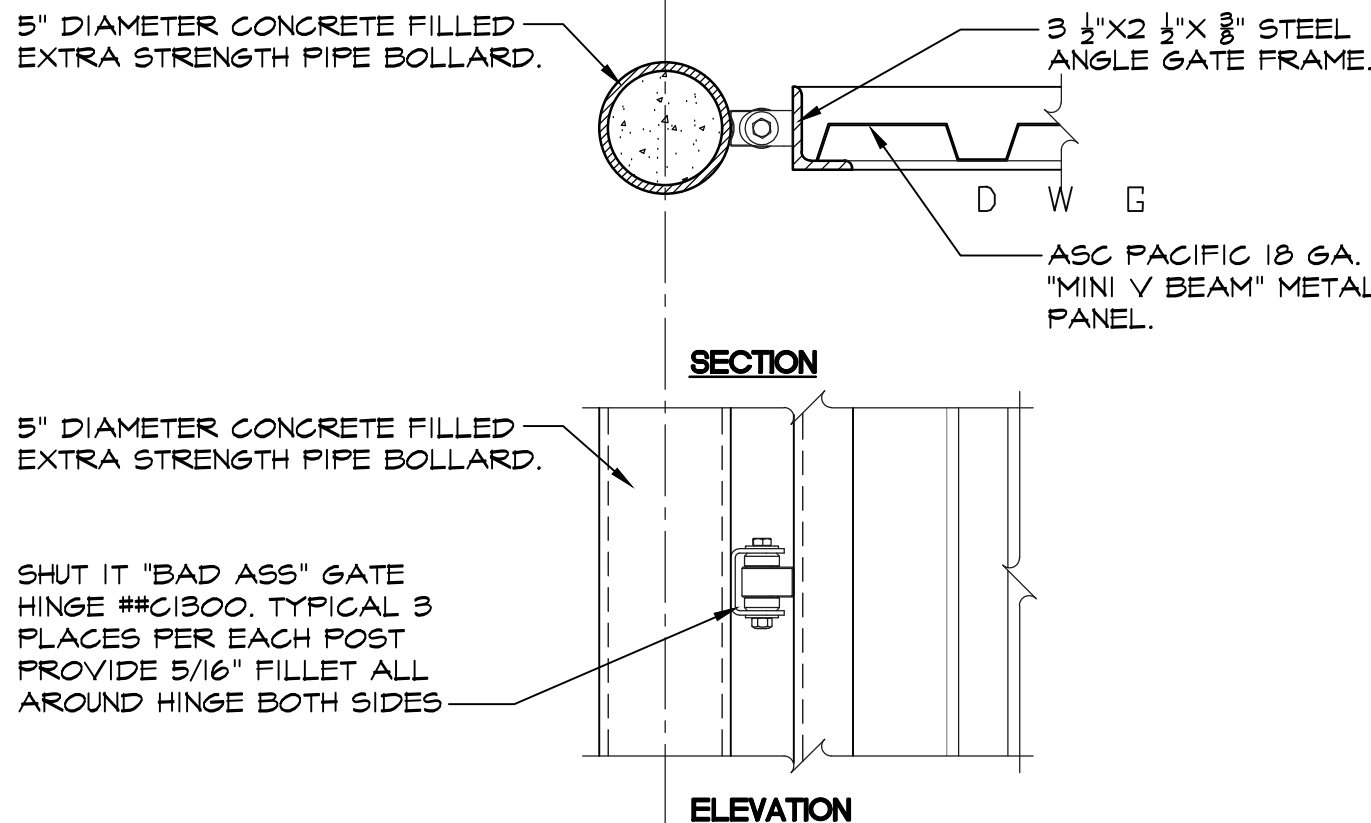
1 MASONRY VACUUM ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"



