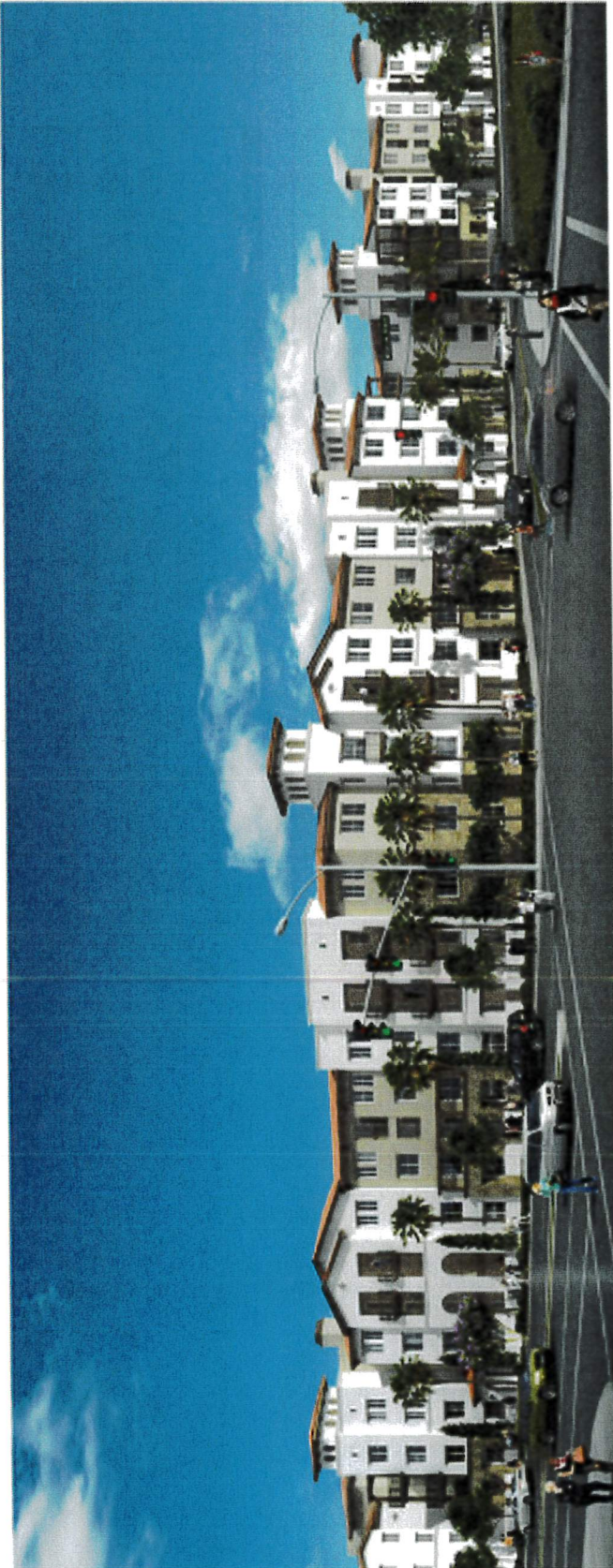


SHEET INDEX

| SHEET | DESCRIPTION |
|-------|---------------|
| 1000 | GENERAL NOTES |
| 1001 | GENERAL NOTES |
| 1002 | GENERAL NOTES |
| 1003 | GENERAL NOTES |
| 1004 | GENERAL NOTES |
| 1005 | GENERAL NOTES |
| 1006 | GENERAL NOTES |
| 1007 | GENERAL NOTES |
| 1008 | GENERAL NOTES |
| 1009 | GENERAL NOTES |
| 1010 | GENERAL NOTES |
| 1011 | GENERAL NOTES |
| 1012 | GENERAL NOTES |
| 1013 | GENERAL NOTES |
| 1014 | GENERAL NOTES |
| 1015 | GENERAL NOTES |
| 1016 | GENERAL NOTES |
| 1017 | GENERAL NOTES |
| 1018 | GENERAL NOTES |
| 1019 | GENERAL NOTES |
| 1020 | GENERAL NOTES |
| 1021 | GENERAL NOTES |
| 1022 | GENERAL NOTES |
| 1023 | GENERAL NOTES |
| 1024 | GENERAL NOTES |
| 1025 | GENERAL NOTES |
| 1026 | GENERAL NOTES |
| 1027 | GENERAL NOTES |
| 1028 | GENERAL NOTES |
| 1029 | GENERAL NOTES |
| 1030 | GENERAL NOTES |
| 1031 | GENERAL NOTES |
| 1032 | GENERAL NOTES |
| 1033 | GENERAL NOTES |
| 1034 | GENERAL NOTES |
| 1035 | GENERAL NOTES |
| 1036 | GENERAL NOTES |
| 1037 | GENERAL NOTES |
| 1038 | GENERAL NOTES |
| 1039 | GENERAL NOTES |
| 1040 | GENERAL NOTES |
| 1041 | GENERAL NOTES |
| 1042 | GENERAL NOTES |
| 1043 | GENERAL NOTES |
| 1044 | GENERAL NOTES |
| 1045 | GENERAL NOTES |
| 1046 | GENERAL NOTES |
| 1047 | GENERAL NOTES |
| 1048 | GENERAL NOTES |
| 1049 | GENERAL NOTES |
| 1050 | GENERAL NOTES |
| 1051 | GENERAL NOTES |
| 1052 | GENERAL NOTES |
| 1053 | GENERAL NOTES |
| 1054 | GENERAL NOTES |
| 1055 | GENERAL NOTES |
| 1056 | GENERAL NOTES |
| 1057 | GENERAL NOTES |
| 1058 | GENERAL NOTES |
| 1059 | GENERAL NOTES |
| 1060 | GENERAL NOTES |
| 1061 | GENERAL NOTES |
| 1062 | GENERAL NOTES |
| 1063 | GENERAL NOTES |
| 1064 | GENERAL NOTES |
| 1065 | GENERAL NOTES |
| 1066 | GENERAL NOTES |
| 1067 | GENERAL NOTES |
| 1068 | GENERAL NOTES |
| 1069 | GENERAL NOTES |
| 1070 | GENERAL NOTES |
| 1071 | GENERAL NOTES |
| 1072 | GENERAL NOTES |
| 1073 | GENERAL NOTES |
| 1074 | GENERAL NOTES |
| 1075 | GENERAL NOTES |
| 1076 | GENERAL NOTES |
| 1077 | GENERAL NOTES |
| 1078 | GENERAL NOTES |
| 1079 | GENERAL NOTES |
| 1080 | GENERAL NOTES |
| 1081 | GENERAL NOTES |
| 1082 | GENERAL NOTES |
| 1083 | GENERAL NOTES |
| 1084 | GENERAL NOTES |
| 1085 | GENERAL NOTES |
| 1086 | GENERAL NOTES |
| 1087 | GENERAL NOTES |
| 1088 | GENERAL NOTES |
| 1089 | GENERAL NOTES |
| 1090 | GENERAL NOTES |
| 1091 | GENERAL NOTES |
| 1092 | GENERAL NOTES |
| 1093 | GENERAL NOTES |
| 1094 | GENERAL NOTES |
| 1095 | GENERAL NOTES |
| 1096 | GENERAL NOTES |
| 1097 | GENERAL NOTES |
| 1098 | GENERAL NOTES |
| 1099 | GENERAL NOTES |
| 1100 | GENERAL NOTES |
| 1101 | GENERAL NOTES |
| 1102 | GENERAL NOTES |
| 1103 | GENERAL NOTES |
| 1104 | GENERAL NOTES |
| 1105 | GENERAL NOTES |
| 1106 | GENERAL NOTES |
| 1107 | GENERAL NOTES |
| 1108 | GENERAL NOTES |
| 1109 | GENERAL NOTES |
| 1110 | GENERAL NOTES |
| 1111 | GENERAL NOTES |
| 1112 | GENERAL NOTES |
| 1113 | GENERAL NOTES |
| 1114 | GENERAL NOTES |
| 1115 | GENERAL NOTES |
| 1116 | GENERAL NOTES |
| 1117 | GENERAL NOTES |
| 1118 | GENERAL NOTES |
| 1119 | GENERAL NOTES |
| 1120 | GENERAL NOTES |
| 1121 | GENERAL NOTES |
| 1122 | GENERAL NOTES |
| 1123 | GENERAL NOTES |
| 1124 | GENERAL NOTES |
| 1125 | GENERAL NOTES |
| 1126 | GENERAL NOTES |
| 1127 | GENERAL NOTES |
| 1128 | GENERAL NOTES |
| 1129 | GENERAL NOTES |
| 1130 | GENERAL NOTES |
| 1131 | GENERAL NOTES |
| 1132 | GENERAL NOTES |
| 1133 | GENERAL NOTES |
| 1134 | GENERAL NOTES |
| 1135 | GENERAL NOTES |
| 1136 | GENERAL NOTES |
| 1137 | GENERAL NOTES |
| 1138 | GENERAL NOTES |
| 1139 | GENERAL NOTES |
| 1140 | GENERAL NOTES |
| 1141 | GENERAL NOTES |
| 1142 | GENERAL NOTES |
| 1143 | GENERAL NOTES |
| 1144 | GENERAL NOTES |
| 1145 | GENERAL NOTES |
| 1146 | GENERAL NOTES |
| 1147 | GENERAL NOTES |
| 1148 | GENERAL NOTES |
| 1149 | GENERAL NOTES |
| 1150 | GENERAL NOTES |
| 1151 | GENERAL NOTES |
| 1152 | GENERAL NOTES |
| 1153 | GENERAL NOTES |
| 1154 | GENERAL NOTES |
| 1155 | GENERAL NOTES |
| 1156 | GENERAL NOTES |
| 1157 | GENERAL NOTES |
| 1158 | GENERAL NOTES |
| 1159 | GENERAL NOTES |
| 1160 | GENERAL NOTES |
| 1161 | GENERAL NOTES |
| 1162 | GENERAL NOTES |
| 1163 | GENERAL NOTES |
| 1164 | GENERAL NOTES |
| 1165 | GENERAL NOTES |
| 1166 | GENERAL NOTES |
| 1167 | GENERAL NOTES |
| 1168 | GENERAL NOTES |
| 1169 | GENERAL NOTES |
| 1170 | GENERAL NOTES |
| 1171 | GENERAL NOTES |
| 1172 | GENERAL NOTES |
| 1173 | GENERAL NOTES |
| 1174 | GENERAL NOTES |
| 1175 | GENERAL NOTES |
| 1176 | GENERAL NOTES |
| 1177 | GENERAL NOTES |
| 1178 | GENERAL NOTES |
| 1179 | GENERAL NOTES |
| 1180 | GENERAL NOTES |
| 1181 | GENERAL NOTES |
| 1182 | GENERAL NOTES |
| 1183 | GENERAL NOTES |
| 1184 | GENERAL NOTES |
| 1185 | GENERAL NOTES |
| 1186 | GENERAL NOTES |
| 1187 | GENERAL NOTES |
| 1188 | GENERAL NOTES |
| 1189 | GENERAL NOTES |
| 1190 | GENERAL NOTES |
| 1191 | GENERAL NOTES |
| 1192 | GENERAL NOTES |
| 1193 | GENERAL NOTES |
| 1194 | GENERAL NOTES |
| 1195 | GENERAL NOTES |
| 1196 | GENERAL NOTES |
| 1197 | GENERAL NOTES |
| 1198 | GENERAL NOTES |
| 1199 | GENERAL NOTES |
| 1200 | GENERAL NOTES |



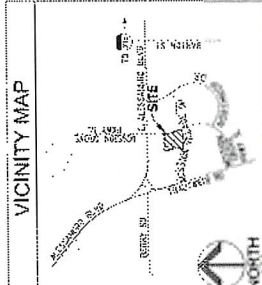
Project Team
ANTON MISSION GROVE, LLC
14000 E. 14th Street, Suite 200
San Jose, CA 95131
Contact: VAHRESSA GARZA

SEBASTIAN ARCHITECTS
PACIFIC DESIGN GROUP
1000 Broadway, Suite 1000
San Francisco, CA 94111
Contact: SEBASTIAN ARCHITECTS

LAURENCE ARCHITECTS
1000 Broadway, Suite 1000
San Francisco, CA 94111
Contact: DAN DELE

DEVELOPER
1776 Howe Avenue, Suite 100
Berkeley, CA 94709
Contact: ROBERTA WICKS

USING CONSULTANT
AS 2 ASSOCIATES
330 Phoebe Court
Pasadena, CA 91107
Contact: SAHOO DOOR

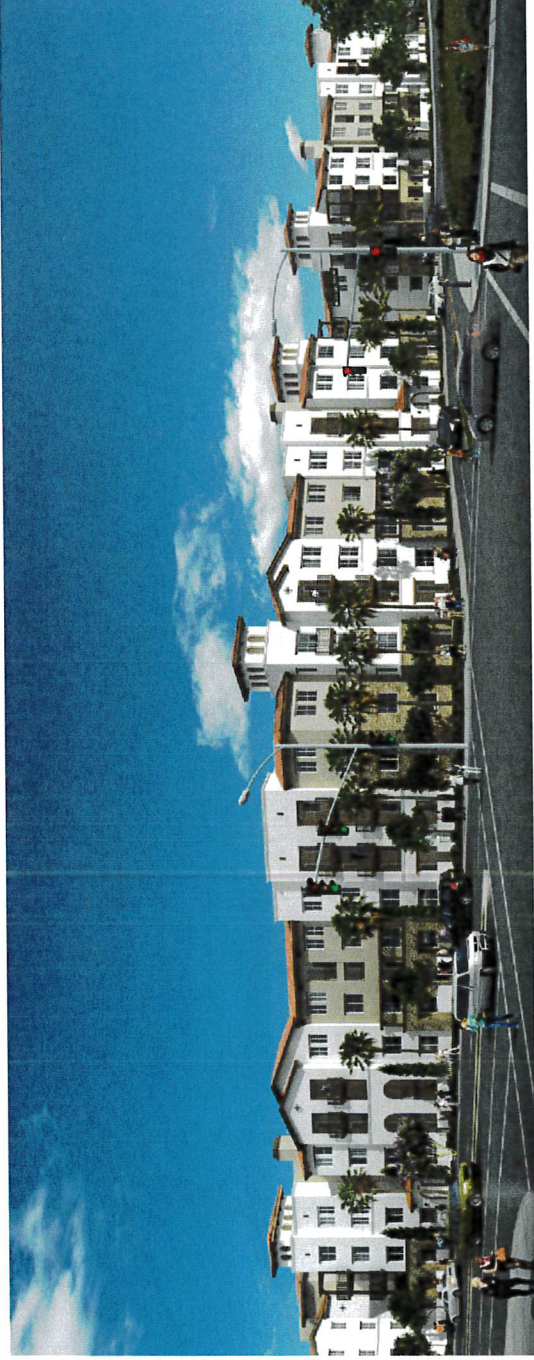


MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC

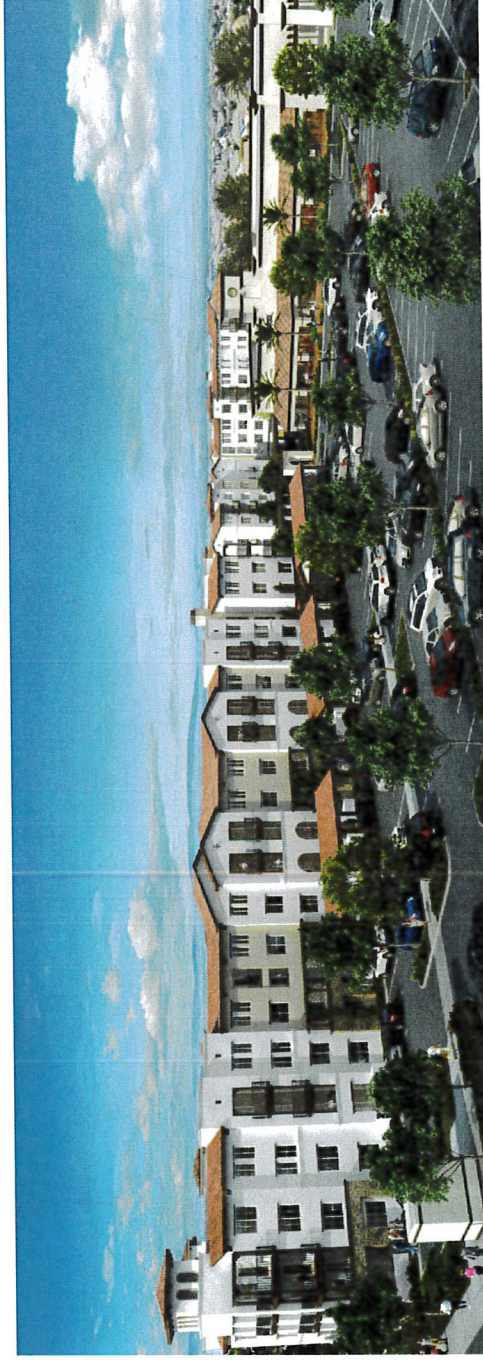


COVER SHEET





View 1: Looking South-West from Mission Grove Project Entry



View 2: Looking South-East from Existing Retail Parking

MISSION GROVE APARTMENTS

Riverside, CA
Anton Mission Grove, LLC



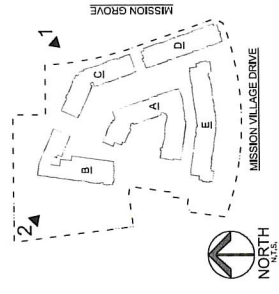
Building Perspectives



A1.0

Scale 2021-505
Job No. 0124-2021
Date

KEY MAP



LEGEND

- RESIDENTIAL PARKING GARAGE
- RESIDENTIAL APARTMENTS
- RESIDENTIAL AMENITY SPACE
- EXISTING RETAIL
- RESIDENTIAL PEDESTRIAN PATH OF TRAVEL
- PUBLIC PEDESTRIAN PATH OF TRAVEL

SITE PLAN DATA:

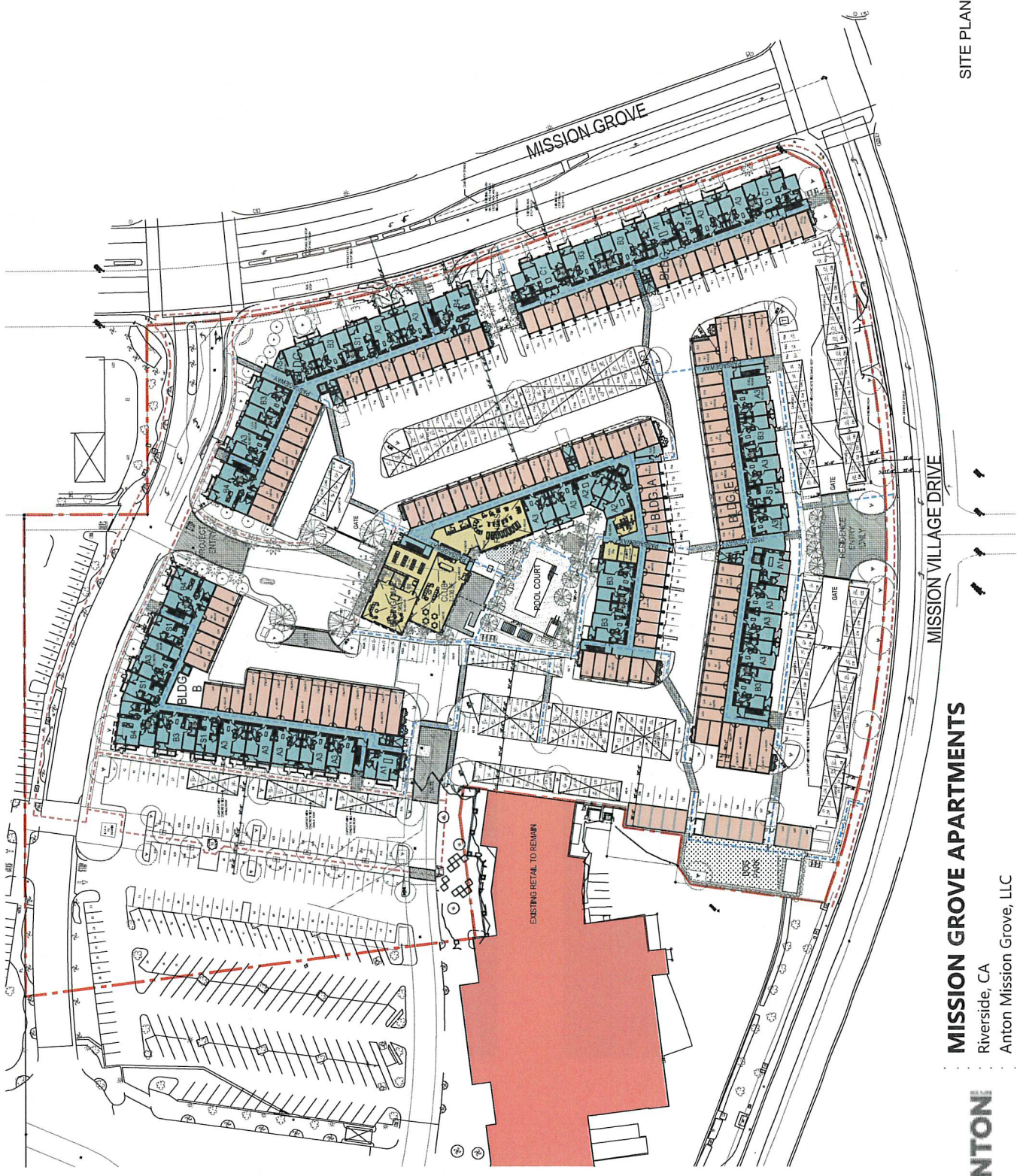
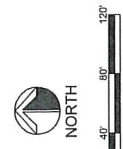
SITE AREA: 9.92 AC
 UNITS: 347 DU
 DENSITY: 35 DU/AC

- NOTES:**
- 1 Standard stalls are 9'x18'
 1 car garage size is 10'x20'
 Tandem stalls are 9'x18'
 2 car tandem garage is 10'x40'
 Compact stalls are 8'x16'
 - 2 The existing water easement to be relocated off site.
 - 3 The existing B of A and watermill kiosks to remain in place.

A1.1

Scale 1" = 40'
 Job No. 2021-5605
 Date 01-24-2023

AO Architecture. Design. Relationships.



