

DUTCH BROS COFFEE

PLANNING CASE PR-2023-001569

(Rezone, Conditional Use Permit, and Design Review)

Community & Economic Development Department

City Council

November 19, 2024

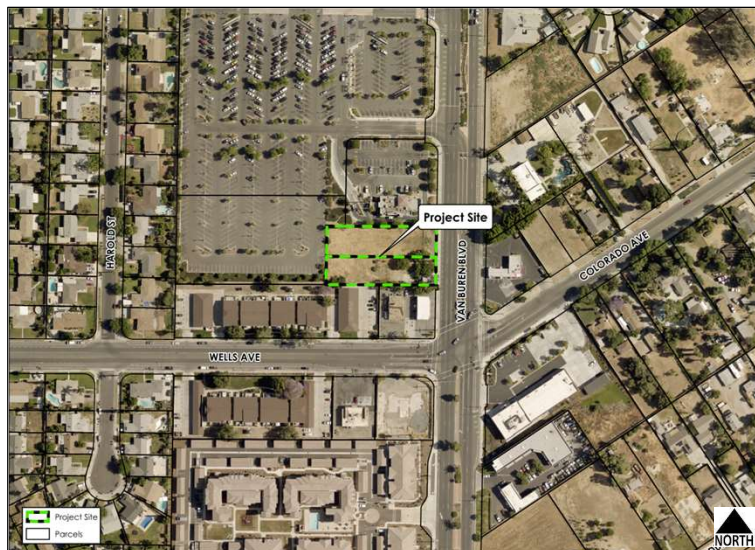


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LOCATION MAP



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EXISTING SITE PHOTOS

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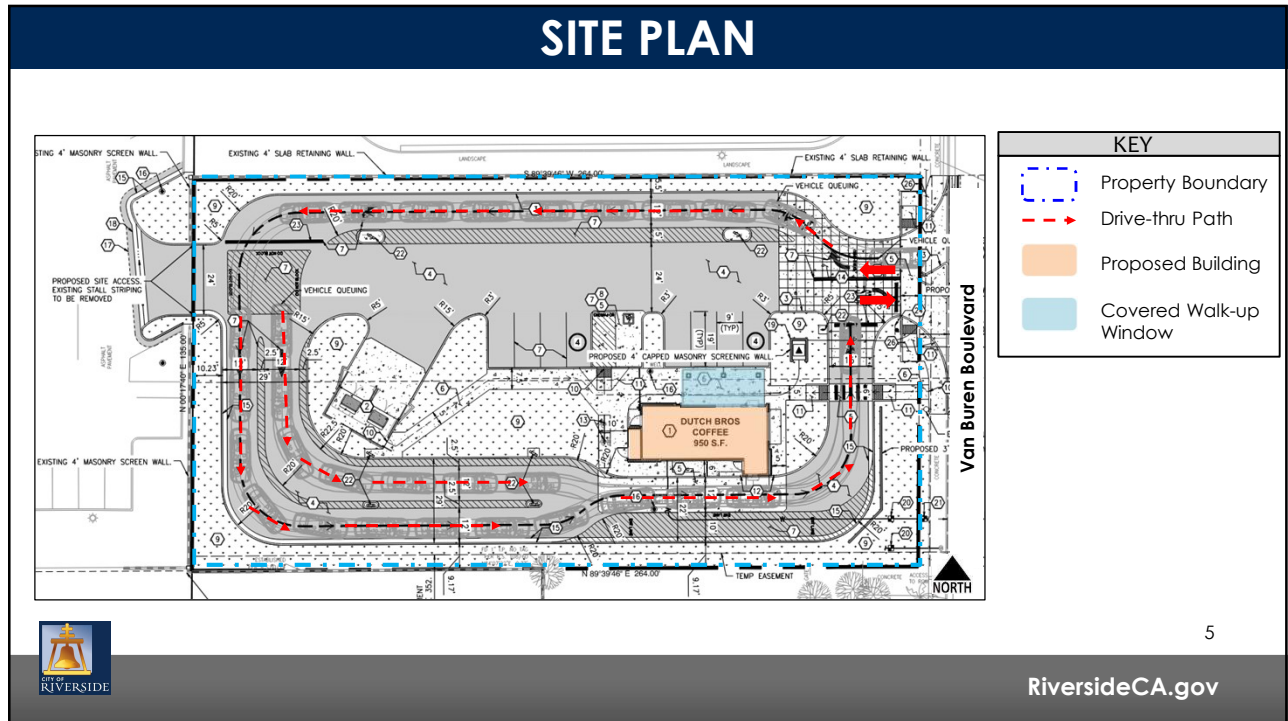
ZONING MAP (EXISTING AND PROPOSED)