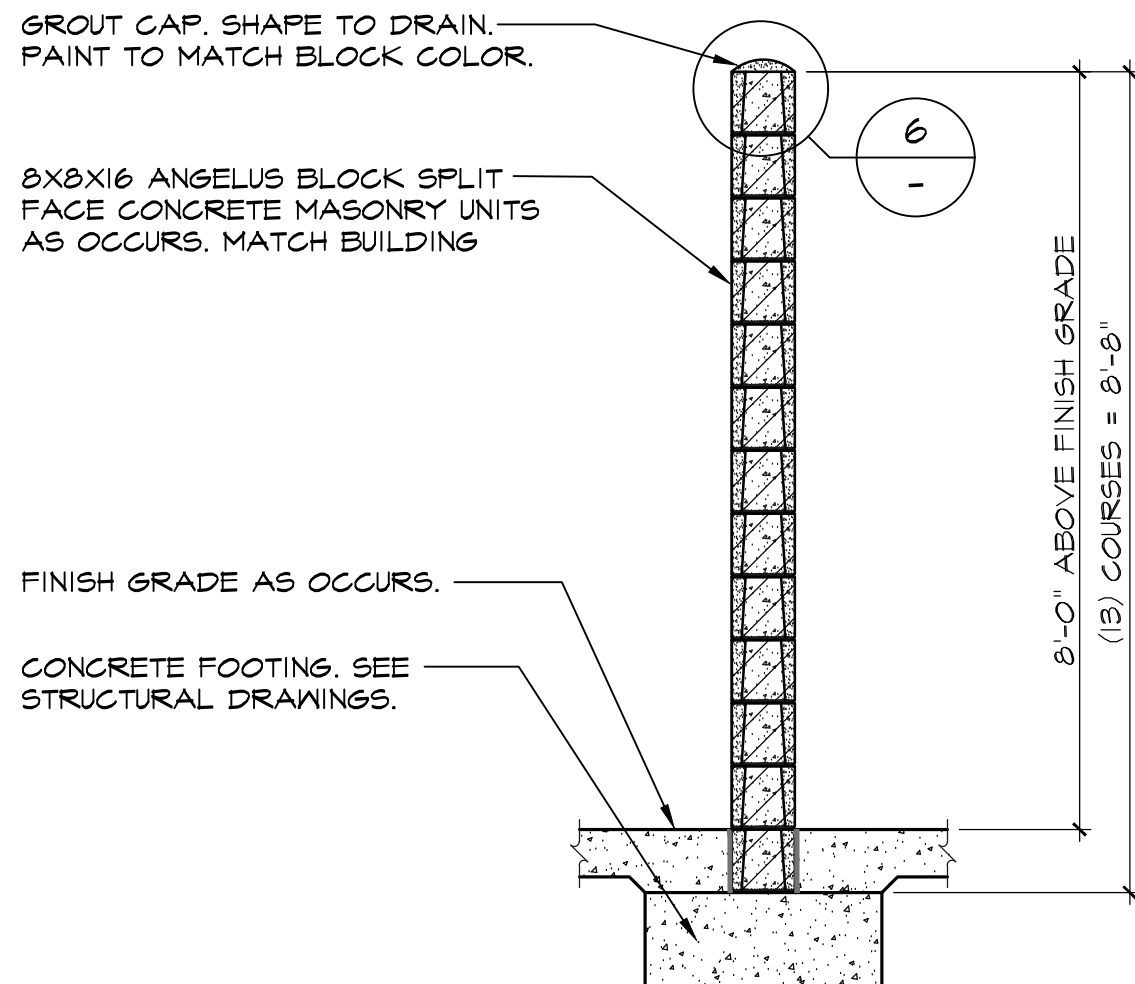
7 MESH DETAIL
SCALE: 1 1/2" = 1'-0"



6 WALL CAP DETAIL
SCALE: 1 1/2" = 1'-0"



5 GATE HINGE DETAIL
SCALE: 1 1/2" = 1'-0"



A-A WALL SECTION
SCALE: 1/2" = 1'-0"

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QUICK QUACK CAR WAS
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SITE ELEMENTS

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CRM PROJECT #:

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