SITE PLAN

MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC

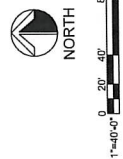
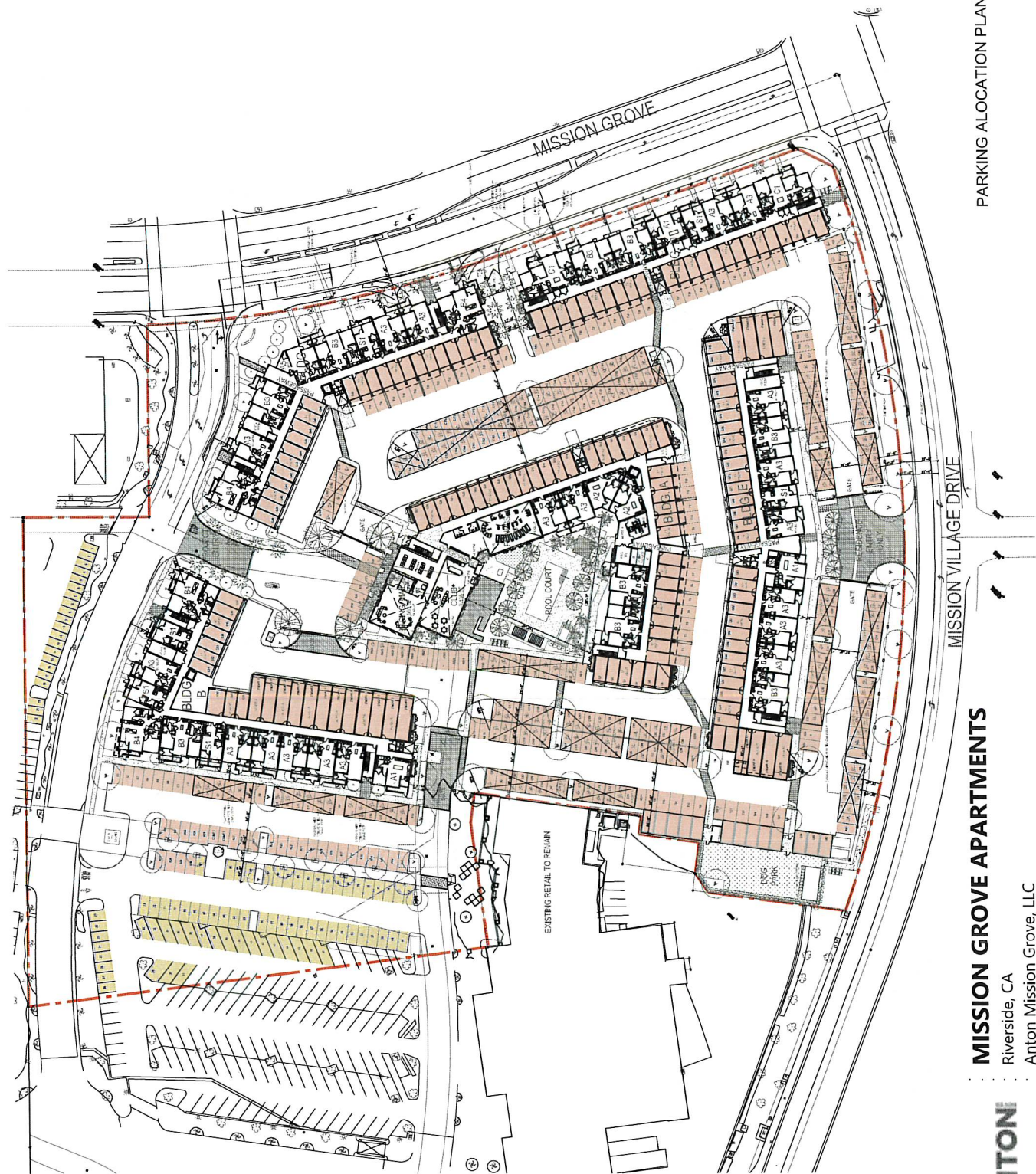


LEGEND

- 1-91 SHARED PARKING
- C1-19 DEDICATED CARPORTS
- R1-38 DEDICATED STANDARD STALLS
- COMPACT 1-2 DEDICATED COMPACT STALLS
- G1-64 DEDICATED 1 CAR GARAGE
- ZT-GAR1-20 DEDICATED 2 CAR TANDEN GARAGE
- T1-58 DEDICATED 1 CAR GARAGE + TANDEM STALL
- C1-185 DEDICATED CARPORTS
- RS1-26 DEDICATED STANDARD STALL

Parking Summary - Provided Parking

| Parking Type | Total Provided | Total |
|-------------------------------|----------------|------------|
| Shared Parking | 4-2 | |
| Dedicated 2 Car Tandem | 51 | 51 |
| Dedicated 1 Car Garage/Tandem | 204 | 513 |
| Dedicated Carports | 17 | |
| Dedicated Compact Stalls | 18 | |
| Standard Stalls | 604 | 513 |
| Total Provided | 604 | 513 |

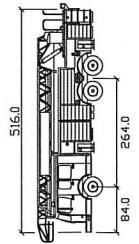


MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC

ANTON
Architecture.
Design.
Relationships.

A1.2
Scale: 1" = 40'
Job No.: 2021-502
Date: 01/24/2022

FIRE ACCESS LEGEND



FIRE TRUCK

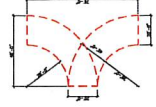
Aerial Fire Truck

- inches
- Width : 102.0
- Track : 102.0
- Lock to Lock Time : 6.0
- Steering Angle : 33.3

EXISTING PROPOSED HYDRANT



FIRE TRUCK



TYPICAL TURNING RADIUS

150' FIRE HOSE LENGTH



CLEAR FIRE LANE/FIRE ACCESS



EXIT TO FIRE ACCESS



GURNEY SIZE ELEVATOR ACCESS



NORTH



A1.3
 Architecture.
 Design.
 Relationships.

Scale : 1" = 40'
 Job No. : 2021-050
 Date : 01-24-2023



FIRE ACCESS PLAN

MISSION GROVE APARTMENTS

Riverside, CA
 Anton Mission Grove, LLC



LEGEND



| OPEN SPACE REQUIRED | | | |
|---------------------|-----|-----------------|------------------|
| TYPE | AC | FT ² | TOTAL |
| Common | 27 | 1,127 | 1,127,000 |
| Private | 175 | 7,127 | 7,127,000 |
| TOTAL | | | 8,254,000 |

| OPEN SPACE PROVIDED | | | |
|---------------------|-----|-----------------|------------------|
| TYPE | AC | FT ² | TOTAL |
| Common | 27 | 1,127 | 1,127,000 |
| Private | 175 | 7,127 | 7,127,000 |
| TOTAL | | | 8,254,000 |

| COMMON OPEN SPACE PROVIDED | | | |
|----------------------------|--------------|-----------------|----------------|
| OPEN AREA ACTION | AC | FT ² | TOTAL |
| Pool Deck | 1.146 | 49,100 | 49,100 |
| Swimming Pool | 2.253 | 98,000 | 98,000 |
| Pool Deck | 2.106 | 91,000 | 91,000 |
| TOTAL | 5.505 | 238,100 | 238,100 |

| PRIVATE OPEN SPACE PROVIDED | | | |
|-----------------------------|--------------|-----------------|----------------|
| OPEN AREA ACTION | AC | FT ² | TOTAL |
| Pool Deck | 1.146 | 49,100 | 49,100 |
| Swimming Pool | 2.253 | 98,000 | 98,000 |
| Pool Deck | 2.106 | 91,000 | 91,000 |
| TOTAL | 5.505 | 238,100 | 238,100 |






OPEN SPACE PLAN

MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC

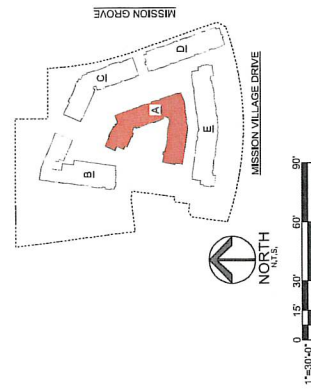


A1.4
 Scale: 1" = 40'
 Job No.: 2021-169E
 Date: 01-24-2022

LEGEND

| | |
|---|----------------|
|  | PARKING GARAGE |
|  | RESIDENTIAL |
|  | AGENCY |

KEY MAP

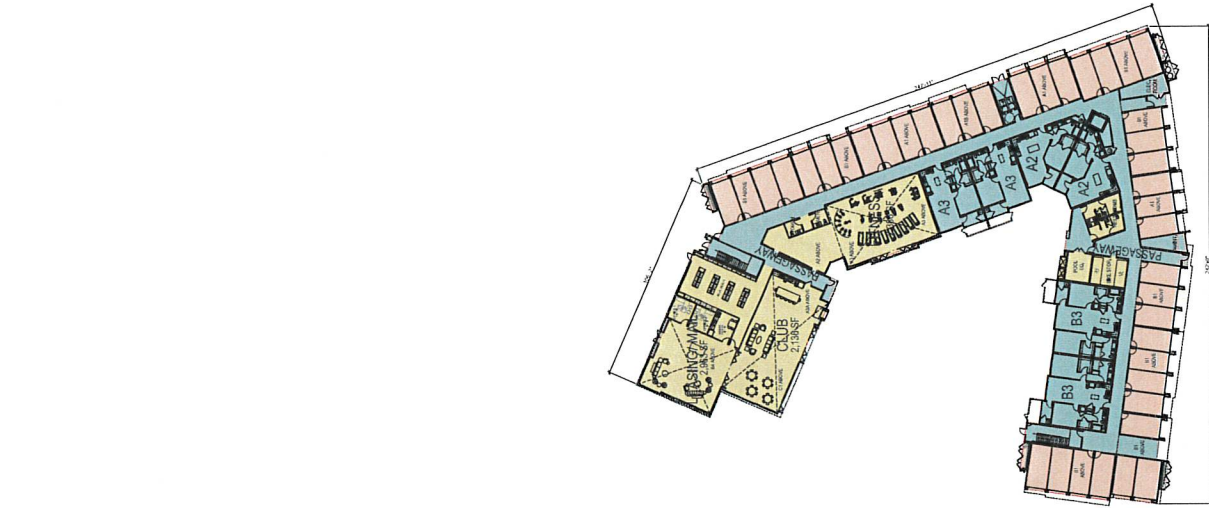


A2.0
 Architecture.
 Design.
 Relationships.

ANTON

Scale: 1" = 30'
 Job No.: 2021-505
 Date: 01-24-2023

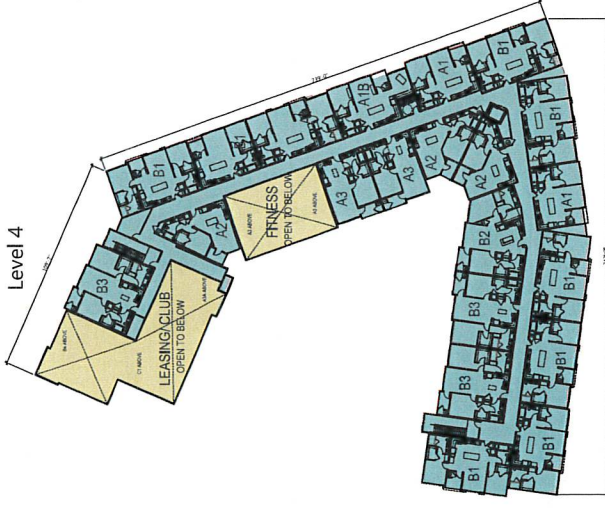
BUILDING A
 Building Plans



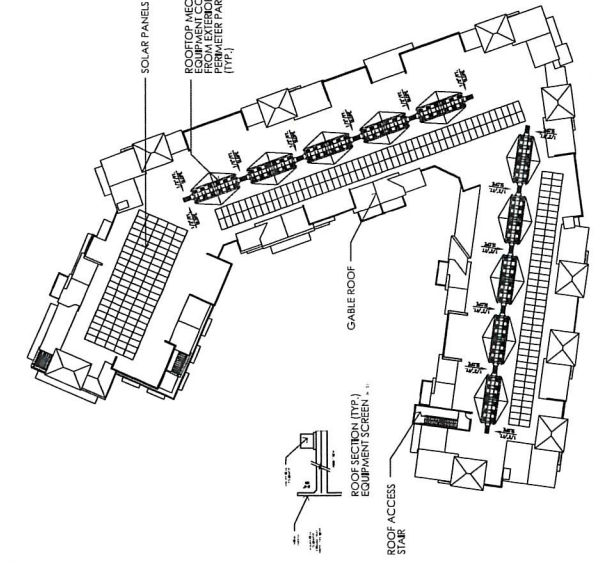
Level 1



Level 2



Level 3



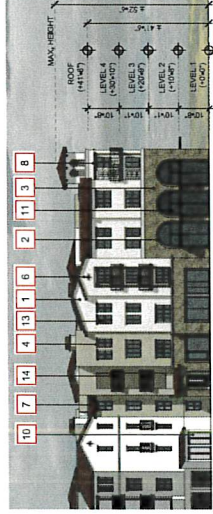
Roof Level

MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC

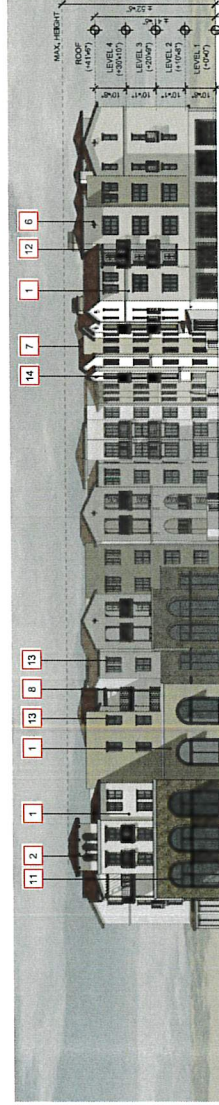


MATERIAL / COLOR LEGEND

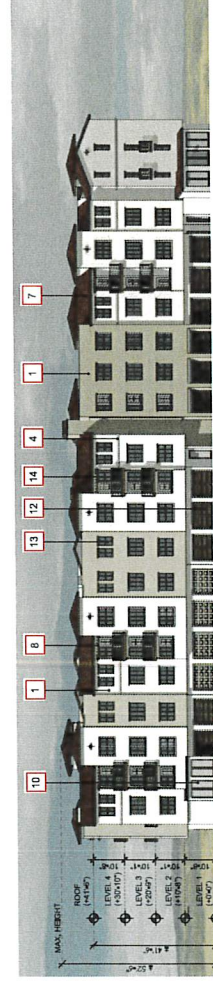
- 1 STUCCO / SIDING FINISH
 - 2 DECORATIVE TILE
 - 3 DECORATIVE STONE VENEER
 - 4 EXTERNAL FOAM TRIM
 - 5 FOAM CORNICE
 - 6 DECORATIVE METAL GRILLE
 - 7 CONCRETE ROOF TILE
 - 8 TRELLIS
 - 9 DECORATIVE VENTS
 - 10 EXTERIOR METAL DOOR, BRONZE FINISH
 - 11 ALUMINUM STOREFRONT SYS. WITH CLEAR GLASS, BRONZE FINISH
 - 12 METAL PANEL GARAGE DOOR
 - 13 1/2" X 1/2" SLIDER WINDOWS OVER FIED, BRONZE COLOR WITH CLEAR GLASS
 - 14 1/2" X 1/2" SLIDER WINDOW
 - 15 METAL RAILING, PAINTED
 - 16 METAL GATE, PAINTED
 - 17 EXTERIOR WALL LIGHT FIXTURE
- FOR THE MATERIAL FINISH LIST COLUMN HERE, REFER TO SHEET A50 FOR THE COLOR AND MATERIAL BOARD



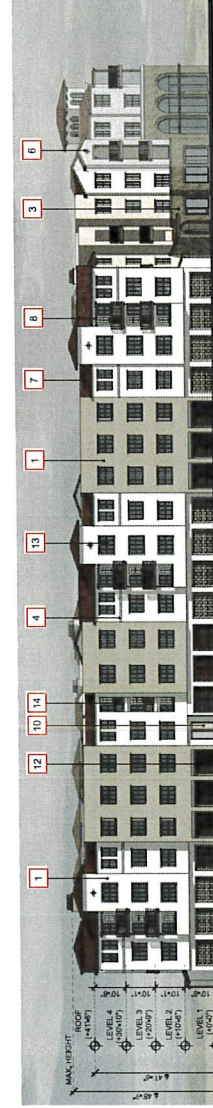
Front Elevation 1



Right Elevation 2

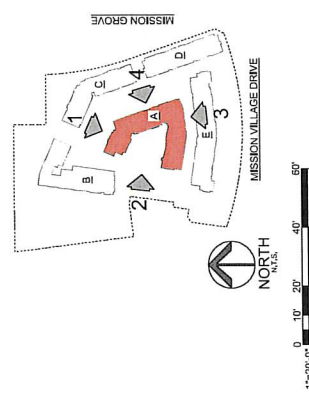


Rear Elevation 3



Left Elevation 4

KEY MAP



BUILDING A
Exterior Elevations

MISSION GROVE APARTMENTS

Riverside, CA
Anton Mission Grove, LLC



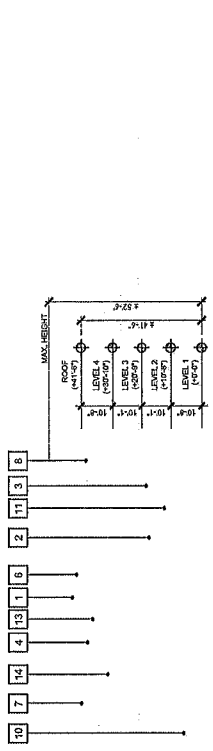
A2.0.1

Scale 1" = 20'
Job No. 2021-505
Date 01-24-2022

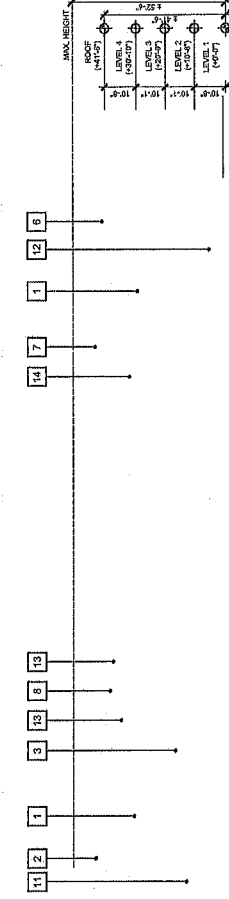


MATERIAL / COLOR LEGEND

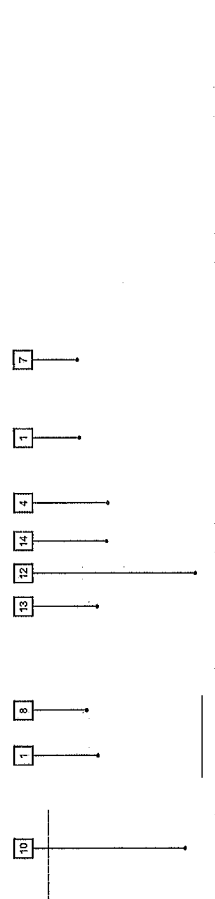
1. STUCCO 2020 FINISH
 2. DECORATIVE TILE
 3. DECORATIVE STONE VENEER
 4. EXTERNAL FOAM TRIM
 5. FOAM CORSEL
 6. DECORATIVE METAL GRILLE
 7. CONCRETE ROOF TILE
 8. TRELLIS
 9. DECORATIVE VENTS
 10. EXTERIOR METAL DOOR, BRONZE FINISH
 11. ALUMINUM STOREFRONT DOOR WITH CLEAR GLASS, BRONZE FINISH
 12. METAL PANEL GARAGE DOOR
 13. VINYL GLASS WINDOWING OVER-TILED, BRONZE COLOR WITH CLEAR GLASS
 14. METAL SHUTTERS, PAINTED
 15. METAL GATE, PAINTED
 16. EXTERIOR WALL LIGHT FIXTURE
- FOR FURTHER INFORMATION NOT SHOWN HERE, REFER TO SHEET A20 FOR THE CORRESPONDING DETAILS.



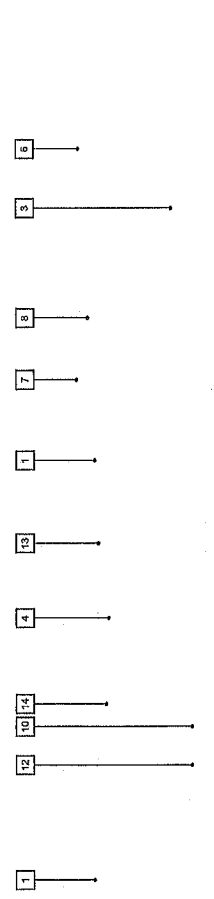
Front Elevation 1



Right Elevation 2

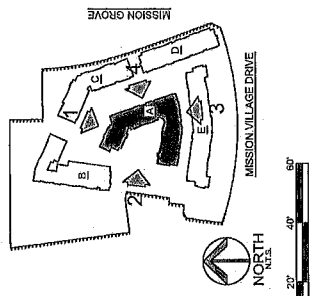


Rear Elevation 3



Left Elevation 4

KEY MAP



BUILDING A
Exterior Elevations

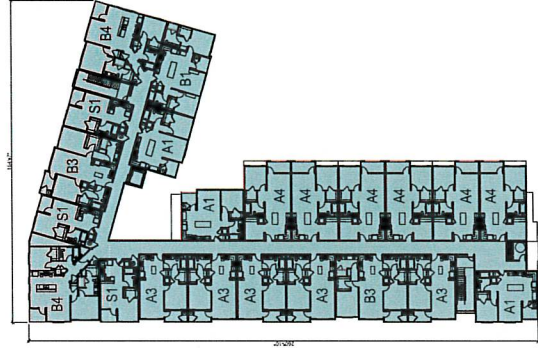
MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC

A2.0.2

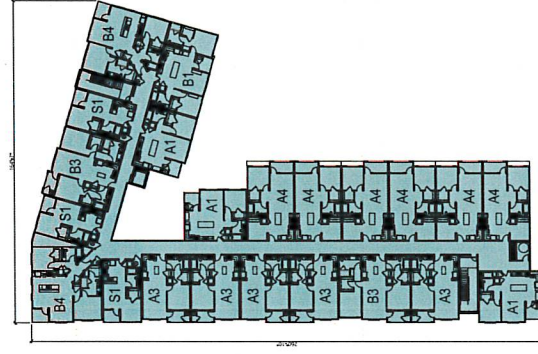
Scale: 1" = 20'
Job No.: 2021-506
Date: 01-24-2022

LEGEND

| | |
|---|----------------|
|  | PARKING GARAGE |
|  | RESIDENTIAL |
|  | AMENITY |



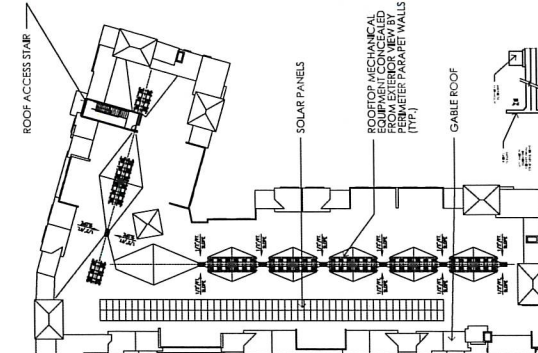
Level 1



Level 2

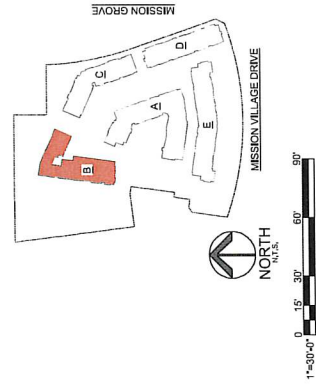


Level 3



Level 4

KEY MAP



BUILDING B
Building Plans

AQ Architecture. Design. Relationships.