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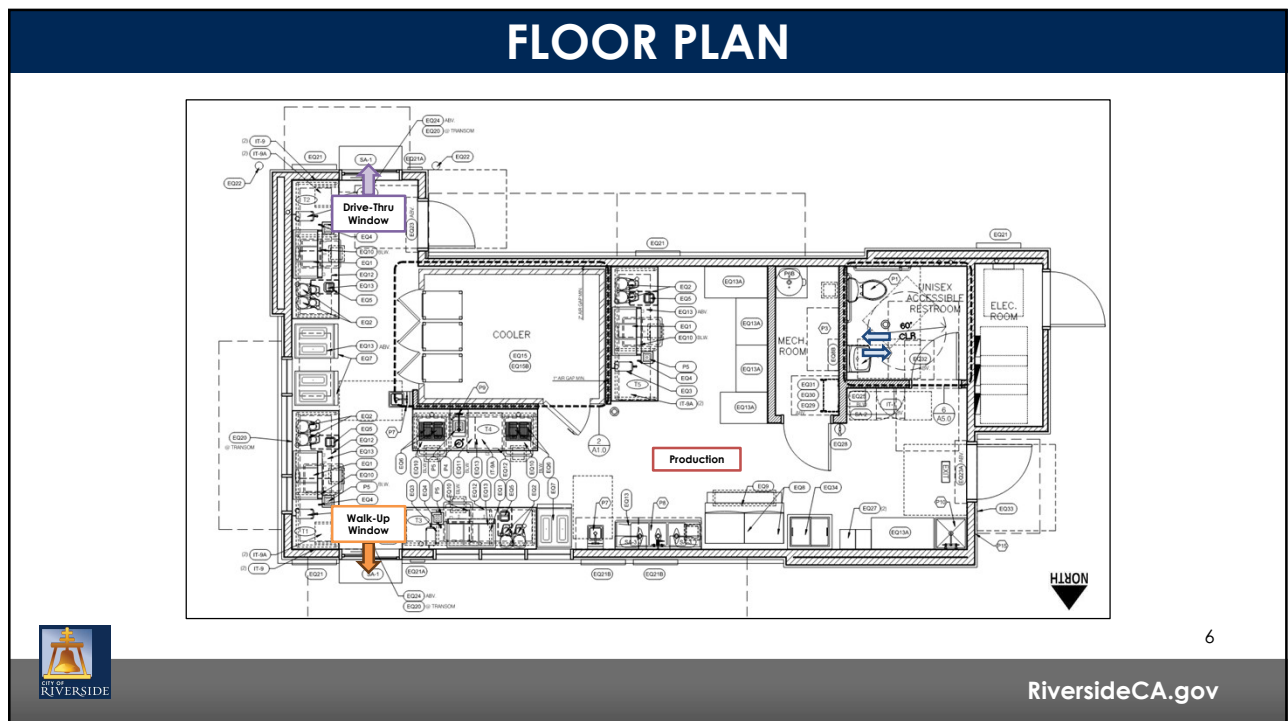
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BUILDING ELEVATIONS


West Elevation - Internal to Site
SCALE: 1/8" = 1'-0"

South Elevation - Internal to Site
SCALE: 1/8" = 1'-0"

East Elevation - Alley
SCALE: 1/8" = 1'-0"

North Elevation - Magnolia Avenue
SCALE: 1/8" = 1'-0"

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CONCEPTUAL LANDSCAPE PLAN

MAGNOLIA AVENUE

ALLEY

PROPOSED BUILDING

BIKE PARKING BY OTHERS


TRASH ENCLOSURE BY OTHERS


STEEL EDGING BETWEEN COBBLE AND SHRUBS (TYP.)

SIDEWALK BY OTHERS

EXISTING OFFSITE TREE

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STRATEGIC PLAN ALIGNMENT



ENVISION RIVERSIDE 2025

METRICS ACTIONS GOALS

STRATEGIC PRIORITIES

Arts, Culture and Recreation

Community Well-Being

Economic Opportunity

Environmental Stewardship

High Performing Government


Infrastructure, Mobility and Connectivity

Strategic Priority No. 3 – Economic Opportunity

Goal 3.3 – Cultivate a business climate that welcomes innovation, entrepreneurship and investment;

Goal 3.4 – Collaborate with key partners to implement policies and programs that promote local business growth and ensure equitable opportunities for all.