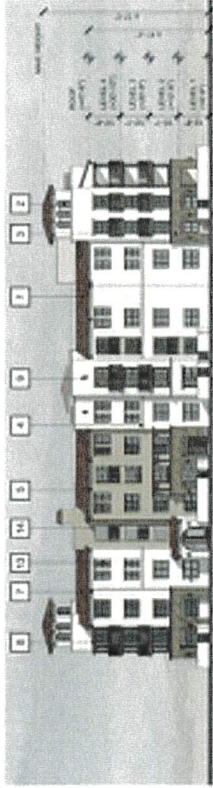
MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC



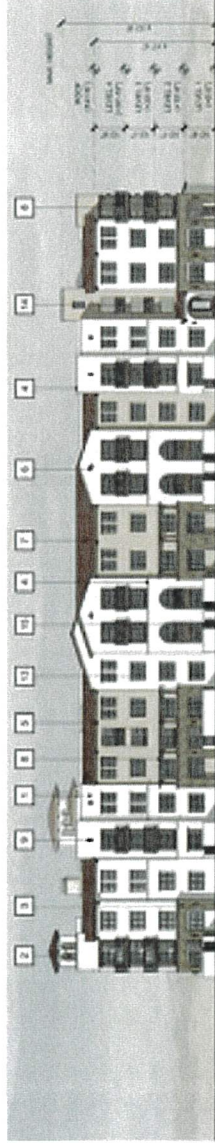
A2.1
Scale 1" = 30'
Job No. 2021-502
Date 01-24-2022

MATERIAL / COLOR LEGEND

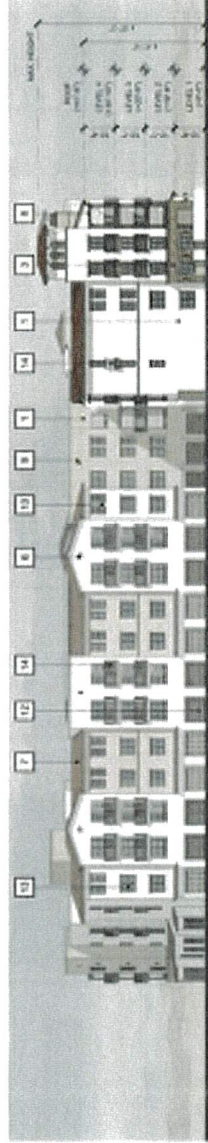
- 1 STUCCO 1622 FINISH
 - 2 DECORATIVE TILE
 - 3 DECORATIVE STONE VENEER
 - 4 EXTERNAL FOAM TRIM
 - 5 FOAM CORBEL
 - 6 DECORATIVE METAL GRILLE
 - 7 CONCRETE ROOF TILE
 - 8 TRELLIS
 - 9 DECORATIVE VENTS
 - 10 EXTERIOR METAL DOOR, BRONZE FINISH
 - 11 ALUMINUM STONEFRONT SYS. WITH CLEAR GLASS, BRONZE FINISH
 - 12 METAL PANEL GARAGE DOOR
 - 13 1/2" x 6" GLASS WINDOWS OVER FINED, BRONZE COLOR WITH CLEAR GLASS
 - 14 METAL RAILING, PAINTED
 - 15 METAL GATE, PAINTED
 - 16 EXTERIOR WALL LIGHT FIXTURE
- FOR ALL FINISHES, MATERIALS AND COLORS, REFER TO SHEET A10 FOR THE BUILDING AND EXTERIOR FINISHES.



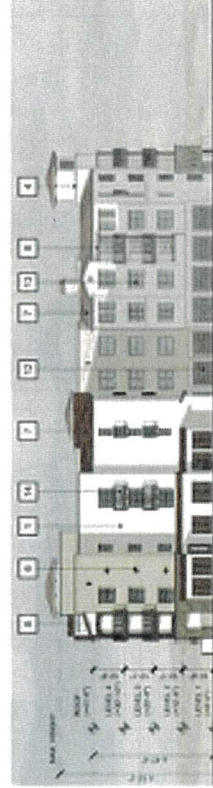
Front Elevation 1



Right Elevation 2

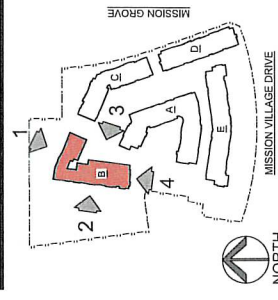


Left Elevation 3



Rear Elevation 4

KEY MAP



**BUILDING B
Exterior Elevations**

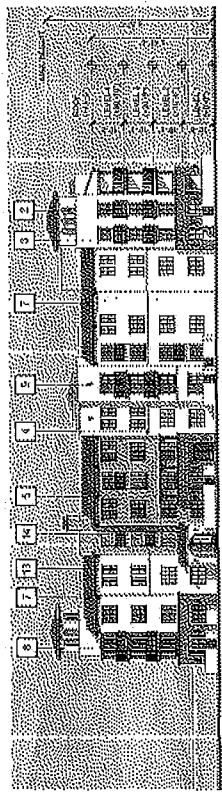
MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC



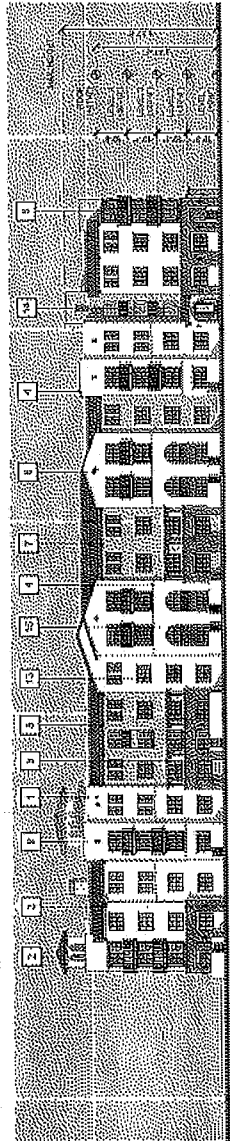
Scale: 1" = 20'
Job No: 2021-001
Date: 01-24-2023

MATERIAL / COLOR LEGEND

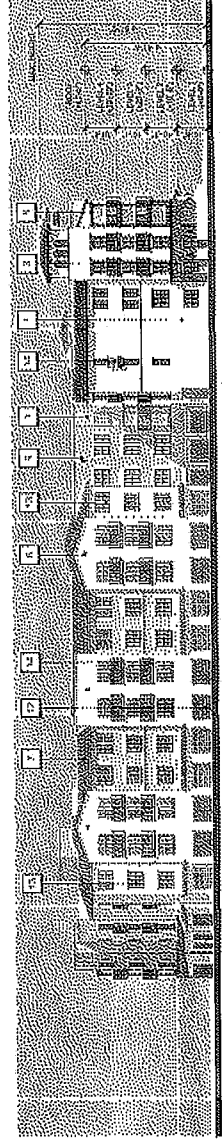
- 1 STUCCO TEXT FINISH
- 2 DECORATIVE TILE
- 3 DECORATIVE STONE VENEER
- 4 EXTERNAL SPAN TRIM
- 5 FOAM CORBEL
- 6 DECORATIVE METAL GRILLE
- 7 CONCRETE ROOF TILE
- 8 TRELLIS
- 9 DECORATIVE VENTS
- 10 EXTERIOR METAL DOOR, BRONZE FINISH
- 11 ALUMINUM STATIONARY SYS. WITH CLEAR GLASS, BRONZE FINISH
- 12 METAL PANEL GARAGE DOOR
- 13 VINYL SLIDER WINDOWS OVER PIED, BRONZE COLOR WITH CLEAR GLASS
- 14 VINYL SLIDER WINDOW 18" VINYL SLIDER WINDOW
- 15 METAL RAILING, PAINTED
- 16 METAL GATE, PAINTED
- 17 EXTERIOR WALL LIGHT FIXTURE
- 18 FINISH MATERIALS TO BE SHOWN HERE, REFER TO SHEET A10 FOR THE COLOR AND MATERIAL BOARD



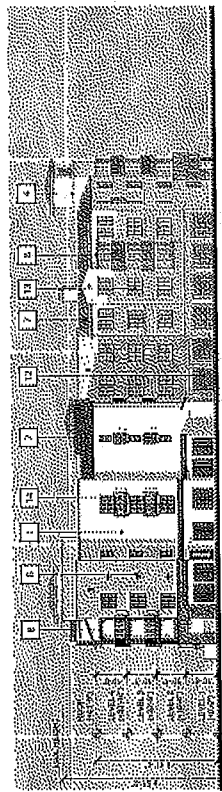
Front Elevation 1



Right Elevation 2

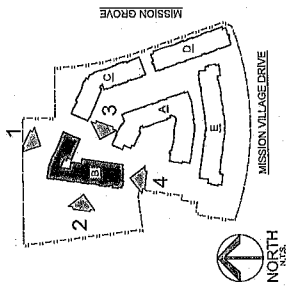


Left Elevation 3



Rear Elevation 4

KEY MAP

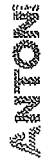


MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC

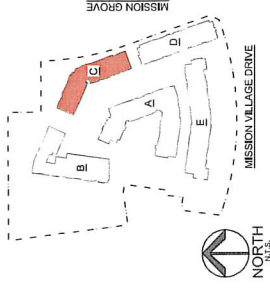
BUILDING B
 Exterior Elevations



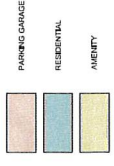
A2.1.2
 Architecture,
 Design,
 Relationships.
 Sketch 1-12-20
 Job No. 2021-001
 Date 01/24/2022



KEY MAP



LEGEND



ROOFTOP MECHANICAL EQUIPMENT CONCEALED FROM EXTERIOR VIEW BY PERIMETER PARAPET WALLS (TYP.)

SOLAR PANELS

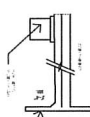


Roof Plan

GABLE ROOF

ROOF ACCESS STAIR

ROOF SECTION (TYP.) EQUIPMENT SCREEN (TYP.)



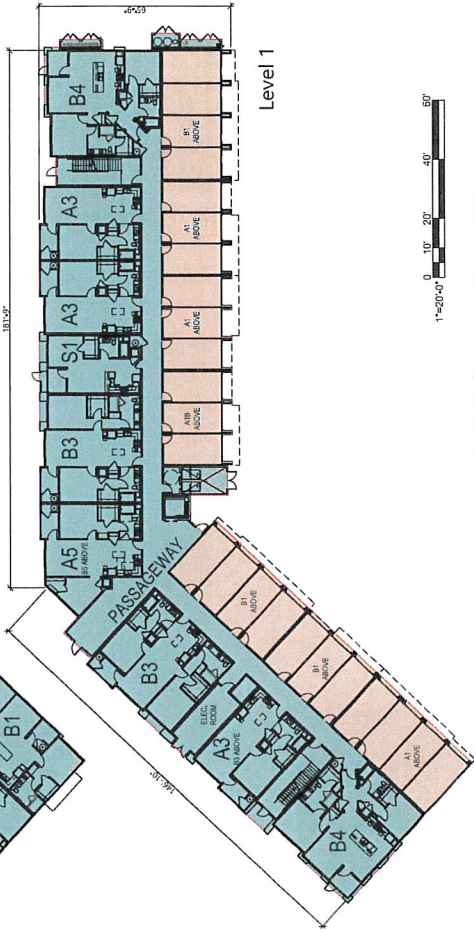
Level 4



Level 2



Level 3



Level 1

MISSION GROVE APARTMENTS

Riverside, CA
Anton Mission Grove, LLC

BUILDING C
Building Plans

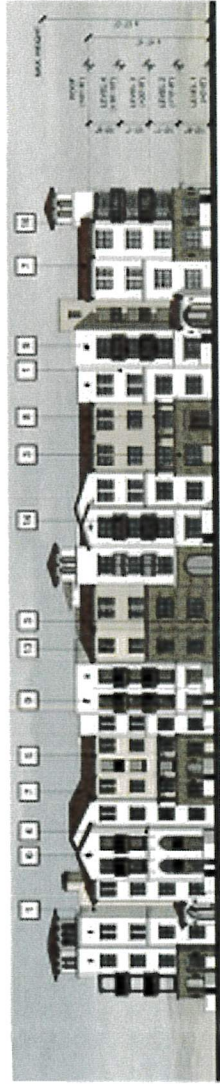


A2.2
Scale: 1" = 20'
Job No. 2021-502
Date 01-24-2023

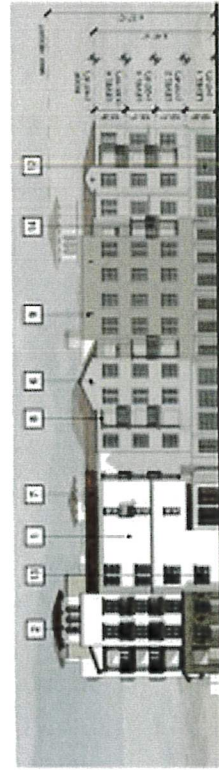


MATERIAL / COLOR LEGEND

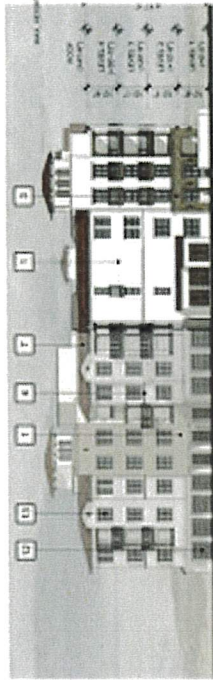
- 1 STUCCO IRON FINISH
 - 2 DECORATIVE TILE
 - 3 DECORATIVE STONE VENEER
 - 4 EXTERNAL FOAM TRIM
 - 5 FOAM CORBEL
 - 6 DECORATIVE METAL GRILLE
 - 7 CONCRETE ROOF TILE
 - 8 TRELLIS
 - 9 DECORATIVE VENTS
 - 10 EXTERIOR METAL DOOR, BRONZE FINISH
 - 11 ALUMINUM STONEFRONT SYS. WITH CLEAR GLASS, BRONZE FINISH
 - 12 METAL PANEL GARAGE DOOR
 - 13 VINYL SLIDER WINDOWS OVER FINED, BRONZE COLOR WITH CLEAR GLASS
 - 14 15 VINYL SLIDER WINDOW
 - 15 METAL PAWLING, PAINTED
 - 16 METAL GATE, PAINTED
 - 17 EXTERIOR WALL LIGHT FIXTURE
- FOR FURTHER INFORMATION NOT SHOWN HERE, REFER TO SHEET A2.0 FOR THE COLOR AND MATERIAL BOARD



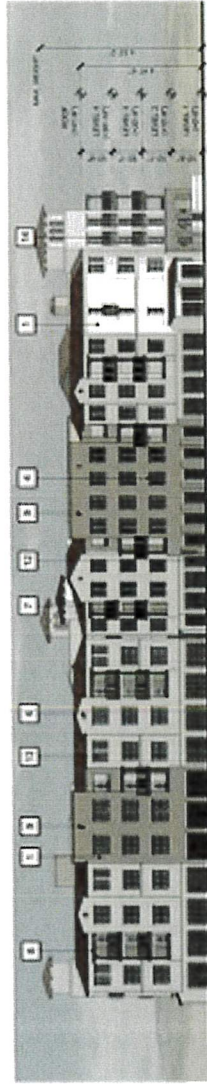
Front Elevation 1



Right Elevation 2

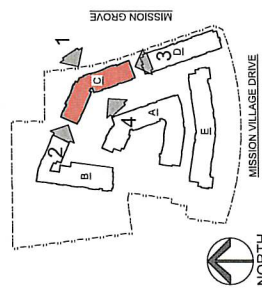


Left Elevation 3



Rear Elevation 4

KEY MAP



MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC

BUILDING C
 Exterior Elevations

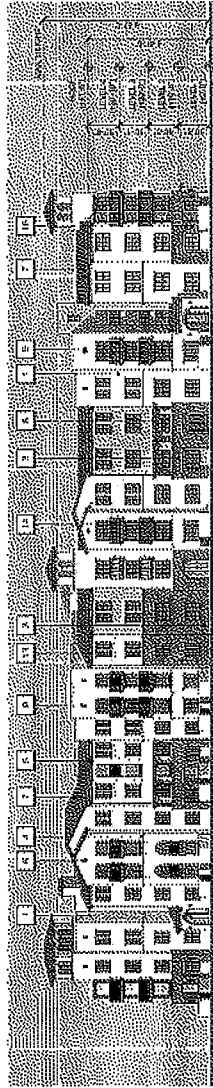


A2.2.1
 Scale: 1" = 20'
 Job No.: 2021-055
 Date: 01/04/2022

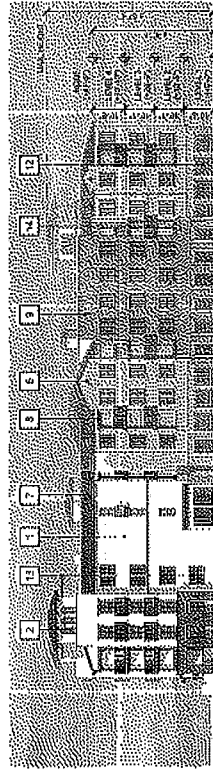


MATERIAL / COLOR LEGEND

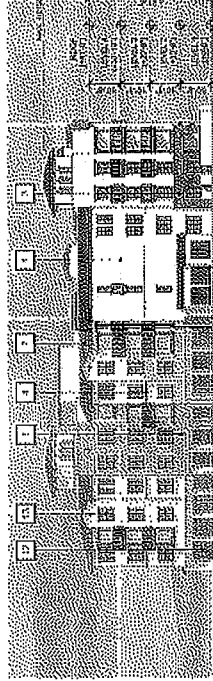
- 1 STUCCO BASE FINISH
 - 2 DECORATIVE TILE
 - 3 DECORATIVE STONE VENEER
 - 4 EXTERIOR KOAN TRIM
 - 5 FOAM CORBEL
 - 6 DECORATIVE METAL GRILLE
 - 7 CONCRETE ROOF TILE
 - 8 TRELLIS
 - 9 DECORATIVE VOYTS
 - 10 EXTERIOR METAL DOOR, BRONZE FINISH
 - 11 ALUMINUM STOREFRONT SYS. WITH CLEAR GLASS, BRONZE FINISH
 - 12 METAL PANEL GARAGE DOOR
 - 13 VARY GLASS WINDOWS (SPLIT FIXED, BRONZE COLOR WITH CLEAR GLASS, BRONZE COLOR WITH CLEAR GLASS WINDOW, 1/2" WHITE GLASS WINDOW)
 - 14 METAL RAILING, PAINTED
 - 15 METAL GATE, PAINTED
 - 16 EXTERIOR WALL LIGHT FIXTURE
- NOTES: MATERIALS AND FINISHES SHOWN HEREIN REFER TO SHEET A10 FOR THE COLOR AND MATERIAL BRAND.



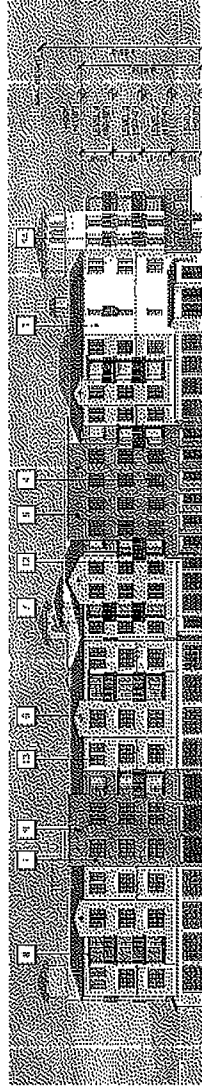
Front Elevation 1



Right Elevation 2

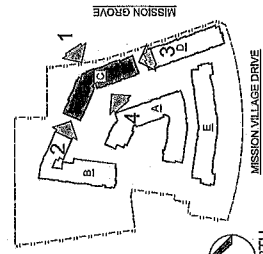


Left Elevation 3



Rear Elevation 4

KEY MAP



BUILDING C
Exterior Elevations

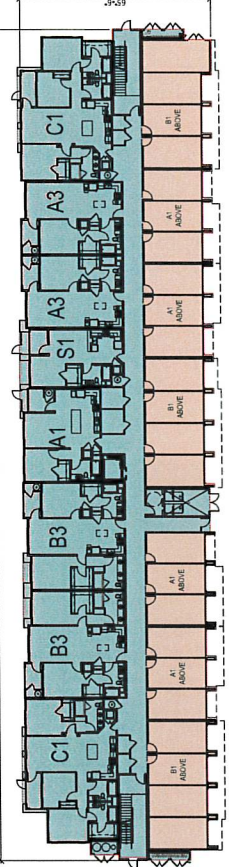
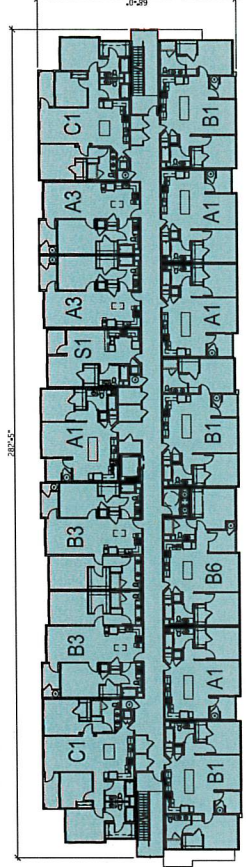
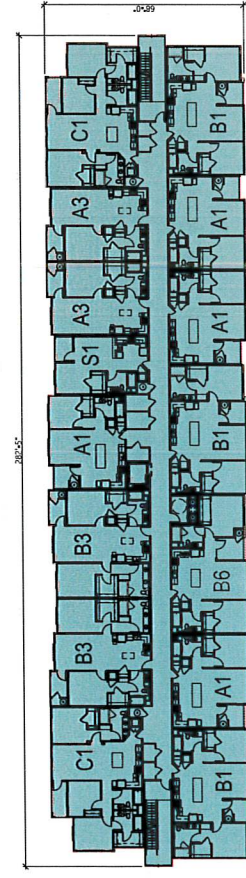
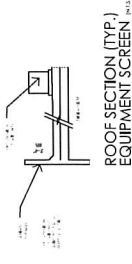
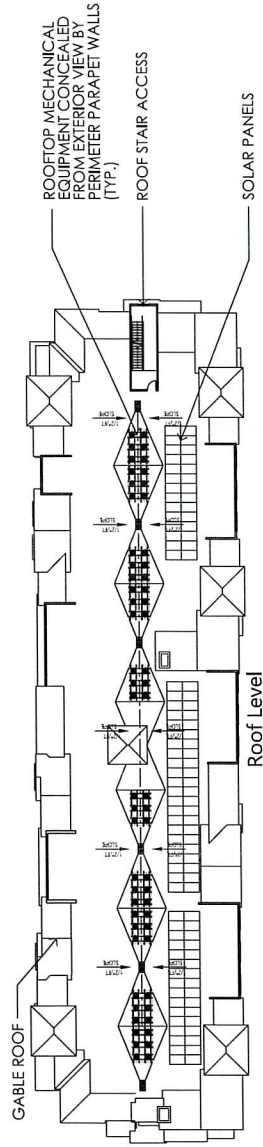
MISSION GROVE APARTMENTS
Riverside, CA
Arton Mission Grove, LLC



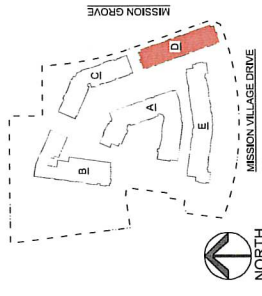
A2.2.2

SCALE
DATE
DRAWN

LEGEND



KEY MAP



MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC

BUILDING D
 Building Plans

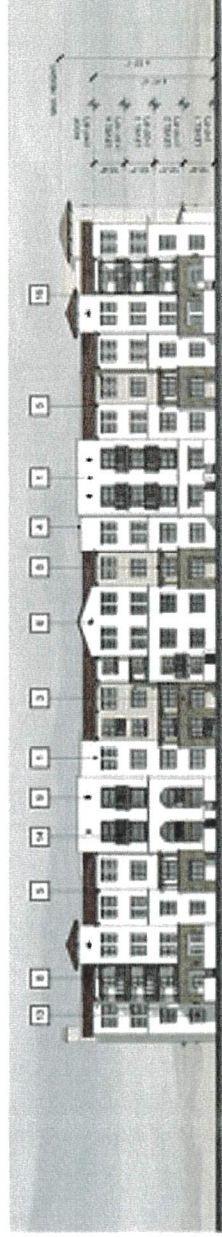


A2.3
 Scale: 1" = 20'
 RD No. 2021-52
 Date: 01-24-2021

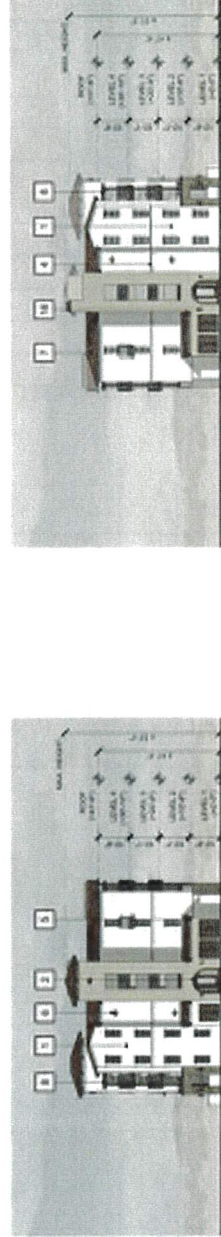


MATERIAL / COLOR LEGEND

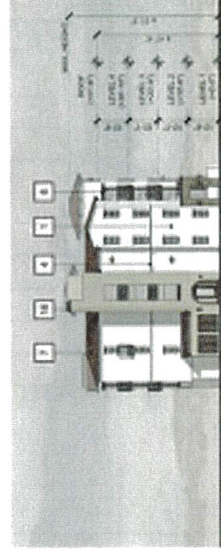
- 1 STUCCO, IBEA FINISH
 - 2 DECORATIVE TILE
 - 3 DECORATIVE STONE VENEER
 - 4 EXTERNAL FOAM TRIM
 - 5 FOAM CORBEL
 - 6 DECORATIVE METAL GRILLE
 - 7 CONCRETE ROOF TILE
 - 8 TRELLIS
 - 9 DECORATIVE VENTS
 - 10 EXTERIOR METAL DOOR, BRONZE FINISH
 - 11 ALUMINUM STOREFRONT SYSTEMS WITH CLEAR GLASS, BRONZE FINISH
 - 12 METAL PANEL GARAGE DOOR
 - 13 VINYL SLIDER WINDOWS OVER FINED, BRONZE COLOR WITH CLEAR GLASS, 12" W/1" SLIDER WINDOW
 - 14 METAL RAILING, PAINTED
 - 15 METAL GATE, PAINTED
 - 16 EXTERIOR WALL LIGHT FIXTURE
- ALL DIMENSIONS SHOWN ON THIS SHEET WHERE REFER TO SHEET A6.0 FOR THE COLOR AND MATERIAL BOARD.



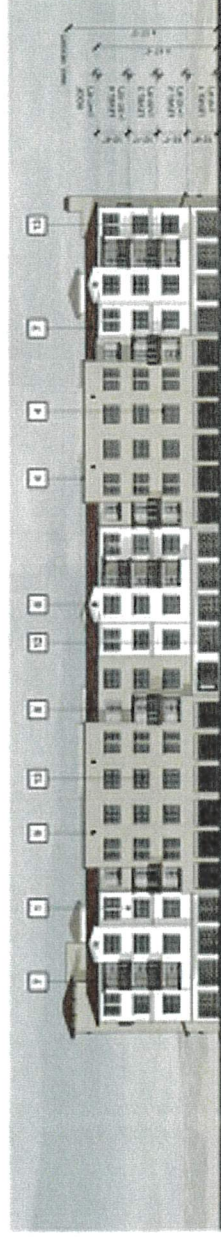
Front Elevation 1



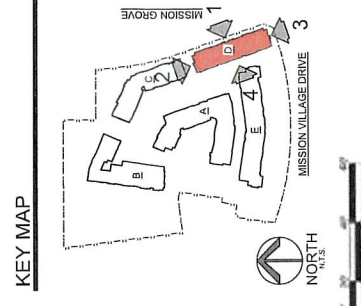
Right Elevation 2



Left Elevation 3



Rear Elevation 4



ANTON
 Architecture.
 Design.
 Relationships.

A2.3.1

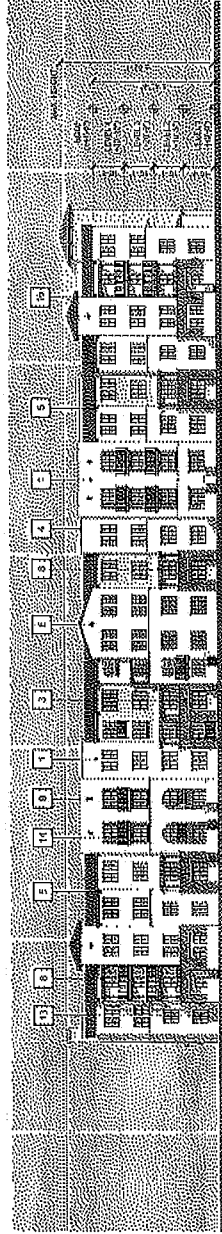
Scale: 1" = 20'
 Job No: 2021-001
 Date: 05-24-2021

BUILDING D
 Exterior Elevations

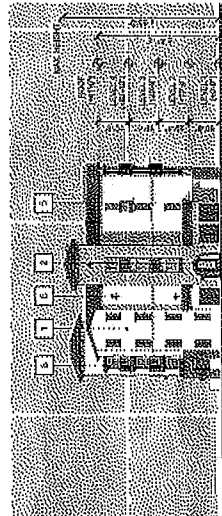
MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC

MATERIAL / COLOR LEGEND

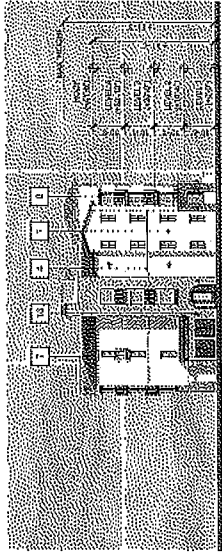
- 1 STUCCO 1960S FINISH
- 2 DECORATIVE TILE
- 3 DECORATIVE STONE VENEER
- 4 EXTERNAL FOAM TRIM
- 5 FOAM CORBEL
- 6 DECORATIVE METAL GRILLE
- 7 CONCRETE MESH/TILE
- 8 TRELLIS
- 9 DECORATIVE VENTS
- 10 EXTERIOR METAL DOOR, BRONZE FINISH
- 11 ALUMINUM STOREFRONT SYS. WITH CLEAR GLASS, BRONZE FINISH
- 12 METAL PANEL GARAGE DOOR
- 13 W/VA. GLASS WINDOWS OVER PAVED, BRONZE COLOR WITH 3/4" W/VA. GLASS WINDOW
- 14 METAL PAINTING, PAINTED
- 15 METAL GATE, PAINTED
- 16 EXTERIOR WALL LIGHT FIXTURE FOR THE DESIGN AND MATERIAL BOARD



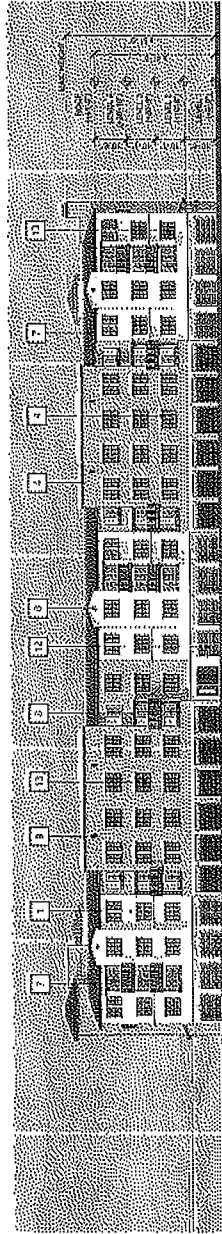
Front Elevation 1



Right Elevation 2

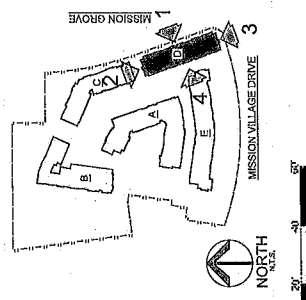


Left Elevation 3



Rear Elevation 4

KEY MAP



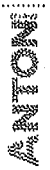
AQ Architecture, Design, Relationships.

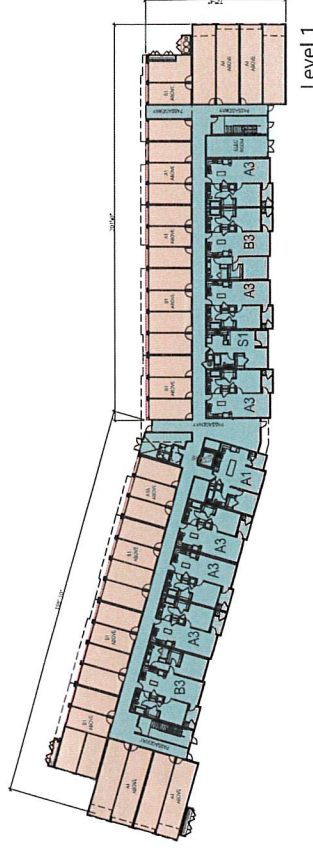
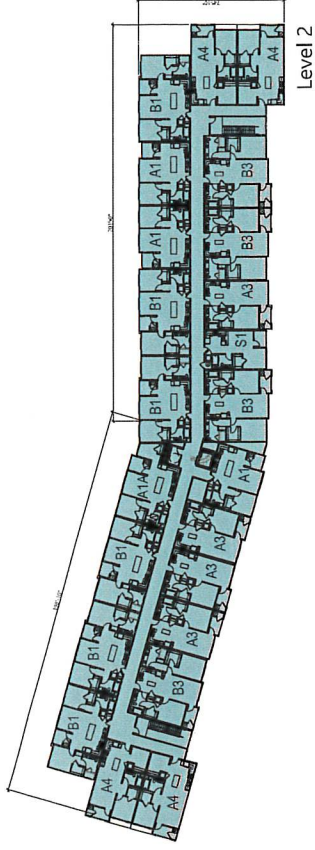
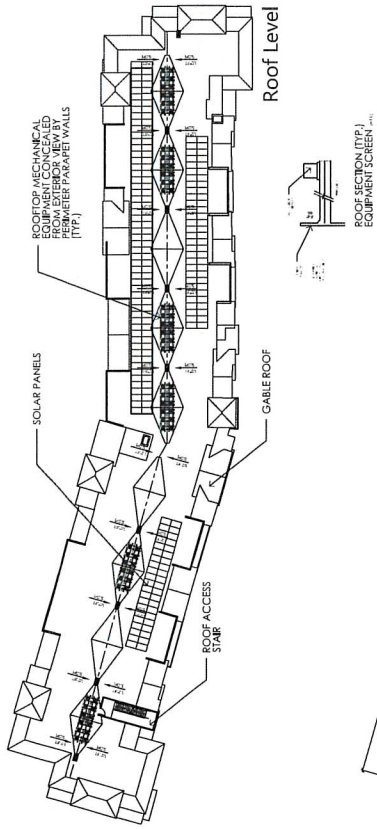
A2.3.2

Scale: 1" = 20'
 Date: 03/27/2022

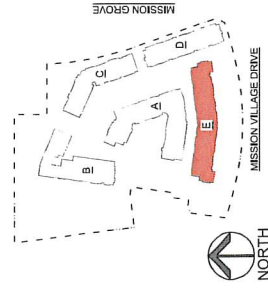
BUILDING D
 Exterior Elevations

MISSION GROVE APARTMENTS
 Riverside, CA
 Anton Mission Grove, LLC





KEY MAP



MISSION GROVE APARTMENTS

Riverside, CA
 Anton Mission Grove, LLC

BUILDING E
 Building Plans

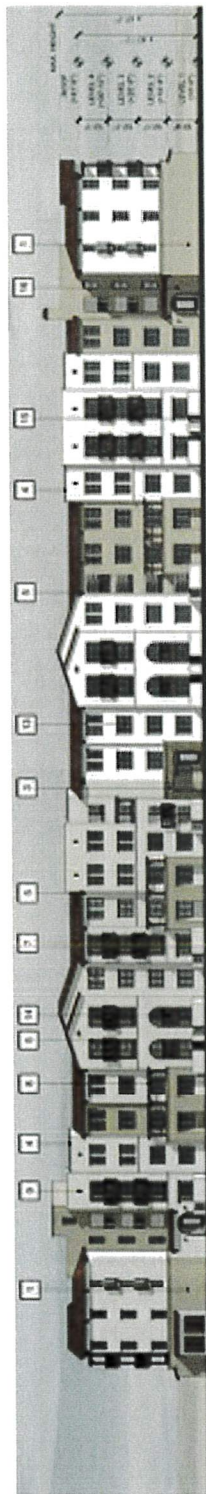


A2.4
 Scale 1" = 30'
 Job No. 2021-005
 Date 07-24-2021

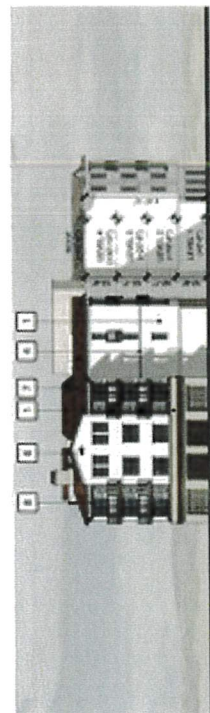


MATERIAL / COLOR LEGEND

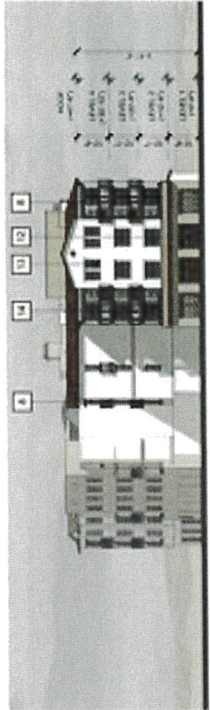
- 1 STUCCO 1028 FINISH
- 2 DECORATIVE TILE
- 3 DECORATIVE STONE VENEER
- 4 EXTERNAL FOAM TRIM
- 5 FOAM CORNICE
- 6 DECORATIVE METAL GRILLE
- 7 CONCRETE ROOF TILE
- 8 TRELLIS
- 9 DECORATIVE VOITS
- 10 EXTERIOR METAL DOOR, BRONZE FINISH
- 11 ALUMINUM STOREFRONT SYS. WITH CLEAR GLASS, BRONZE FINISH
- 12 METAL PANEL GARAGE DOOR
- 13 VINYL SLIDER WINDOWS OVER FIXED, BRONZE COLOR WITH CLEAR GLASS WINDOW
- 14 VINYL SLIDER WINDOW
- 15 METAL PAULING, PAINTED
- 16 METAL GATE, PAINTED
- 17 EXTERIOR WALL/LIGHT FIXTURE
- 18 FINISHES INFORMATION NOT SHOWN HERE, REFER TO SHEET A5.0 FOR THE COLOR AND MATERIAL BOARD



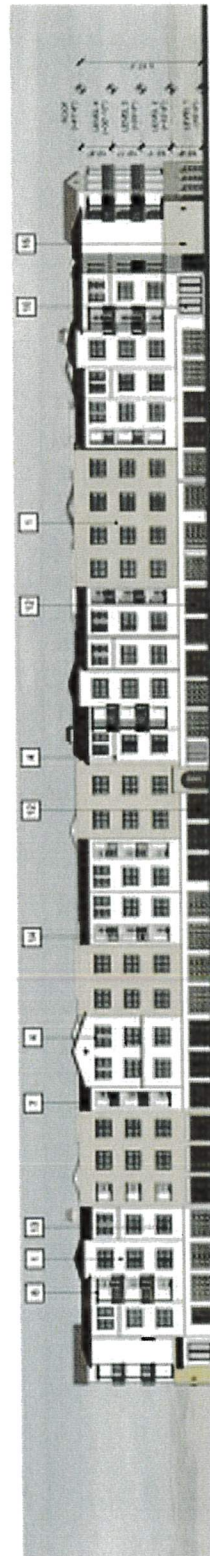
Front Elevation 1



Right Elevation 2

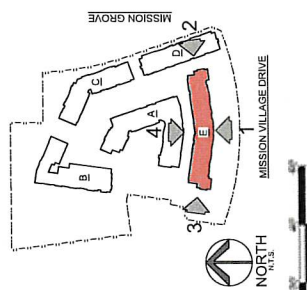


Left Elevation 3



Rear Elevation 4

KEY MAP



BUILDING E
Exterior Elevations

MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC

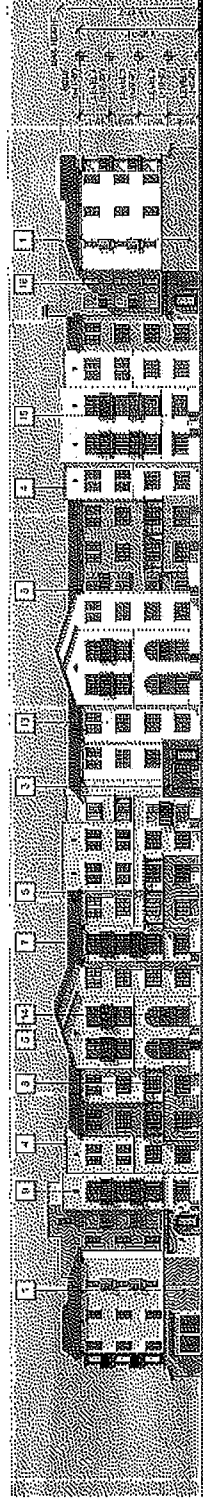


A2.4.1

Scale: 1" = 30'
App No.: 2021-008
Date: 07-24-2021

MATERIAL / COLOR LEGEND

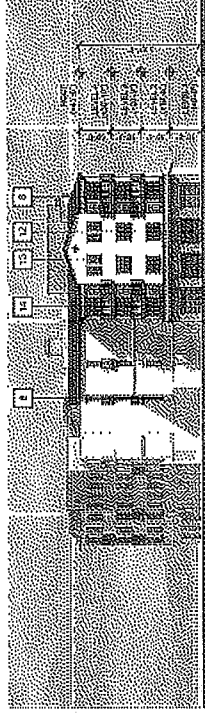
- 1 STUCCO 1820 FINISH
 - 2 DECORATIVE TILE
 - 3 DECORATIVE STONE VENEER
 - 4 EXTERNAL FOAM TRIM
 - 5 FOAM CORBEL
 - 6 DECORATIVE METAL GRILLE
 - 7 CONCRETE ROOF TILE
 - 8 TRELLIS
 - 9 DECORATIVE VENTS
 - 10 EXTERIOR METAL DOOR, BRONZE FINISH
 - 11 ALUMINUM STORGEFRONT SYS. WITH CLEAR GLASS, BRONZE FINISH
 - 12 METAL PANEL GARAGE DOOR
 - 13 VINYL GLASS WINDOWS OVER PAID, BRONZE COLOR WITH CLEAR GLASS
 - 14 1/2" VINYL SLIDER WINDOW
 - 15 METAL PAINTING, PAINTED
 - 16 METAL GATE, PAINTED
 - 17 EXTERIOR WALL LIGHT FIXTURE
 - 18 EXTERIOR WALL LIGHT FIXTURE
- FOR THE COLOR AND MATERIALS, REFER TO SHEET A20 FOR THE COLOR AND MATERIALS BOARD.



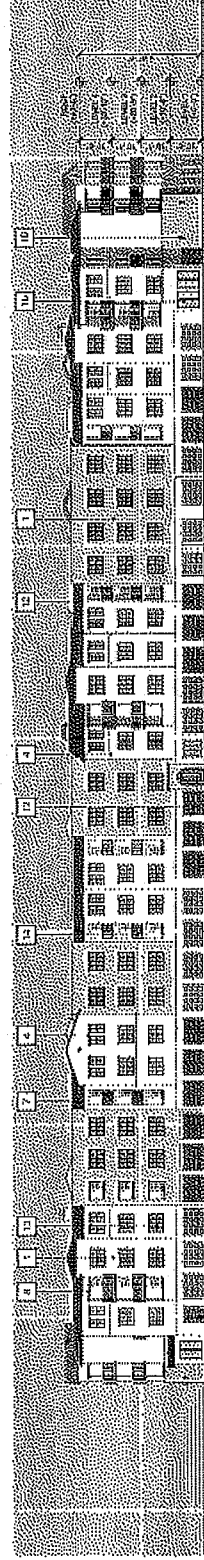
Front Elevation 1



Right Elevation 2

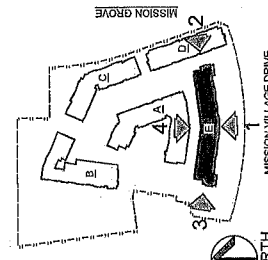


Left Elevation 3



Rear Elevation 4

KEY MAP



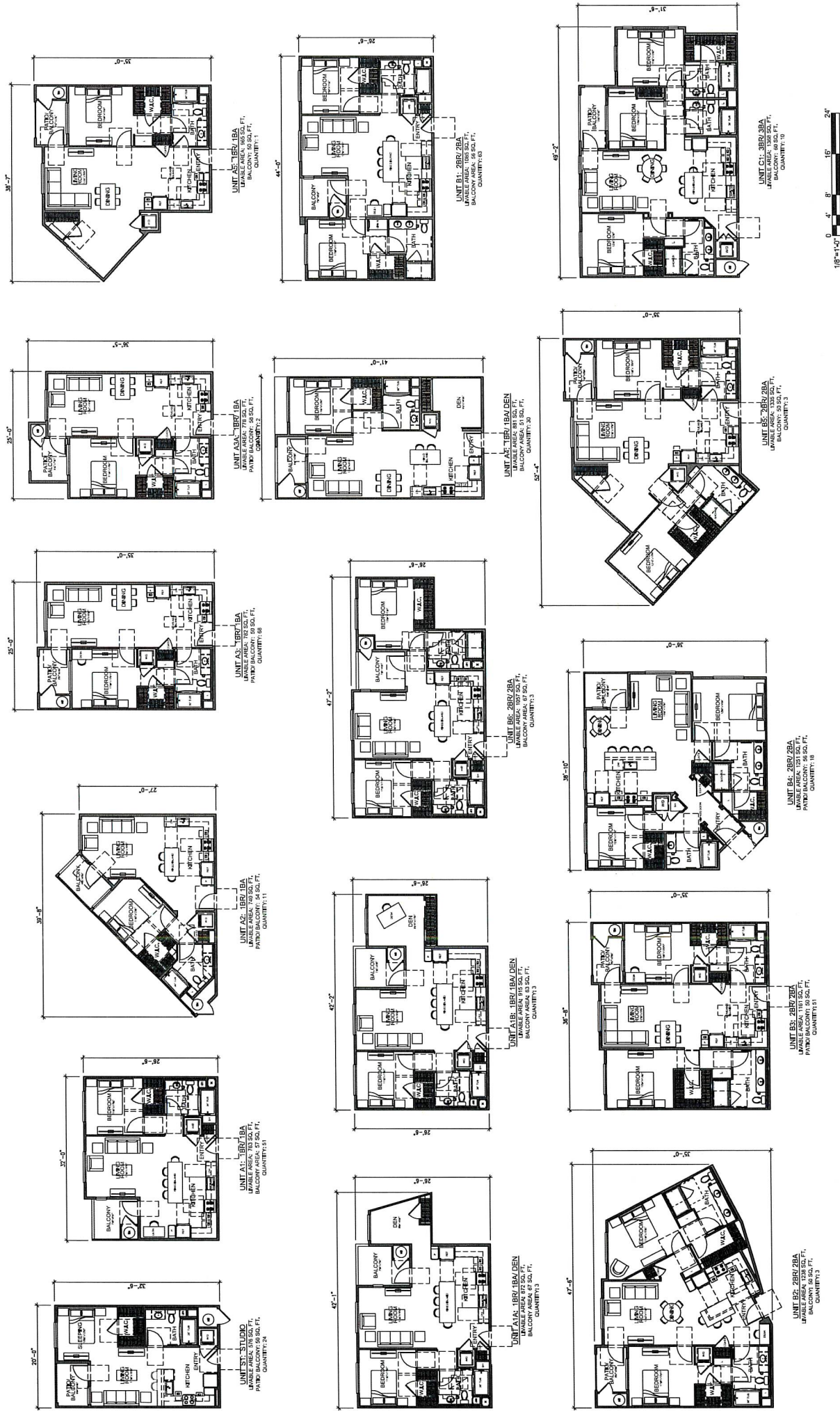
1" = 30'-0"
0 10' 20' 30'

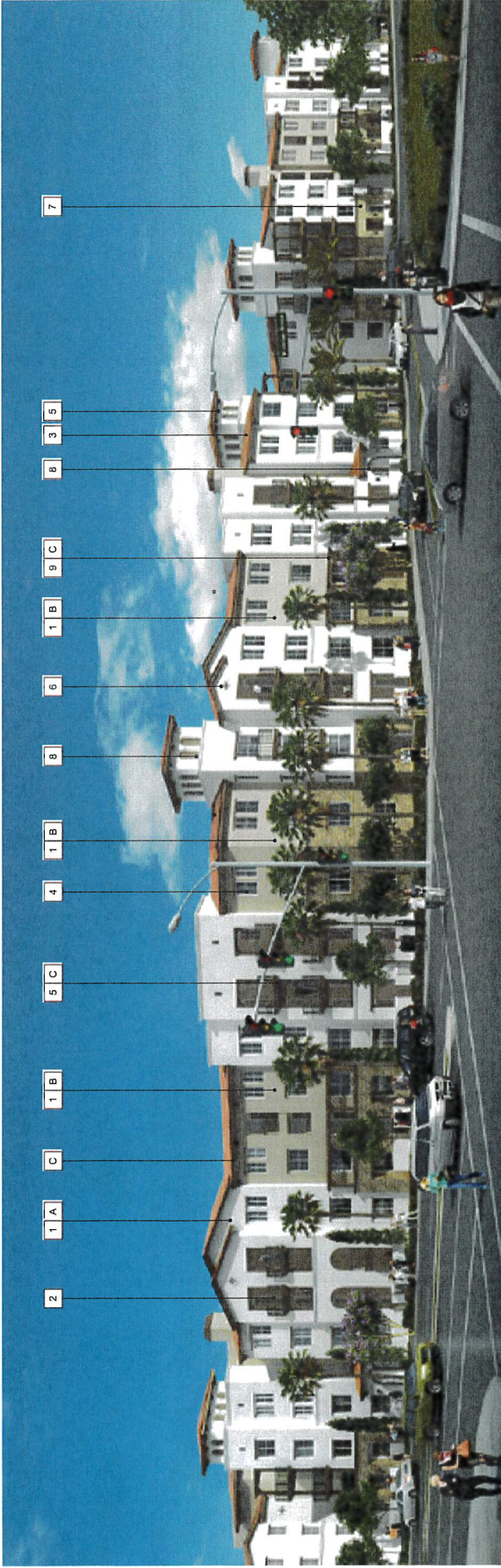
ANTON
Architects,
Design,
Relationships.

MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC

BUILDING E
Exterior Elevations

A2.4.2
SWK
03/15/20
Rev 1/0
Date 01/29/2020





1 Sherwin Williams Pure White SW7005



1 Omega Stucco w/ Score Lines 16/20 Sand Finish to match Paint Spec

2 Sherwin Williams Amazing Grey SW7044



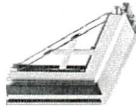
2 Fabricated Metal Railing Or similar to match Paint Spec D

3 Sherwin Williams French Roast SW 6069



3 Eagle Roofing Concrete Roof Tiles Capistrano B Monaco Blend SHC 870p

4 Sherwin Williams Iron Ore SW7069



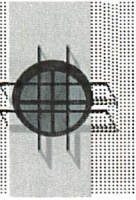
4 Milgard Vinyl Windows/Doors Monte-clo w/ 1" Sculpted Grids White on White

5 Sherwin Williams Creamy Tan SW 6011



5 Decorative Iron Detail

6 Sherwin Williams Creamy Tan SW 6011



6 Creative Mines Toriseshel Wall Trail Ledge

7 Sherwin Williams Creamy Tan SW 6011



7 Decorative Tiles at Building Entries

8 Sherwin Williams Amazing Grey SW7044



8 Decorative Trellis at Balconies

9 Sherwin Williams Amazing Grey SW7044



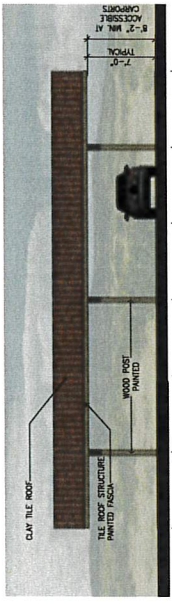
9 Decorative Tiles at Building Entries

MISSION GROVE APARTMENTS

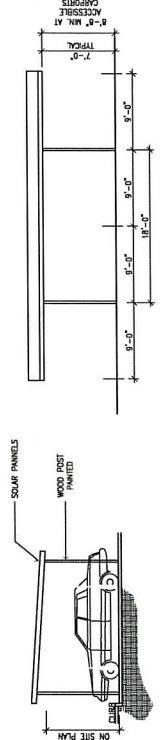
Riverside, CA
Anton Mission Grove, LLC

COLORS AND MATERIALS

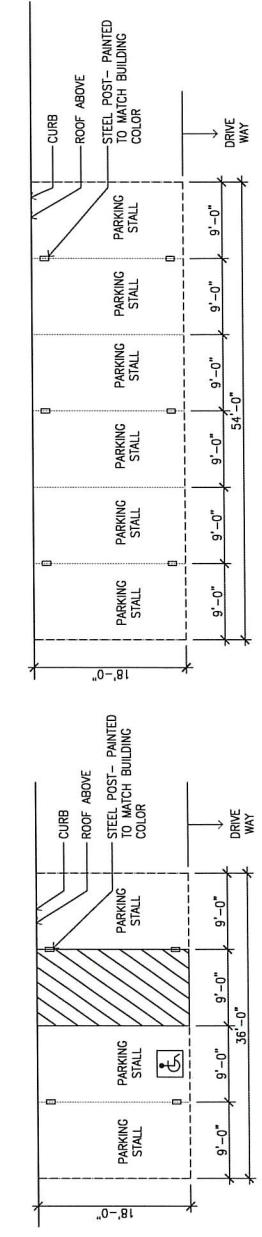




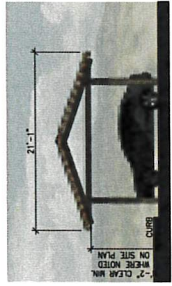
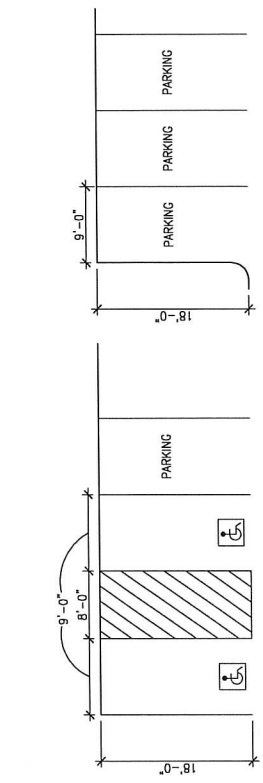
ROOF TILE STANDARD CARPORT ELEVATIONS FACING STREET



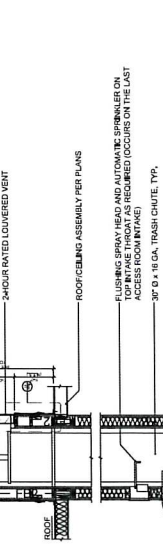
INTERIOR STANDARD CARPORT ELEVATIONS WITH SOLAR PANELS



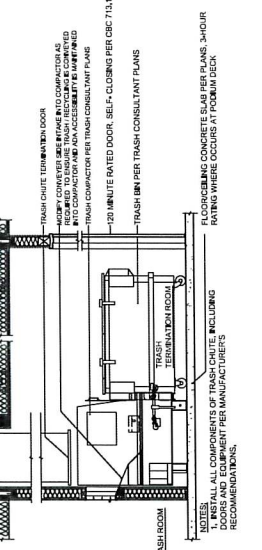
STANDARD CARPORT PLAN



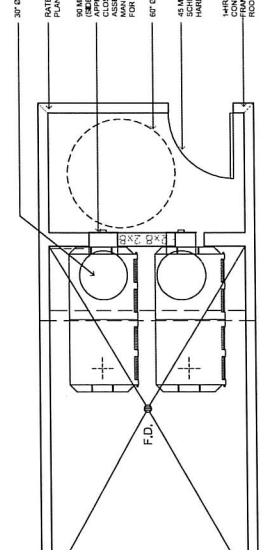
STANDARD HANDICAP CARPORT PLAN



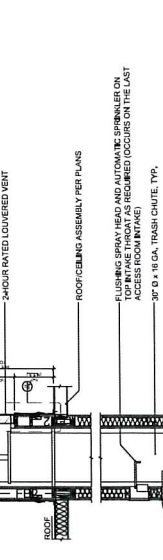
STANDARD HANDICAP PARKING PLAN



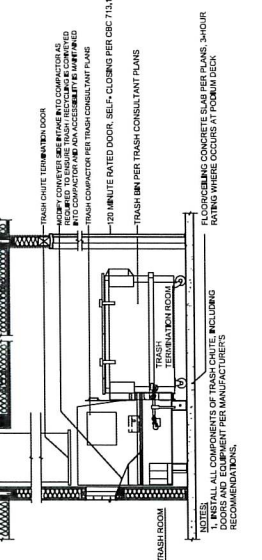
STANDARD HANDICAP PARKING PLAN



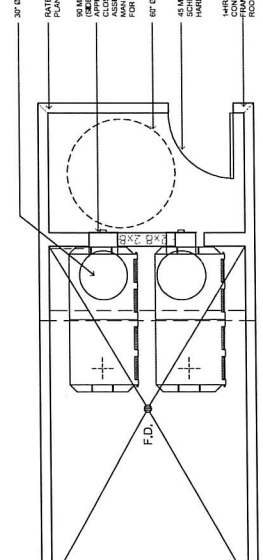
TRASH CHUTE TYPICAL SECTION



TRASH CHUTE TYPICAL SECTION



TRASH CHUTE TYPICAL SECTION



TRASH CHUTE TYPICAL SECTION

TRASH CHUTE TYPICAL SECTION

TRASH CHUTE TYPICAL SECTION

TRASH CHUTE TYPICAL SECTION

TRASH CHUTE TYPICAL SECTION

TRASH CHUTE TYPICAL SECTION

TRASH CHUTE TYPICAL SECTION

MISSION GROVE APARTMENTS
Riverside, CA
Anton Mission Grove, LLC



A6.0

Job No. 2021-505
Date 01/24/2023



MISSION GROVE APARTMENTS
 Riverside, CA
 Mission Grove, LLC

LIFESTYLE IMAGERY L.1

MGS
 LANDSCAPE ARCHITECTURE
 SUBMITTAL # 3 - JANUARY 31, 2023



- PROJECT ENTRY**
- matching height poles
 - enhanced paving
 - project signage

PEDESTRIAN PROMINENCE

DECORATIVE GATES - SEE SHEET L7

MODULAR METALWAS UNIT ENTRY PORCH

- see sheet L8

- DOG POND**
- synthetic turf
 - recessed string lighting
 - new plant play structures
 - movable seating

PROTECT EXISTING SCENIC and MEDICAN TERN PALMS

PROPOSED RELOCATED TRANSIT STOP

SHORT TERM BIKE PARKING

REQUIRED: 31 SHORT TERM BIKE SPACES

PROVIDED PROVIDED: 37 BIKES

LEASING: 4 BIKES

POOL COURTYARD: 8 BIKES

BUILDING ENTRANCES: 10 BIKES

DOG PARK ENTRY: 6 BIKES

RETAIL PORTAL: 4 BIKES

POOL COURTYARD

SEE ENLARGEMENT SHEET L3

ENLARGED PATIOS WITH DIRECT ACCESS

POTENTIAL ART LOCKER

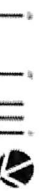
ENHANCE PAVING AT BUILDING ENTRANCES

- RESIDENT ONLY ENTRY**
- matching height poles
 - accent trees
 - enhanced paving
 - signage

POSSIBLE ADJACENT TO STREETS TO BE SCREENED WITH LANDSCAPE

MODULAR METALWAS UNIT

MISSION GROVE APARTMENTS
 Riverside, CA
 Mission Grove, LLC

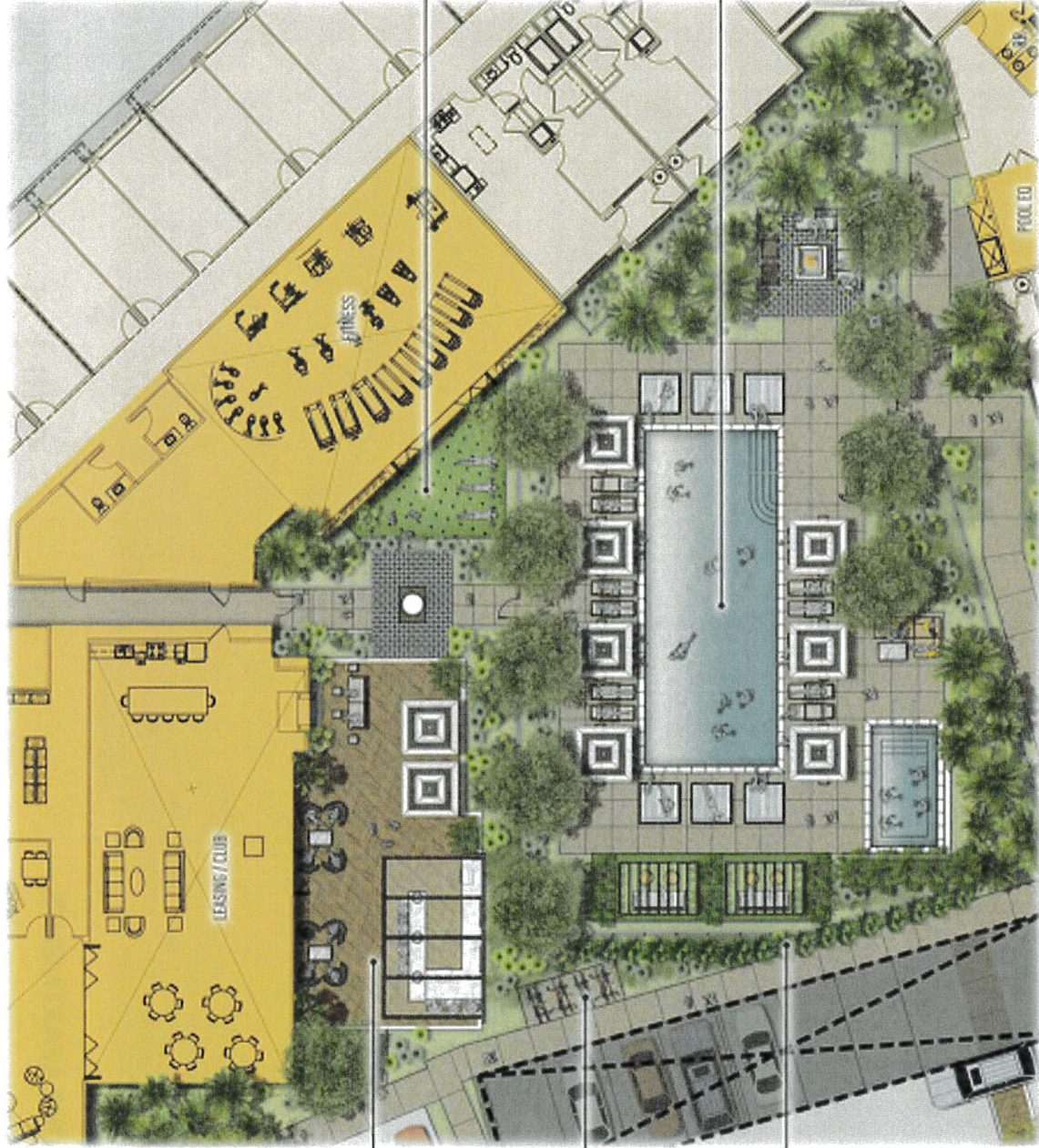


CONCEPTUAL LANDSCAPE PLAN L.2



SUBMITTAL #3 JANUARY 11, 2023





CLUBROOM TERRACE

- built-in bar counter & bar
- overhead shade structure
- pendant lighting
- dining furnishings
- fire place
- lounge furnishings
- accent painting

SHORT-TERM BIKE PARKING

LUSH PLANTING SCREENS

OUTDOOR FITNESS

POOL CABARET/BOGO

- pool (58ft x 28ft)
- spa (18ft w/)
- day beds
- lounge lounge chairs
- fire pit
- cabanas
- lounge furnishings



MISSION GROVE APARTMENTS
 Riverside, CA
 Mission Grove, LLC



POOL COURTYARD ENLARGEMENT L.3



SUBMITTAL #3 - JANUARY 17, 2020



IRRIGATION ZONES

| SYMBOL | DESCRIPTION |
|--------|---|
| | NORTH & EAST EXPOSURE SHRUBS / GROUNDCOVERS / TREES 22,745 SF |
| | SOUTH & WEST EXPOSURE SHRUBS / GROUNDCOVERS / TREES 33,563 SF |

EXPOSURE ZONE IRRIGATION REQUIREMENT

| ZONE | AREA (SF) | PLANTING RATE (PLANTS/SF) | TOTAL PLANTS | PLANTING RATE (TREES/SF) | TOTAL TREES |
|-----------------------|---------------|---------------------------|---------------|--------------------------|--------------|
| NORTH & EAST EXPOSURE | 22,745 | 0.5 | 11,373 | 0.1 | 2,275 |
| SOUTH & WEST EXPOSURE | 33,563 | 0.5 | 16,782 | 0.1 | 3,356 |
| TOTAL | 56,308 | | 28,155 | | 5,631 |

SPECIAL IRRIGATION NOTES:

- 1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA WATERWAYS CONTROL ACT.
- 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CALIFORNIA WATERWAYS CONTROL ACT.

ANTONI | **MISSION GROVE APARTMENTS**
 Riverside, CA
 Mission Grove, LLC



HYDROZONE IRRIGATION PLAN L.4





| TREE AND PALM LEGEND | BOTANICAL / COMMON NAME | EST. | WINDSPEED | QTY |
|----------------------|--|--------|-----------|-----|
| | APRILIUS THYMIA HYBRID STAMBEUR TREE - STANDARD | 3/5/20 | MODERATE | 20 |
| | ARCHONDOCEUS OLIVINGAMENSIS KING PALM TREE (STANDARD) | 3/5/20 | LOW | 11 |
| | CAMPAUS INKALANDODUS CAROLY WOOD | 3/5/20 | MODERATE | 14 |
| | LARUS NORUS 'COLUMBY' BAY LAUREL | 3/5/20 | LOW | 2 |
| | LARUS X SAMACOA SANTOIA HYBRID LAUREL | 3/5/20 | LOW | 4 |
| | OLUS BURDIA SWAN HELL OAK | 3/5/20 | LOW | 4 |
| | OLUS BURDIA SWAN HELL OAK | 3/5/20 | LOW | 4 |
| | PHONIX DACTYLIFERA MEDICAN FAN PALM | 3/5/20 | LOW | 20 |
| | PRUS ELIMICA ACORN TREE | 3/5/20 | MODERATE | 2 |
| | QUERCUS AGROCOLA COAST LIVE OAK | 3/5/20 | LOW | 7 |
| | QUERCUS VIRGINIANA SOUTHERN LIVE OAK | 3/5/20 | MODERATE | 11 |
| | LEUCO PARVIFLORA 'ZANMET' DWARF LACEBARK ELM | 3/5/20 | MODERATE | 28 |
| | PHONIX DACTYLIFERA MEDICAN FAN PALM | 3/5/20 | LOW | 1 |



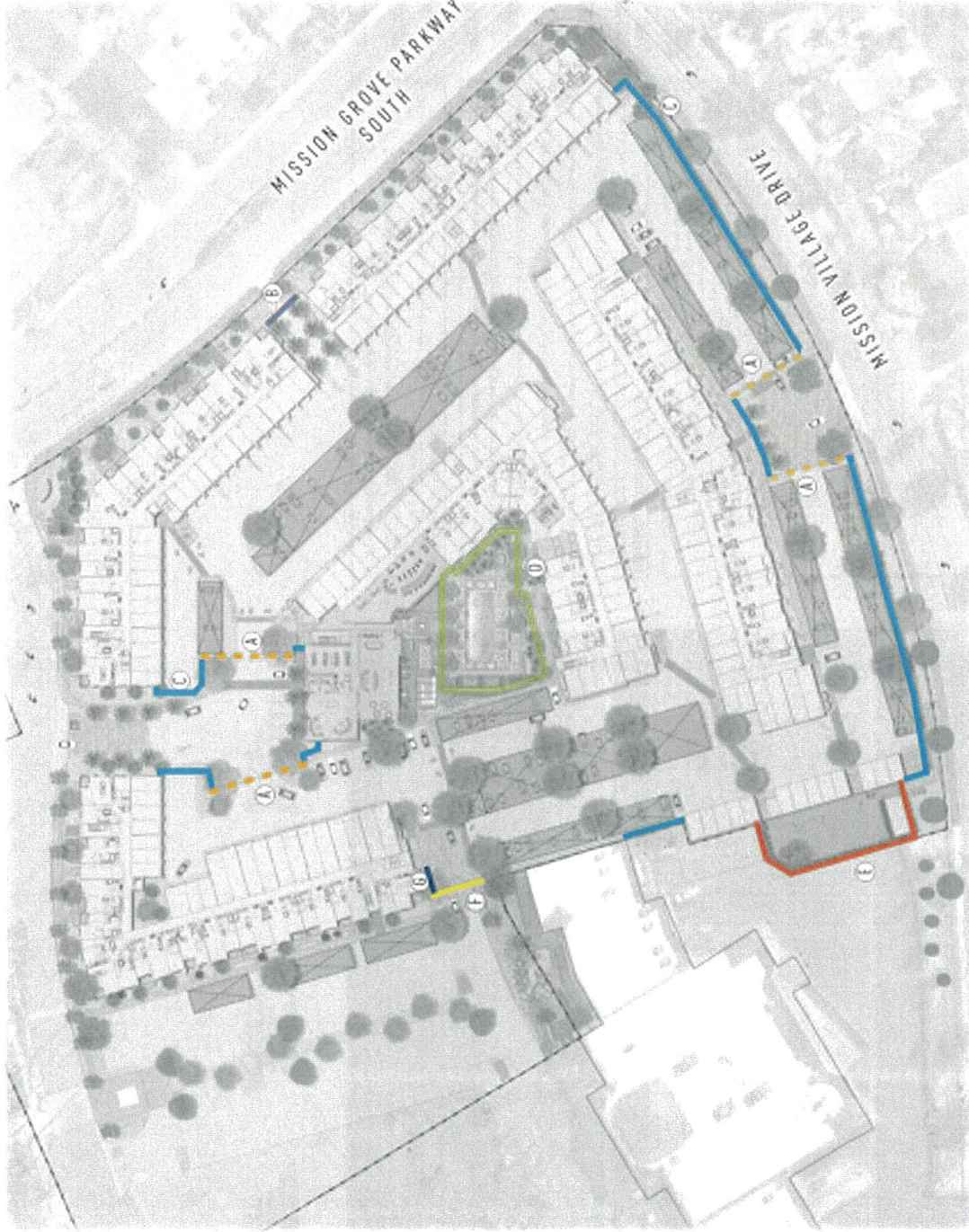
MISSION GROVE APARTMENTS
 Riverside, CA
 Mission Grove, LLC



TREE PLAN L.5



SUBMITAL #3, JANUARY 17, 2023



LEGEND

- (A) ENTRY VEHICULAR GATES
- (B) EXIT ONLY VEHICULAR GATE
- (C) 6" TUBULAR STEEL PERIMETER FENCE
- (D) 6" TUBULAR STEEL POOL ENCLOSURE
- (E) 8" TUBULAR STEEL DOG PARK FENCE
- (F) 8" MAIL PORCH VEHICULAR GATE
- (G) 42" SCREEN FENCE



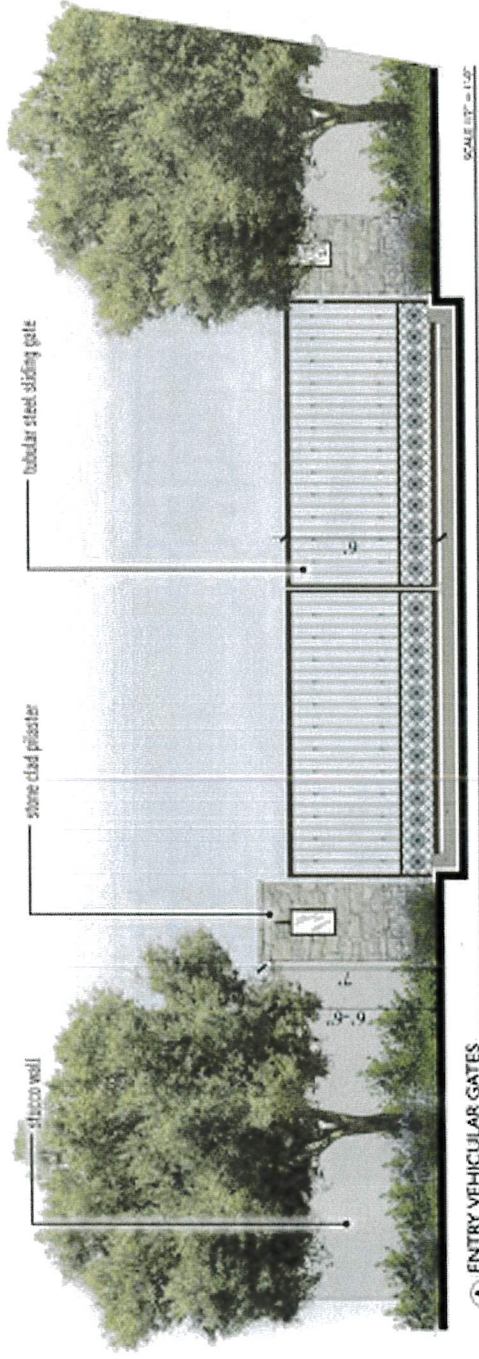
MISSION GROVE APARTMENTS
 Riverside, CA
 Mission Grove, LLC



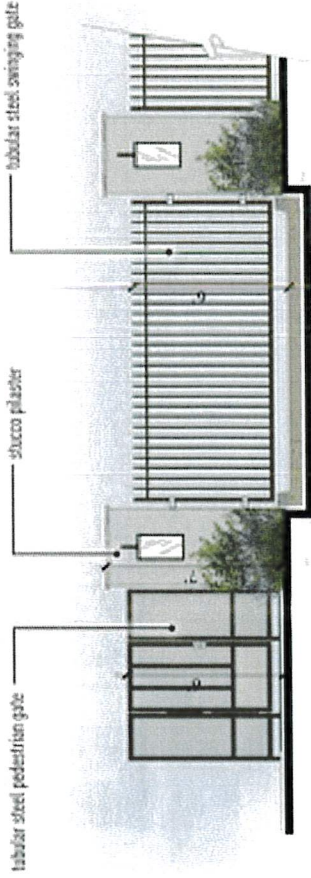
WALL and FENCE PLAN L.7



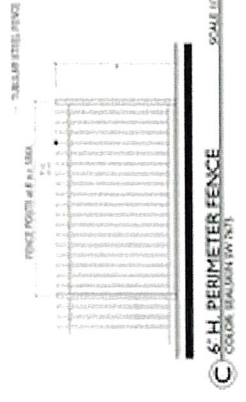
SUBMITAL # 1, JANUARY 31, 2022



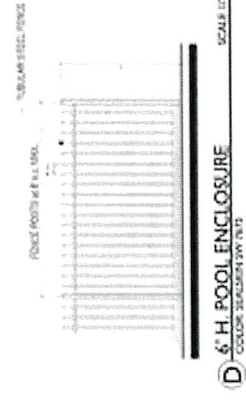
A ENTRY VEHICULAR GATES
STONE PILLAR, SLIDING GATE
 SCALE 1/2" = 1'-0"



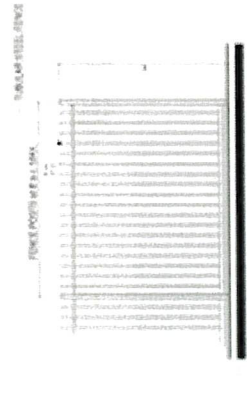
B EXIT ONLY VEHICULAR GATE
STUCCO PILLAR, SWINGING GATE
 SCALE 1/2" = 1'-0"



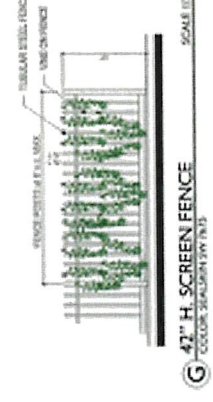
C 6' H. PERIMETER FENCE
COLOR: GALVALUM 300 IN 15'
 SCALE 1/2" = 1'-0"



D 6' H. POOL ENCLOSURE
COLOR: GALVALUM 300 IN 15'
 SCALE 1/2" = 1'-0"



E 8' H. DOG PARK FENCE
COLOR: GALVALUM 300 IN 15'
 SCALE 1/2" = 1'-0"

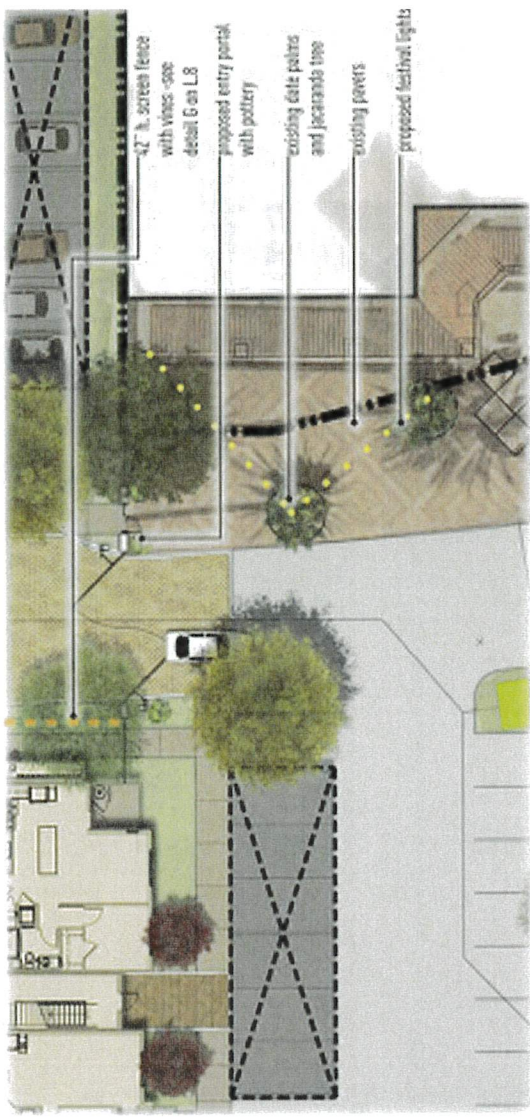


G 42" H. SCREEN FENCE
COLOR: GALVALUM 300 IN 15'
 SCALE 1/2" = 1'-0"

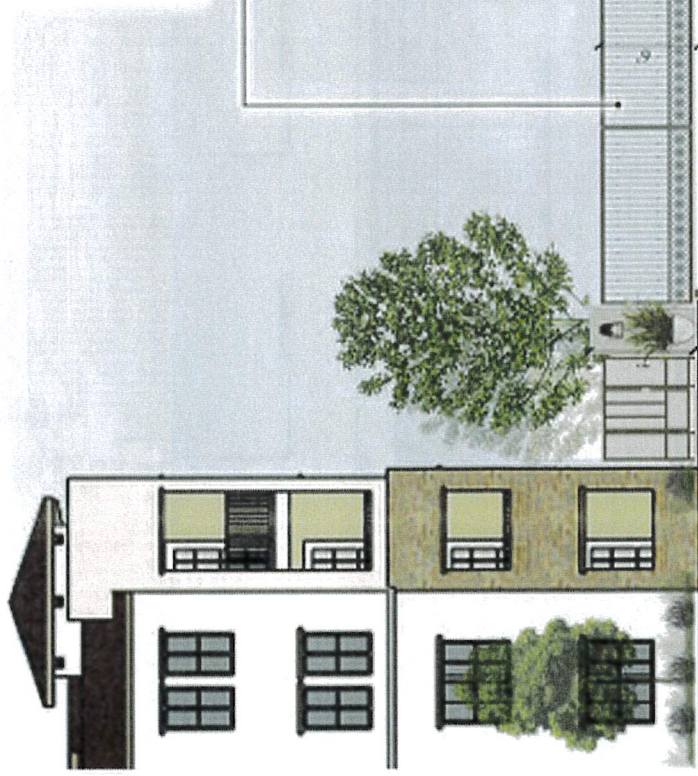
MISSION GROVE APARTMENTS
 Riverside, CA
 Mission Grove, LLC

WALL and FENCE DETAILS L.8
 MGS LANDSCAPE ARCHITECTURE
 SUBMITAL #3 JANUARY 31, 2023





ENLARGED PLAN VIEW



F RETAIL PORTAL VEHICULAR GATE
PROPOSED ARCHITECTURE AND SITE PLAN

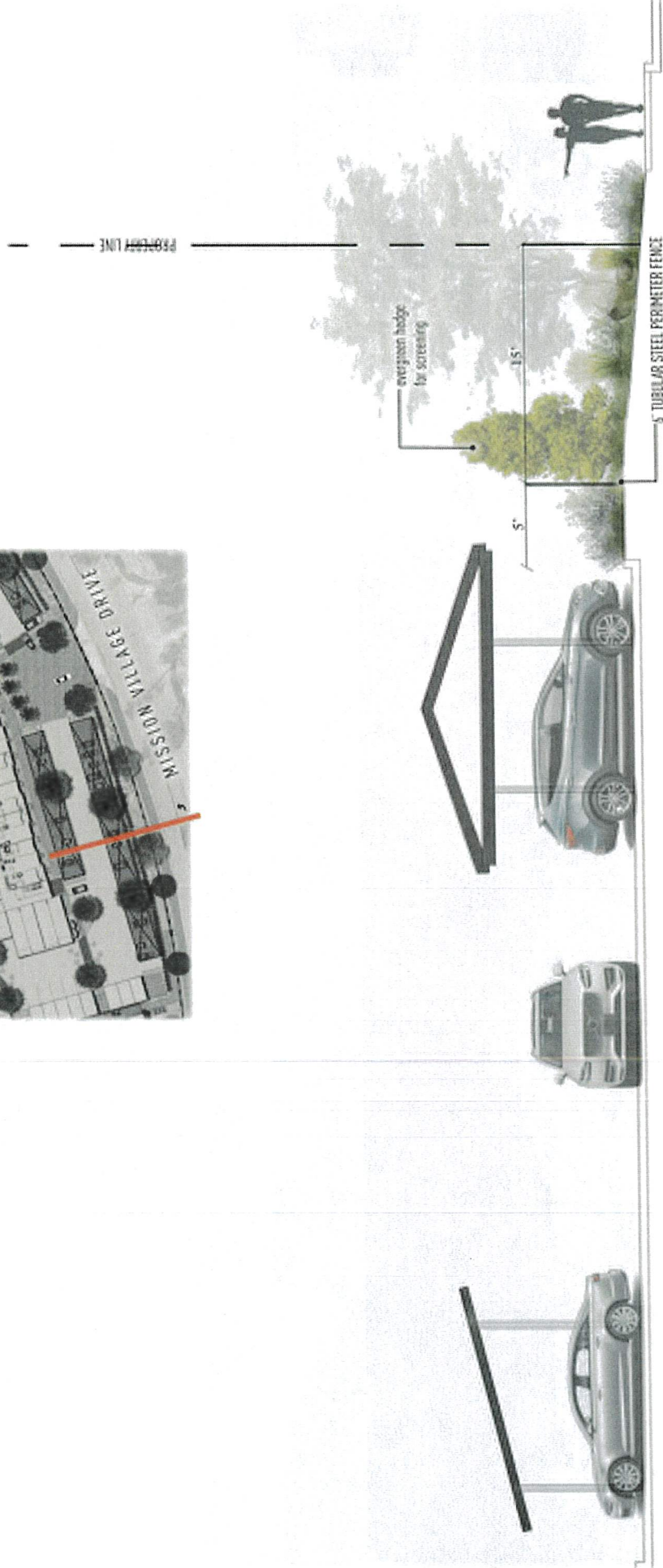
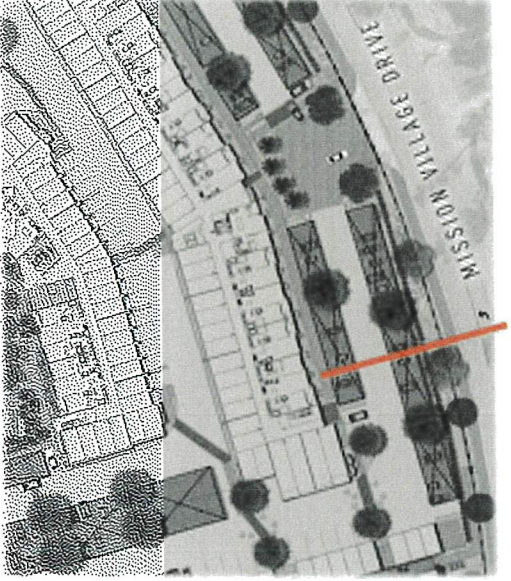
SCALE: 1/8" = 1'-0"

ANTONE
 Riverside, CA
 Mission Grove, LLC

Mission Grove Apartments
 Retail Portal Gate Elevation L.9



SUBMITTAL # 3, JANUARY 11, 2020



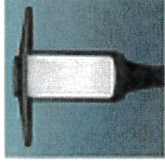
MISSION GROVE APARTMENTS
 Riverside, CA
 Mission Grove, LLC

SECTION AT CARPORT AT MISSION VILLAGE DRIVE L.10





STREET LIGHT
AT DRIVE



THEME POLE LIGHT
ENTRY DRIVE AND LARGE
AMENITY SPACES - 12 FT. POLE



BOLLARD
PEDESTRIAN PATH OF TRAVEL



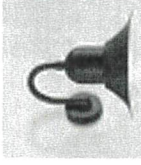
**OVERHEAD FESTIVAL
LIGHTING**
AT POOL AND BBQ PARK



PENDANT LIGHT
AT OVERHEAD TRELS



WALL MOUNTED
ON GARAGE



SCONCE
AT BUILDING ENTRIES

DOWNLIGHT
AT CARPORTS

THEME POLE LIGHT
AT DRIVE AND PARKING LOT

**ENTRY DRIVE AND LARGE AMENITY
SPACES**

SIGN LIGHT
AT MONUMENT SIGN

| EXTERIOR LIGHTING LEGEND | |
|--------------------------|---|
| SYMBOL | TYPE/TECHNIQUE LOCATION |
| | STREET LIGHT - SINGLE OR DUAL HEAD AT DRIVE AND PARKING LOT |
| | THEME POLE LIGHT ENTRY DRIVE AND LARGE AMENITY SPACES |
| | BOLLARD AT PEDESTRIAN PATH OF TRAVEL |
| | OVERHEAD FESTIVAL LIGHTING ATTACHED TO POLES. MINIMUM 12 ABOVE FINISH SURFACE |
| | DOWNLIGHT CARPORTS |
| | PENDANT LIGHT HUNG ON OVERHEAD TRUSS |
| | WALL MOUNTED ON GARAGE |
| | SIGN LIGHT AT MONUMENT SIGNS |
| | SCONCE BUILDING ENTRIES |

* FOR REFERENCE ONLY *

ANTON
Riverside, CA
Mission Grove, LLC



LIGHTING PLAN L.11

MGS
3000 S. JENSEN AVE
SANTA ANA, CA 92705
SUBMITTAL # 3, JANUARY 17, 2023



535 PRINCE AND COURT
SUITE 100
P.O. BOX 1020
JSAASSOCIATESINC.COM
PH: 858.454.4472

COPYRIGHT NOTICE:
ALL DRAWINGS AND WRITTEN
CONTENTS ARE THE PROPERTY OF
JSA & ASSOCIATES INC. NO PART
HEREOF MAY BE REPRODUCED OR
TRANSMITTED IN ANY FORM OR
BY ANY MEANS, ELECTRONIC OR
MECHANICAL, WITHOUT THE
WRITTEN PERMISSION OF JSA & ASSOCIATES
INC. A PROFESSIONAL CORPORATION
OF THE STATE OF CALIFORNIA.

OWNER:
ANTON DEV CO
19015 WILSON
SAPPHIRE CT 28841
RIVERVIEW, NC 28128

PROJECT:
MISSION GROVE
APARTMENTS
MISSION VILLAGE DR.
RIVERVIEW, CA

| | | | |
|------|------------|-------------|---------------------------|
| DATE | 2022.10.27 | DESCRIPTION | REVISED SITE PHOTOMETRICS |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

PRELIMINARY
NOT FOR
CONSTRUCTION



DRAWN BY: LV
CHECKED BY: S.G.
SCALE: AS SHOWN

SHEET TITLE
SHEET INDEX
NOTES
ABBREVIATIONS
& SYMBOLS

SHEET NO.:
LTG-0.1

GENERAL NOTES

1. JSA & ASSOCIATES SHALL IN NO WAY ASSUME RESPONSIBILITY FOR THE ELECTRICAL DESIGN OF THIS PROJECT. JSA LIGHTING DESIGN SHALL BE INCORPORATED AND VERIFIED BY ELECTRICAL ENGINEER OF RECORD. ALL DIMENSIONS SHOWN ON THESE DRAWINGS SHALL COORDINATE WITH THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF ANY ELECTRICAL WORK.
2. WHEN INTERPRETING THESE DRAWINGS, THE FOLLOWING GENERAL RULES APPLY:
 - 2.1. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
 - 2.2. RESPONSIBILITY TO VERIFY & FIELD-MEASURE DIMENSIONS BEFORE PROCEEDING WITH ANY AFFECTED PROCUREMENT, FABRICATION OR CONSTRUCTION.
 - 2.3. DETAIL NOTES & DETAILS SHALL TAKE PRECEDENCE OVER GENERAL NOTES & TYPICAL NOTES THAT ARE SHOWN & SPECIFIED.
 - 2.4. WORK NOT PARTICULARLY SHOWN OR SPECIFIED SHALL BE THE SAME AS SIMILAR PARTS THAT ARE SHOWN & SPECIFIED.
 - 2.5. DEMONSTRATE THE RELATIONSHIP AMONG COMPONENT PARTS, AND NOT TO DEPICT SPECIFIC LOCATIONS.
 - 2.6. WORK SHOWN AS "N.O." OR "NOT IN SCOPE" IS FOR REFERENCE ONLY.
3. ELECTRONIC VERSIONS OF THESE PLANS ARE SUBJECT TO THE SAME PROVISIONS AS OTHER INSTANCES OF SUCH PLANS. THE RIGHTS OF THE DESIGNER ARE RESERVED AND ALL RIGHTS, INCLUDING COPYRIGHTS, ARE RESERVED AT MOST A TRANSFERABLE RIGHTS. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RIGHTS AND PERMISSIONS TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE. ANY OTHER USE FOR ANY OTHER PURPOSE COULD BE A VIOLATION OF THE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS WITH NO GUARANTEE OF THE ABSENCE OF OTHER HARMFUL MATERIAL OR OF THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RIGHTS AND PERMISSIONS TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE. ANY OTHER USE FOR ANY OTHER PURPOSE COULD BE A VIOLATION OF THE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS WITH NO GUARANTEE OF THE ABSENCE OF OTHER HARMFUL MATERIAL OR OF THE ACCURACY OF THE INFORMATION PROVIDED. THE DESIGNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY RIGHTS AND PERMISSIONS TO USE OR TO ALLOW THE USE OF ALL OR ANY PORTION OF THESE PLANS FOR ANY OTHER PURPOSE. ANY OTHER USE FOR ANY OTHER PURPOSE COULD BE A VIOLATION OF THE DESIGN PROFESSIONAL'S STANDARD FORMATS AND CONVENTIONS WITH NO GUARANTEE OF THE ABSENCE OF OTHER HARMFUL MATERIAL OR OF THE ACCURACY OF THE INFORMATION PROVIDED.

4. WHERE ITEMS SHOWN ON THESE DRAWINGS SUCH AS LIGHTS, RECEPTACLES, ETC. ARE TO PENETRATE ANY BUILDING CEILING, WALLS, STRUCTURAL FRAMING, ETC. IT IS REQUIRED THAT THE INSTALLER SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION OF ANY ELECTRICAL WORK.
5. LIGHTING FIXTURES SPECIFIED IN THESE DRAWINGS SHALL NOT BE SUBSTITUTED WITHOUT THE WRITTEN APPROVAL OF THE DESIGNER. THE DESIGNER SHALL BE RESPONSIBLE FOR THE PROPER SELECTION AND INSTALLATION OF AN APPROPRIATE OWNER REPRESENTATIVE.
 - 5.1. LIGHTING FIXTURES & CONTROLS SHALL BE DELIVERED TO THE SITE IN NEW CONDITION.
 - 5.2. ONLY NOT SIGNS & EMERGENCY LIGHTING SHALL COMPLY WITH ILL 894 AND OPERATE FOR A MINIMUM OF 90 MINUTES IN EMERGENCY MODE.
 - 5.3. ALL LIGHTING FIXTURES SHALL BE UL OR ETL LISTED AND HAVE APPROPRIATE LABORATORY TESTING.
 - 5.4. ALL MEASUREMENTS, HEIGHTS, BACKGROUNDS, FINISHES SHALL BE VERIFIED BY INTERIOR DESIGNER AND ARCHITECT OF RECORD.
6. UNLESS OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DRAWINGS SHALL BE TO FACE OF CONCRETE OR UNFINISHED FACE OF FINISH, UNLESS OTHERWISE NOTED.
7. UNLESS OTHERWISE NOTED OR INDICATED, ALL VERTICAL DIMENSIONS ARE FROM FINISH FLOOR LEVEL TO FINISH FLOOR LEVEL.
8. DIMENSIONS SHOWN IN FIGURES TAKE PRECEDENCE OVER DIMENSIONS SCALED FROM DRAWINGS. LARGE-SCALE DRAWINGS & DETAILS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS.

ABBREVIATIONS

| | |
|------|-----------------------------------|
| (D) | DEMOL |
| (E) | EXISTING |
| (F) | FUTURE |
| (N) | NEW |
| (R) | RELOCATED |
| AC | ABOVE COUNTER, 7" ABOVE BACKSPASH |
| AFB | ABOVE FINISH FLOOR |
| AFG | ABOVE FINISH GRADE |
| AL | ALUMINUM |
| B/G | BELOW GRADE |
| B/D | BOTTOM OF DEVICE |
| C/D | CENTER OF DEVICE |
| CJ | COPPER |
| EC | ELECTRICAL CONTRACTOR |
| GC | GENERAL CONTRACTOR |
| GEC | GROUNDING ELECTRODE CONDUCTOR |
| GES | GROUNDING ELECTRODE SYSTEM |
| GFCI | GROUND FAULT CIRCUIT INTERRUPTER |
| G/D | GROUND |
| MC | Mechanical Contractor |
| NL | NIGHT LIGHT |
| TYP | TYPICAL |
| UG | UNDERGROUND |
| UN | UNLESS OTHERWISE NOTED |
| UTW | UNSHIELDED TWISTED PAIR |
| WP | WEATHERPROOF |
| XFR | TRANSFORMER |

SHEET INDEX

| | |
|-----------|---|
| SHEET NO. | SHEET TITLE |
| LTG-0.1 | SHEET INDEX, NOTES, ABBREVIATIONS & SYMBOLS |
| LTG-1.1 | SITE PHOTOMETRICS |

REVISED SITE PHOTOMETRICS

GENERAL NOTES:

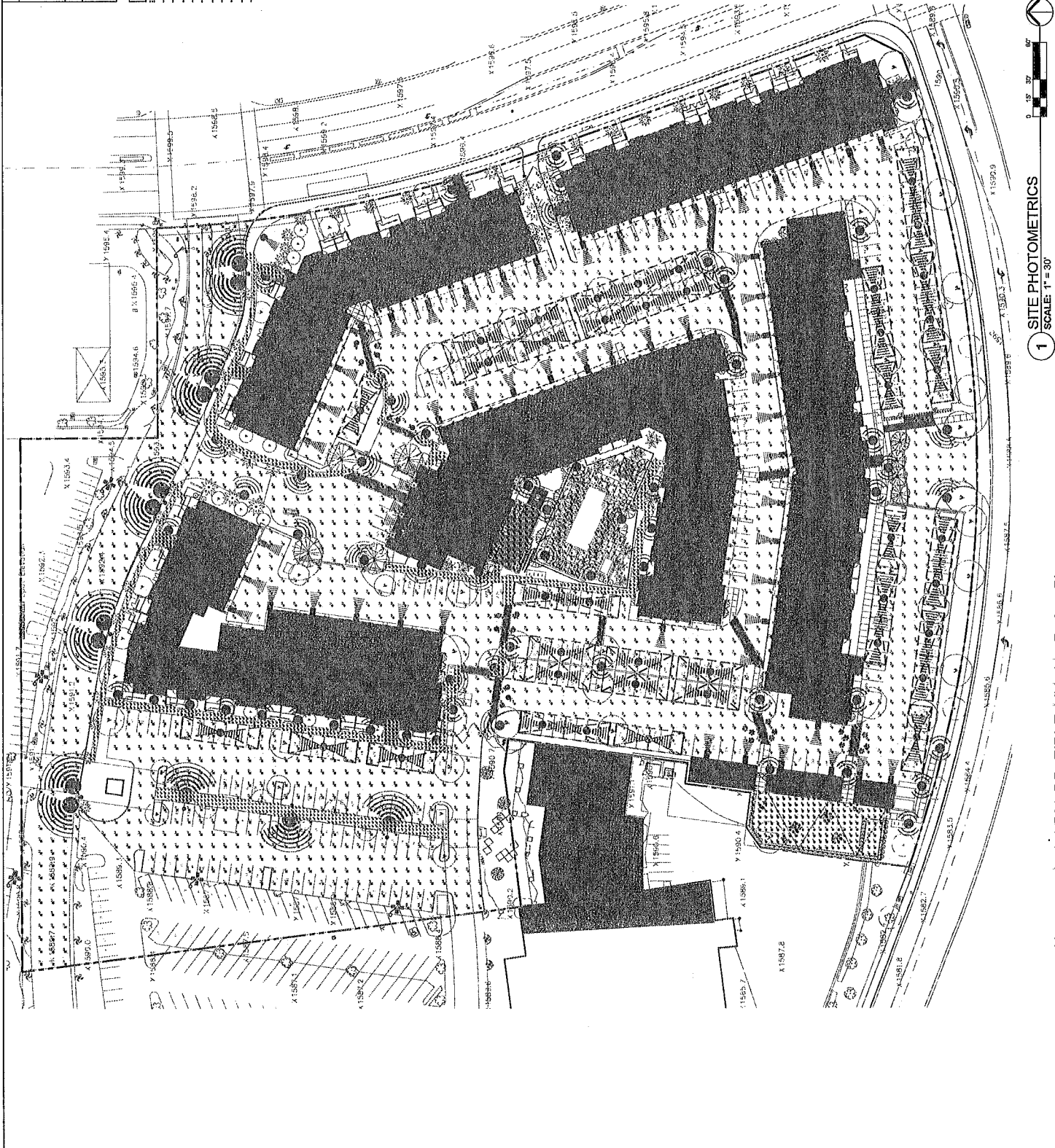
1. REFER TO LANDSCAPE ARCHITECT'S LAYOUT & NOTATIONS DRAWING.
2. CALCULATION ZONES FOR BOTH PARKING LOTS AND DRIVE AREAS ARE 10'x10'.
3. LANDSCAPE CALCULATION ZONES ARE 30'x30'.
4. ALL OTHER CALCULATION ZONES ARE 50'x50'.

KEY NOTES:

1. EXISTING POWER LINES TO BE REMOVED AND REPLACED WITH UNDERGROUND.
2. EXISTING POWER LINES TO BE REMOVED AND REPLACED WITH UNDERGROUND.

PHOTOMETRIC STATISTICS:

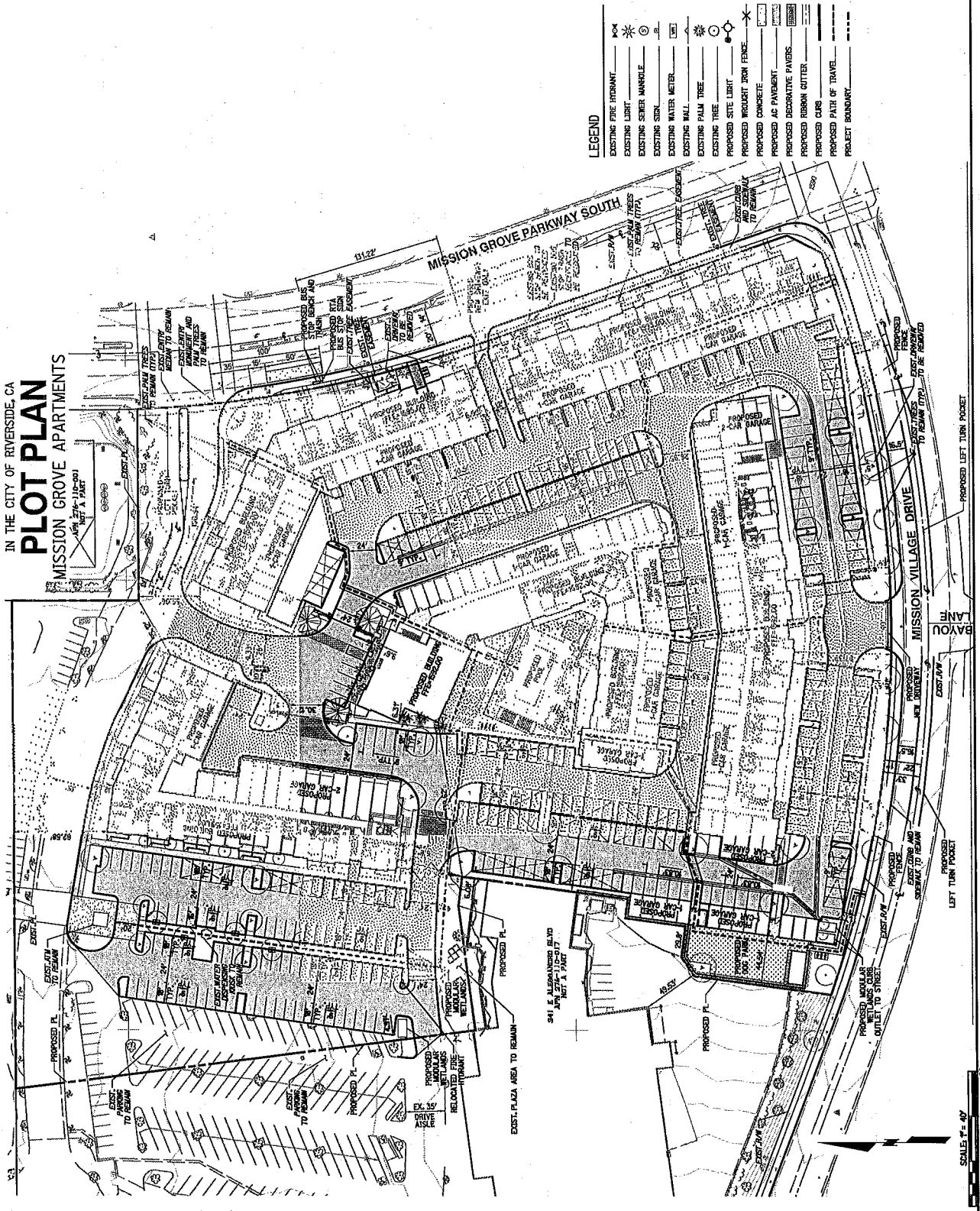
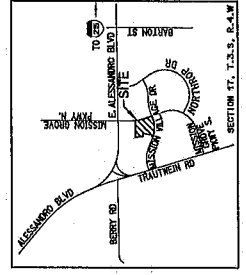
| Location | Height (ft) | Area (sq ft) | Max. Illum. (fc) | Avg. Illum. (fc) | Min. Illum. (fc) | Dir. ILL. (fc) |
|----------|-------------|--------------|------------------|------------------|------------------|----------------|
| 1 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 2 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 3 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 4 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 5 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 6 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 7 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 8 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 9 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 10 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 11 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 12 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 13 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 14 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 15 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 16 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 17 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 18 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 19 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 20 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 21 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 22 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 23 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 24 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 25 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 26 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 27 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 28 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 29 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |
| 30 | 15 | 100 | 0.15 | 0.10 | 0.05 | 0.20 |



1 SITE PHOTOMETRICS
 SCALE: 1" = 30'

PR-2022-001359 (GPA, RZ, SPA, TFM, DR, EIR) Exhibit 11 - Project Plans

IN THE CITY OF RIVERSIDE, CA
PLOT PLAN
 MISSION GROVE APARTMENTS



LEGEND

| | |
|-----------------------------|---|
| EXISTING FIRE HYDRANT | ⊙ |
| EXISTING LIGHT | ⊙ |
| EXISTING SEWER MANHOLE | ⊙ |
| EXISTING SIGN | ⊙ |
| EXISTING WATER METER | ⊙ |
| EXISTING WALL | ⊙ |
| EXISTING PALM TREE | ⊙ |
| EXISTING TREE | ⊙ |
| PROPOSED SITE LIGHT | ⊙ |
| PROPOSED WROUGHT IRON FENCE | ⊙ |
| PROPOSED CONCRETE | ⊙ |
| PROPOSED AC FINISH | ⊙ |
| PROPOSED DECORATIVE PAVERS | ⊙ |
| PROPOSED REBORN CUTTER | ⊙ |
| PROPOSED CURB | ⊙ |
| PROPOSED PATH OF TRAVEL | ⊙ |
| PROJECT BOUNDARY | ⊙ |

CIVIL ENGINEER
 RICK ENGINEERING COMPANY
 1000 N. CALIFORNIA STREET
 RIVERSIDE, CA 92507
 PHONE (951) 517-0100
 FAX (951) 517-0101

DEVELOPER
 MISSION GROVE LLC
 1000 N. CALIFORNIA STREET
 RIVERSIDE, CA 92507
 PHONE (951) 517-0100
 FAX (951) 517-0101

ARCHITECT
 44 ARCHITECTS
 44 N. ORANGE STREET
 RIVERSIDE, CA 92506
 PHONE (951) 517-0100
 FAX (951) 517-0101

OWNER
 REGIONAL PROPERTIES
 5001 WILSHIRE BLVD. SUITE 103
 COSTA MESA, CA 92626
 PHONE (714) 261-1100
 FAX (714) 261-1101

PROJECT ACREAGE
 5.32 AC - 482,45 SF

ASSESSOR'S PARCEL NUMBER
 726-10-018

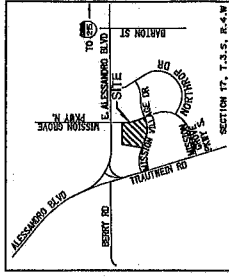
SITE ADDRESS
 3705 E. ALEXANDER BLVD
 RIVERSIDE, CA 92506

PLOT PLAN
MISSION GROVE APARTMENTS
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 DATE PREPARED: JUNE 17, 2022
 DATE REVISED: AUGUST 5, 2022
 OCTOBER 4, 2022
 SHEET 1 OF 5

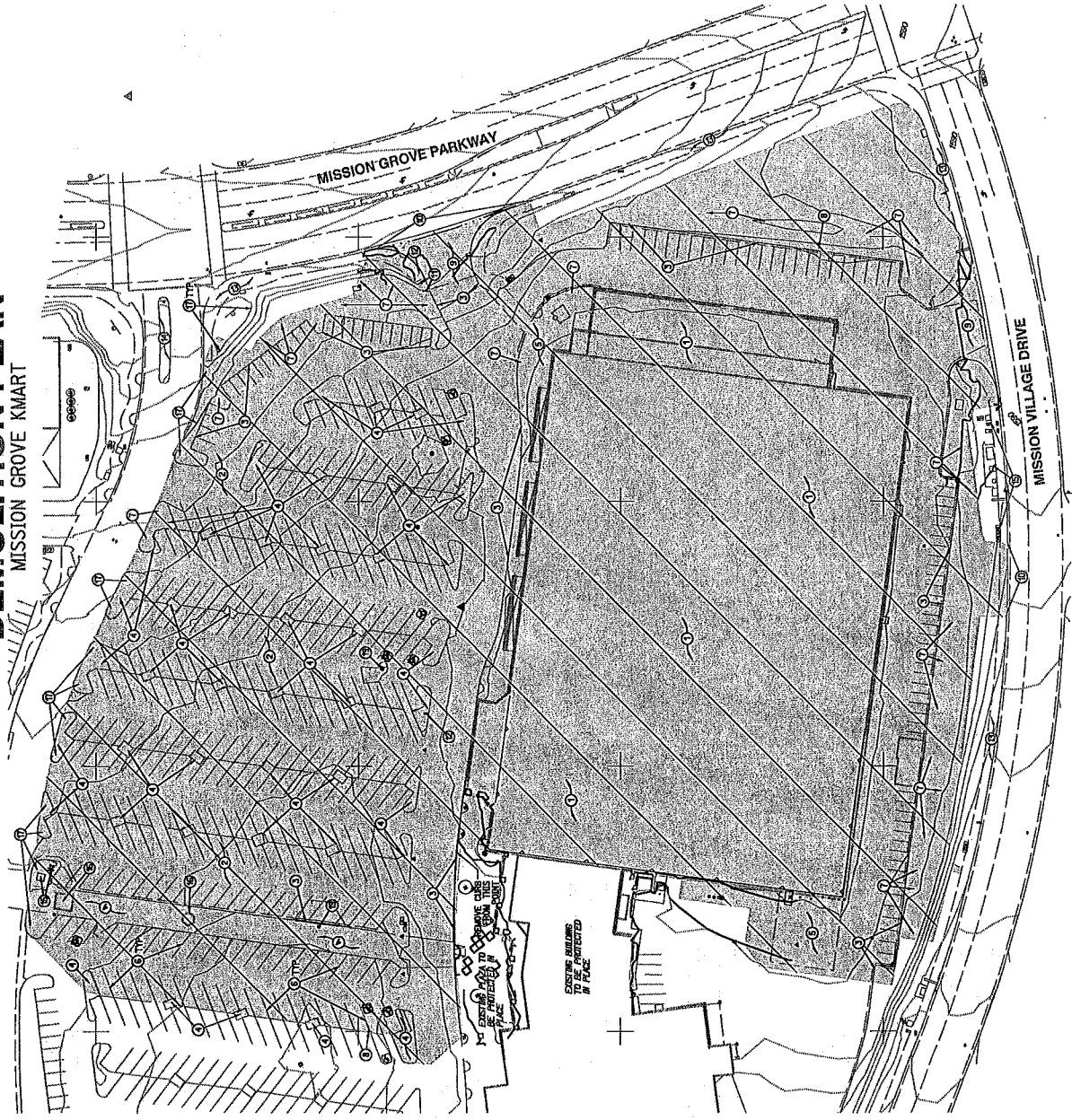
RICK ENGINEERING COMPANY
 1000 N. CALIFORNIA STREET
 RIVERSIDE, CA 92507
 PHONE (951) 517-0100
 FAX (951) 517-0101

PLAT DATE: 8/24/2022

IN THE CITY OF RIVERSIDE, CA
DEMOLITION PLAN
 MISSION GROVE KMART



VICINITY MAP
 1/2" = 1' SCALE



DEMOLITION NOTES

- 1 REMOVE EXISTING BUILDING
- 2 REMOVE EXISTING ASPHALT CONCRETE
- 3 REMOVE EXISTING CURBS
- 4 REMOVE EXISTING PLANTERS, ISLAND CURBS AND TREES
- 5 REMOVE EXISTING CONCRETE
- 6 REMOVE EXISTING PARKING LOT STRIPING
- 7 REMOVE EXISTING TREE
- 8 REMOVE EXISTING LIGHT POLE
- 9 REMOVE EXISTING DRIVEWAY
- 10 REMOVE EXISTING CURBS AND BITTER
- 11 REMOVE EXISTING SIGN
- 12 RELOCATE EXISTING UTILITY
- 13 EXISTING SIDEWALK TO BE PROTECTED IN PLACE
- 14 EXISTING SIDEWALK TO BE PROTECTED IN PLACE
- 15 EXISTING UTILITY TO BE PROTECTED IN PLACE
- 16 EXISTING BUILDING TO BE PROTECTED IN PLACE
- 17 EXISTING TREE TO BE PROTECTED IN PLACE
- 18 EXISTING CURBS TO BE PROTECTED IN PLACE
- 19 EXISTING STORM DRAIN TO BE PROTECTED IN PLACE

CIVIL ENGINEER

SEAN M. COOPER
 1770 LIMA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 A.T.E. REGISTERED PROFESSIONAL ENGINEER
 REG. NO. 65377

ARCHITECT

A2 ARCHITECTS
 1000 UNIVERSITY STREET
 ORANGE, CA 92668
 (714) 639-3860

OWNER/DEVELOPER

SEAN M. COOPER
 1770 LIMA AVENUE, SUITE 100
 RIVERSIDE, CA 92507
 A.T.E. REGISTERED PROFESSIONAL ENGINEER
 REG. NO. 65377

PROJECT ACREAGE
 3.87 AC - 44,823 SF

ASSESSOR'S PARCEL NUMBER
 216-10-018

SITE ADDRESS
 375 E ALESSANDRO BLVD
 RIVERSIDE, CA 92508

DEMOLITION PLAN
 MISSION GROVE KMART

IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 DATE PREPARED: MAY 24, 2022
 DATE REVISED: OCTOBER 24, 2022

SHEET 2 OF 5



DEMOLITION LEGEND

- LIMITS OF DEMOLITION
- EXISTING TREE
- EXISTING FIRE INTRANT
- EXISTING ELECTRICAL
- EXISTING SIGN
- EXISTING ELECTRICAL VAULT
- EXISTING GAS VALVE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING POWER POLE
- EXISTING OVERHEAD POWER
- EXISTING SEWER MANHOLE
- EXISTING WATER
- EXISTING SEWER
- EXISTING ELECTRICAL
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING WALL
- EXISTING SIGN

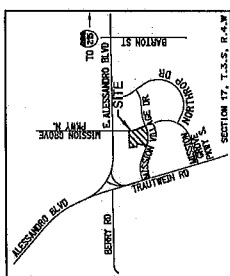
- EXISTING TREE
- EXISTING FIRE INTRANT
- EXISTING ELECTRICAL
- EXISTING SIGN
- EXISTING ELECTRICAL VAULT
- EXISTING GAS VALVE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING POWER POLE
- EXISTING OVERHEAD POWER
- EXISTING SEWER MANHOLE
- EXISTING WATER
- EXISTING SEWER
- EXISTING ELECTRICAL
- EXISTING GAS
- EXISTING TELEPHONE
- EXISTING WALL
- EXISTING SIGN



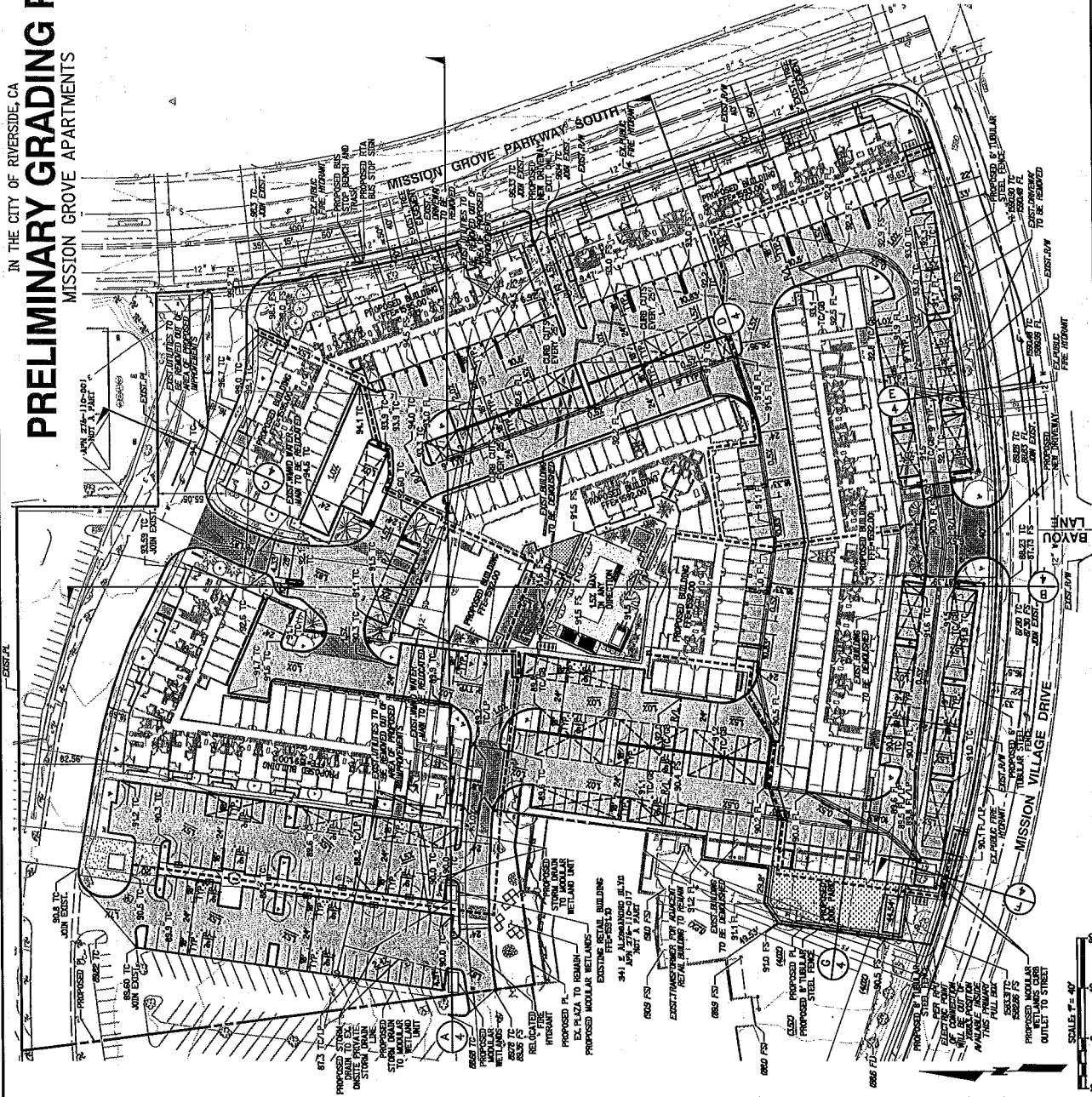
PRELIMINARY GRADING PLAN

MISSION GROVE APARTMENTS

IN THE CITY OF RIVERSIDE, CA



VICINITY MAP
N.T.S.



ABBREVIATIONS

- CB - CURB AND GUTTER
- CL - CENTERLINE
- FC - FINISHED FLOOR ELEVATION
- FG - FINISHED GRADE ELEVATION
- FL - FLOW LINE ELEVATION
- FS - FINISHED SURFACE ELEVATION
- IE - INVERT ELEVATION
- PL - PROPERTY LINE
- RL - RIDGELINE
- S/W - RIGHT-OF-WAY
- TD - TOP OF CURB ELEVATION
- TD - TOP OF WHITE LINE ELEVATION
- TR - TOP OF WALL ELEVATION
- TP - TYPICAL

LEGEND

- EXISTING ELECTRICAL VULTY
- EXISTING ELECTRICAL VULTY
- EXISTING GAS VALVE
- EXISTING MANTON VALVE
- EXISTING MANTON VALVE
- EXISTING POWER POLE
- EXISTING POWER MANHOLE
- EXISTING SIGN
- EXISTING TREE
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING PALM TREE
- EXISTING TREE
- PROPOSED SITE LIGHT
- PROPOSED WOODROT IRON FENCE
- PROPOSED CONCRETE
- PROPOSED ASPHALT
- PROPOSED DEGRATIVE PAVERS
- PROPOSED REBORN GUTTER
- PROPOSED CURB
- PROPOSED PATH OF TRAVEL
- PROJECT BOUNDARY

ESTIMATED GRADING QUANTITIES

CUTTED VOLUMES: 5,108 CU YD
ESTIMATED EMBANKMENT: 5,260 CU YD
NOTE: THE GRADING QUANTITIES SHOWN HEREIN ARE RAW QUANTITIES FOR PRELIMINARY PURPOSES ONLY AND ARE NOT TO BE USED FOR FINAL PAY QUANTITIES. THIS PROJECT IS DESIGNED TO BALANCE.

CIVIL ENGINEER

RICK ENGINEERING COMPANY
1400 CALIFORNIA BLVD., SUITE 250
RIVERSIDE, CA 92507
PHONE: (951) 514-1100
FAX: (951) 514-1176

DEVELOPER

REGIONAL PROPERTIES
44 N. ORANGE STREET
SUITE 200
ATINA MARCELLE RUBIN
RIVERSIDE, CA 92504
PHONE: (951) 514-1176

ARCHITECT

AD ARCHITECTS
44 N. ORANGE STREET
SUITE 200
ATINA MARCELLE RUBIN
RIVERSIDE, CA 92504
PHONE: (951) 514-1176

PROJECT ACREAGE

532 AC - 492,015 SF

ASSESSOR'S PARCEL NUMBER

216-10-018

SITE ADDRESS

376 E ALESSANDRO BLVD
RIVERSIDE, CA 92506

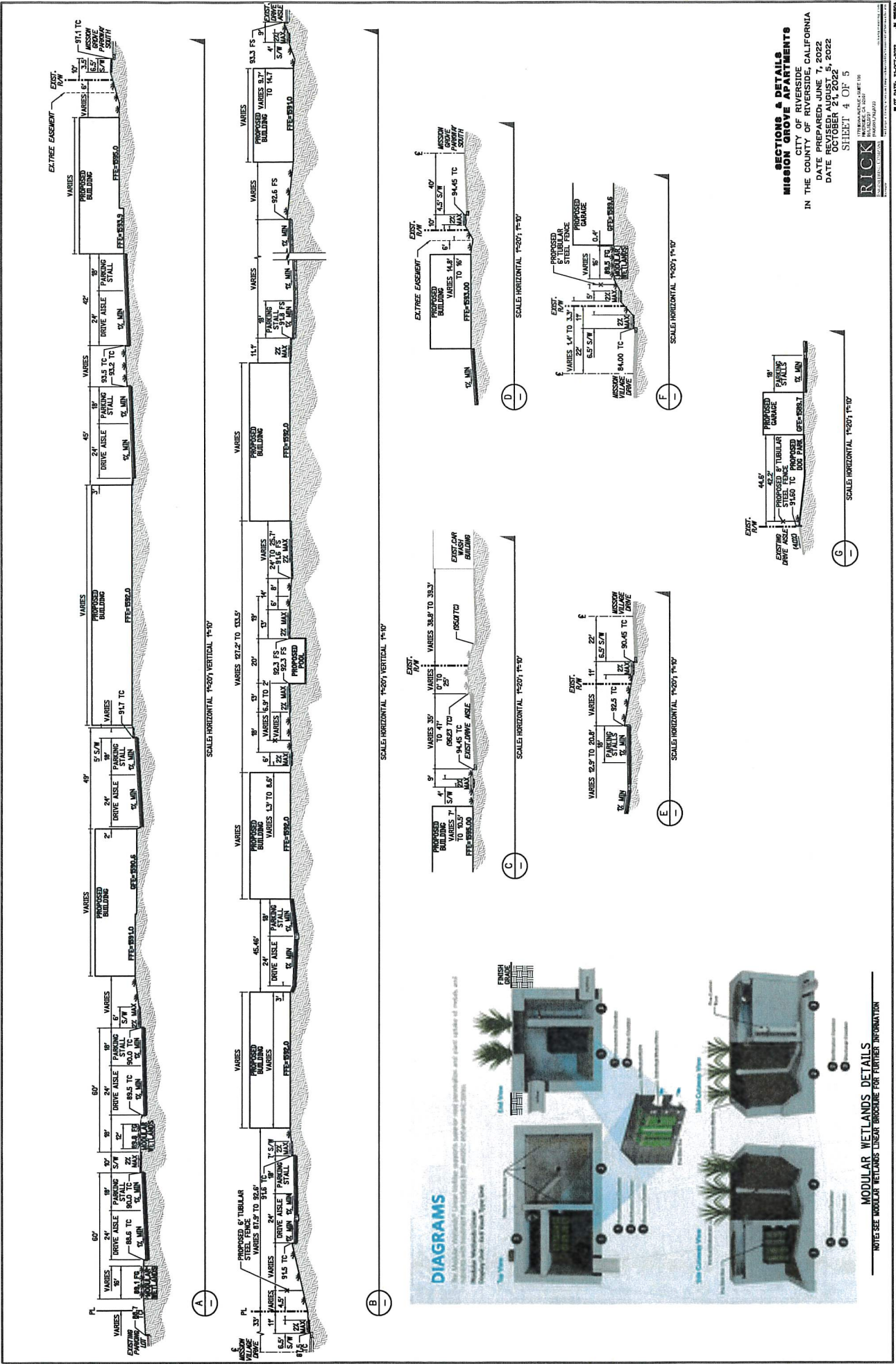
PRELIMINARY GRADING PLAN

MISSION GROVE APARTMENTS
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
DATE PREPARED: JUNE 7, 2022
DATE OCTOBER 24, 2022
SHEET 3 OF 5

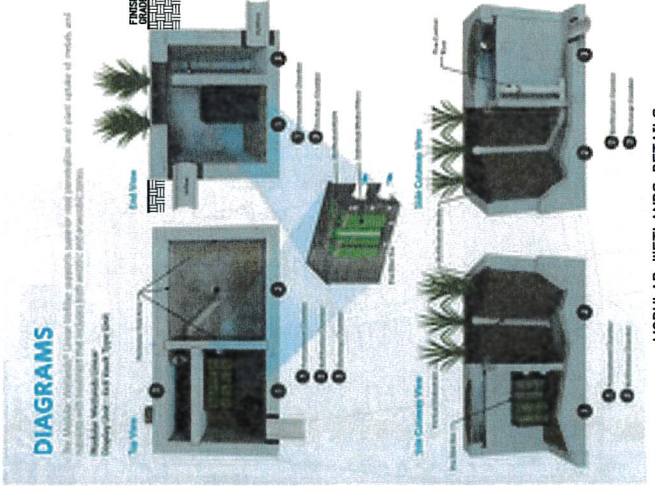
SCALE: 1" = 40'



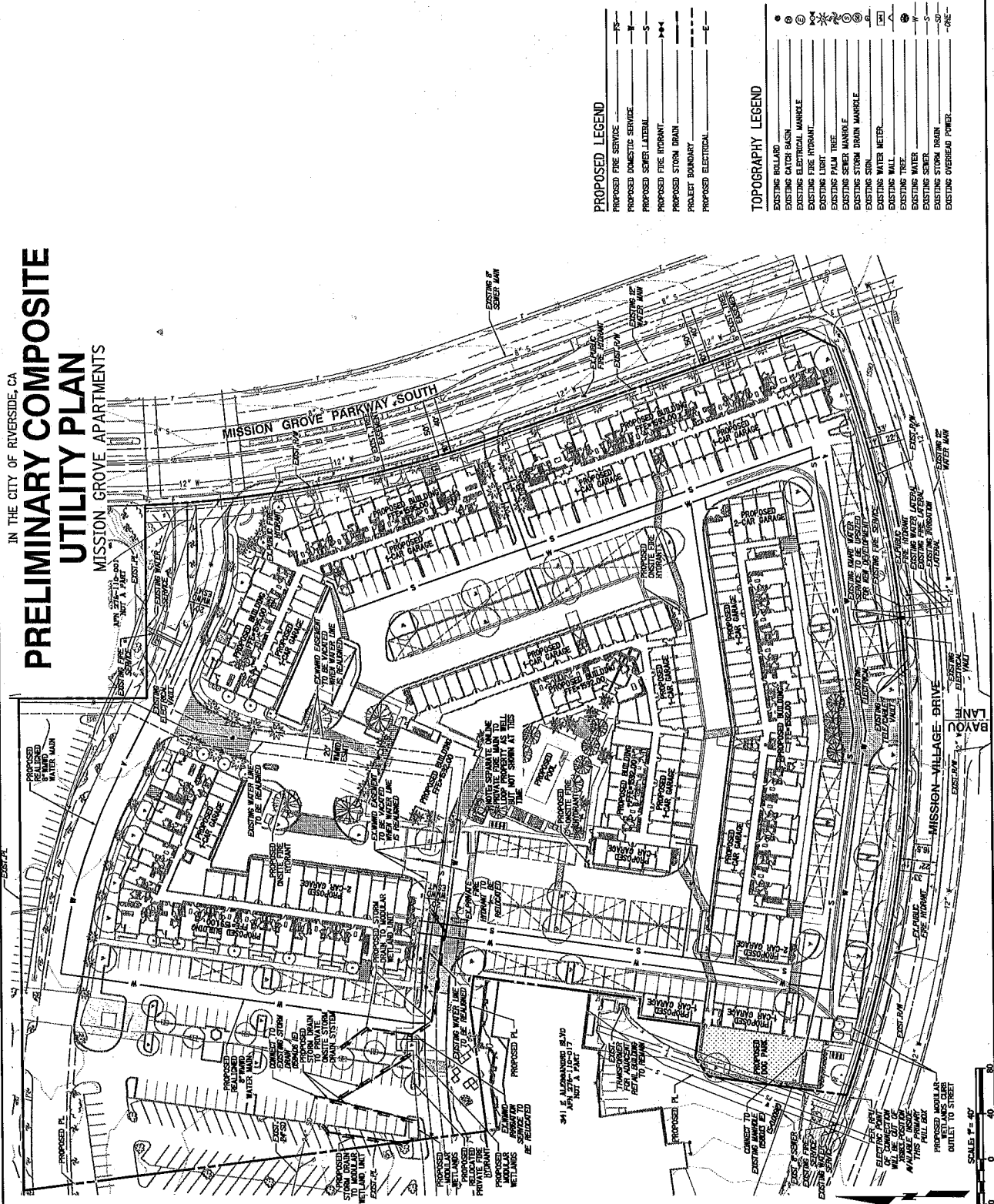
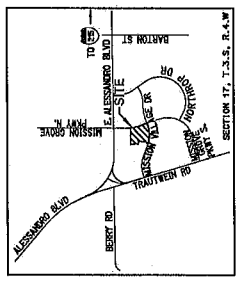
RICK ENGINEERING COMPANY
1400 CALIFORNIA BLVD., SUITE 250
RIVERSIDE, CA 92507
PHONE: (951) 514-1100
FAX: (951) 514-1176



SECTIONS & DETAILS
MISSION GROVE APARTMENTS
 IN THE COUNTY OF RIVERSIDE, CALIFORNIA
 DATE PREPARED, JUNE 7, 2022
 DATE REVISION, OCTOBER 20, 2022
 SHEET 4 OF 5



IN THE CITY OF RIVERSIDE, CA PRELIMINARY COMPOSITE UTILITY PLAN MISSION GROVE APARTMENTS



PROPOSED LEGEND

| | |
|---------------------------|------|
| PROPOSED FIRE SERVICE | —F— |
| PROPOSED DOMESTIC SERVICE | —D— |
| PROPOSED SEWER LATERAL | —S— |
| PROPOSED FIRE HYDRANT | —H— |
| PROPOSED STORM DRAIN | —SD— |
| PROPOSED ELECTRICAL | —E— |

TOPOGRAPHY LEGEND

| | |
|------------------------------|-----|
| EXISTING HILLTOP | ○ |
| EXISTING CATCH BASIN | ⊙ |
| EXISTING SEWER MANHOLE | ⊗ |
| EXISTING FIRE HYDRANT | ⊕ |
| EXISTING PALM TREE | ⊖ |
| EXISTING SEWER MANHOLE | ⊗ |
| EXISTING STORM DRAIN MANHOLE | ⊙ |
| EXISTING WATER METER | ⊕ |
| EXISTING WALL | —W— |
| EXISTING TREE | ⊖ |
| EXISTING WATER | —W— |
| EXISTING STORM INLET | —S— |
| EXISTING OVERHEAD POWER | —O— |

DEVELOPER
RICK ENGINEERING COMPANY
1710 DINA AVENUE, SUITE 100
RIVERSIDE, CALIFORNIA 92506
PHONE (951) 514-1000
FAX (951) 514-1001

OWNER
ANTON MISSION GROVE, LLC
2615 N CALLENDAR BLVD, SUITE 250
RIVERSIDE, CALIFORNIA 92506
PHONE (951) 543-7835

ARCHITECT
40 ARCHITECTS
3715 E ALESSANDRO BLVD, SUITE 903
RIVERSIDE, CALIFORNIA 92506
PHONE (951) 538-9880

PROJECT ACREAGE
3.87 AC - 04,223 SF

ASSESSOR'S PARCEL NUMBER
278-183-018

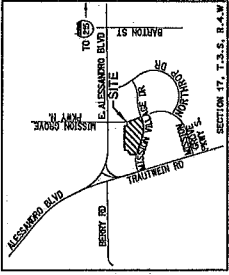
SITE ADDRESS
375 E ALESSANDRO BLVD
RIVERSIDE, CA 92506

**PRELIMINARY COMPOSITE UTILITY PLAN
MISSION GROVE APARTMENTS**

CITY OF RIVERSIDE
IN THE COUNTY OF RIVERSIDE, CALIFORNIA
DATE PREPARED, JUNE 7, 2022
DATE REVISED, AUGUST 5, 2022
DATE CHECKED, SEP 1, 2022
SHEET 5 OF 5



SCALE: 1" = 40'



UTILITY PURVEYORS

WATER: WESTERN MUNICIPAL WATER DISTRICT
 GAS: CITY OF SACRAMENTO
 ELECTRIC: CITY OF SACRAMENTO PUBLIC UTILITIES
 TELEPHONE: CHARTER COMMUNICATIONS
 CABLE TV: CHARTER COMMUNICATIONS
 STORM DRAIN: CITY OF SACRAMENTO

CIVIL ENGINEER
 KEVIN M. WERNSHAW
 REGISTERED CIVIL ENGINEER
 1770 BAY AVENUE, SUITE 200
 SACRAMENTO, CALIFORNIA 95811
 PHONE: (916) 486-1178

LEGAL DESCRIPTION
 THAT CERTAIN PARCELS OF LAND IN THE CITY OF SACRAMENTO, CALIFORNIA, BEING PART OF THE TRACT OF LAND DESCRIBED AS SHOWN BY MAP ON FILE IN THE OFFICE OF THE COUNTY CLERK OF SACRAMENTO COUNTY, CALIFORNIA, BEING RECORDED IN THE PUBLIC RECORDS OF SACRAMENTO COUNTY, CALIFORNIA.

ASSESSOR'S PARCEL NUMBERS
 278-110-02, -04, -05, -06, -07, -08

PROPOSED PARCEL ACREAGE
 PARCEL 1: 3.92 AC
 PARCEL 2: 3.35 AC

PROPOSED IMPROVEMENTS
 NO IMPROVEMENTS ARE PROPOSED WITH THIS MAP

ENGINEER/CONTACT PERSON
 THIS MAP WAS PREPARED UNDER THE DIRECTION OF KEVIN WERNSHAW, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.



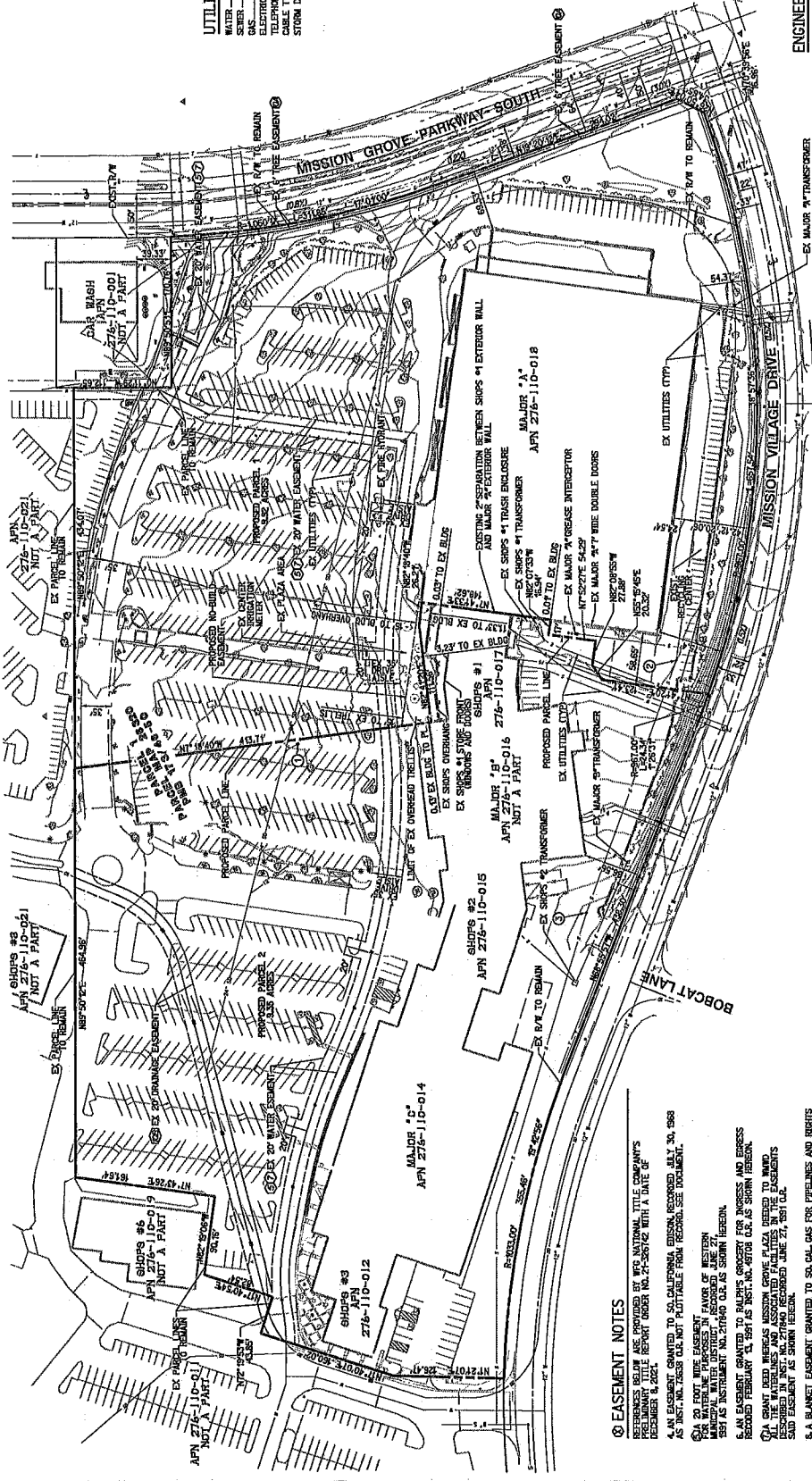
DATE PREPARED: OCTOBER 31, 2022
 REV APRIL 19, 2023
 REV NOVEMBER 7, 2023

TENTATIVE PARCEL MAP NO. 38598

IN THE CITY OF SACRAMENTO, CALIFORNIA



SCALE: 1" = 50'
 0 50 100



PROPERTY SUMMARY TABLE

| PARCEL NUMBER | LOT AREA | LOT WIDTH | LOT DEPTH | WOB |
|---------------|---------------|-----------|-----------|---------|
| 1 | 432.15 SQ FT | 614.50' | 63.50' | 270.64' |
| 2 | 401.295 SQ FT | 464.93' | 270.64' | |

SOURCE OF TOPOGRAPHY
 REX ENGINEERING COMPANY FIELD SURVEY CONDUCTED ON 3/4/2022.

SEWER AND STORM DRAIN INVERT ELEVATIONS

- ① 694.45 IE OUT 2" SD
- ② 571.28 IE IN 8" SD
- ③ 571.24 IE OUT 8" SD
- ④ 584.15 IE IN 8" SD
- ⑤ 584.05 IE OUT 8" SD

EASEMENT NOTES

- 1. REFERENCES BELOW ARE PROVIDED BY INFO NATIONAL TITLE COMPANY'S PRELIMINARY TITLE REPORT NUMBER 24-266742 DATED 11/13/2018 AS BEST AVAILABLE TO GO. ALL PERMITS, ORDINANCES, DEEDS, EASEMENTS, AND INSTRUMENTS MUST BE REVIEWED FOR RECORDS TO BE RELIED UPON.
- 2. A 20 FOOT WIDE EASEMENT FOR WATERLINE PURPOSES IN FAVOR OF WESTERN MUNICIPAL WATER DISTRICT, INSTRUMENT NO. 2018-000000, RECORDED FEBRUARY 13, 2018 AS INSTRUMENT NO. 2018-000000, IS SHOWN HEREIN.
- 3. A 6 FOOT WIDE STREET TREE EASEMENT PER PARCEL MAP 26220, FEB. 15/16-50.
- 4. A 20 FOOT WIDE DRAINAGE EASEMENT PER PARCEL MAP 26220, FEB. 15/16-50.
- 5. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 6. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 7. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 8. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 9. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 10. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 11. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 12. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 13. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 14. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 15. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 16. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 17. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 18. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 19. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.
- 20. A BLANKET EASEMENT GRANTED TO SA. CAL GAS FOR PRELIMINARY AND RIGHTS INCIDENTAL THEREON OVER ALL OF PARCEL 1, THRU 1/2 OF PARCEL, MAP 26220 PER 150-146-50.