Cross-Cutting Threads




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RECOMMENDATIONS

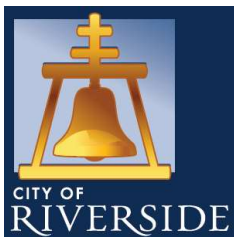
Staff recommends that the City Council:

1. **DETERMINE** that the project is exempt from the California Environmental Quality Act (CEQA) pursuant to Sections 15061 (Common Sense) and 15303 (New Construction or Conversion of Small Structures) of the CEQA Guidelines, as the project will not have a significant effect on the environment; and
2. **APPROVE** Planning Case PR-2023-001569 (Rezone, Conditional Use Permit, and Design Review) based on the findings outlined in the staff report and summarized in the attached findings and subject to the recommended conditions.
3. **INTRODUCE AND SUBSEQUENTLY ADOPT** the attached Ordinance amending the Zoning of approximately 0.75-acres from R-1-7000 – Single-Family Residential to CR – Commercial Retail.



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GENERAL PLAN MAP

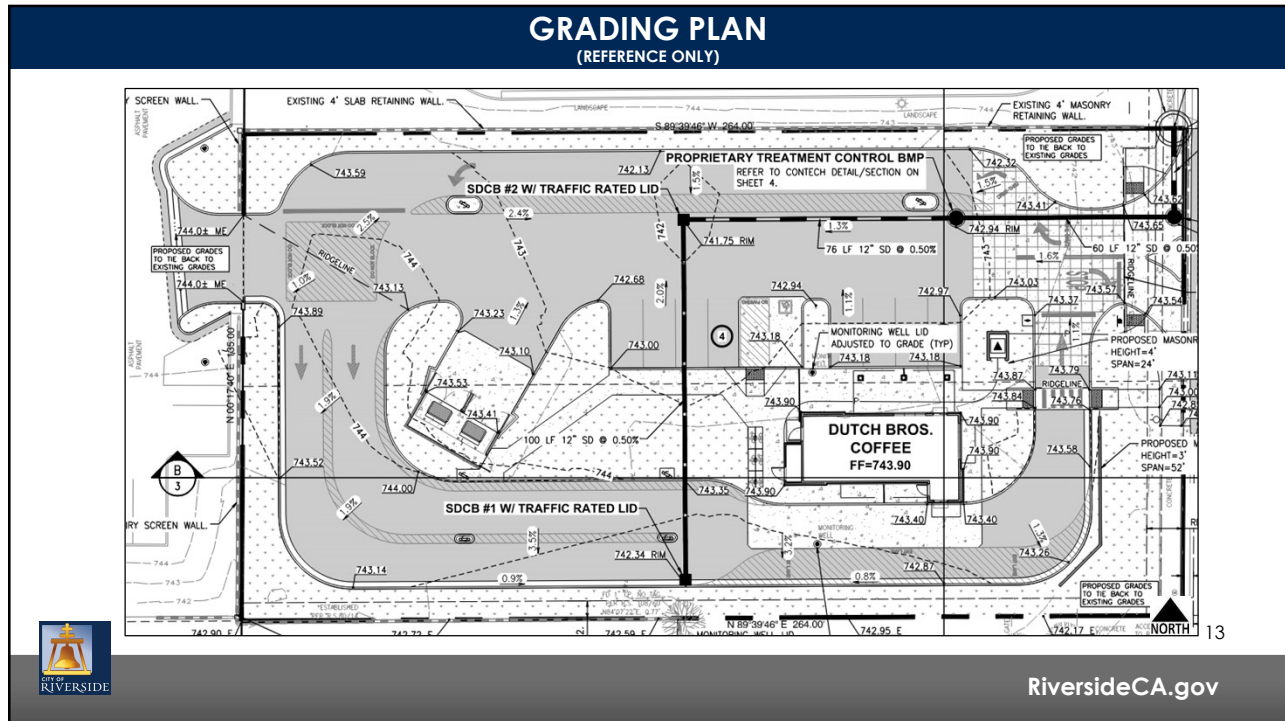
(Reference Only)



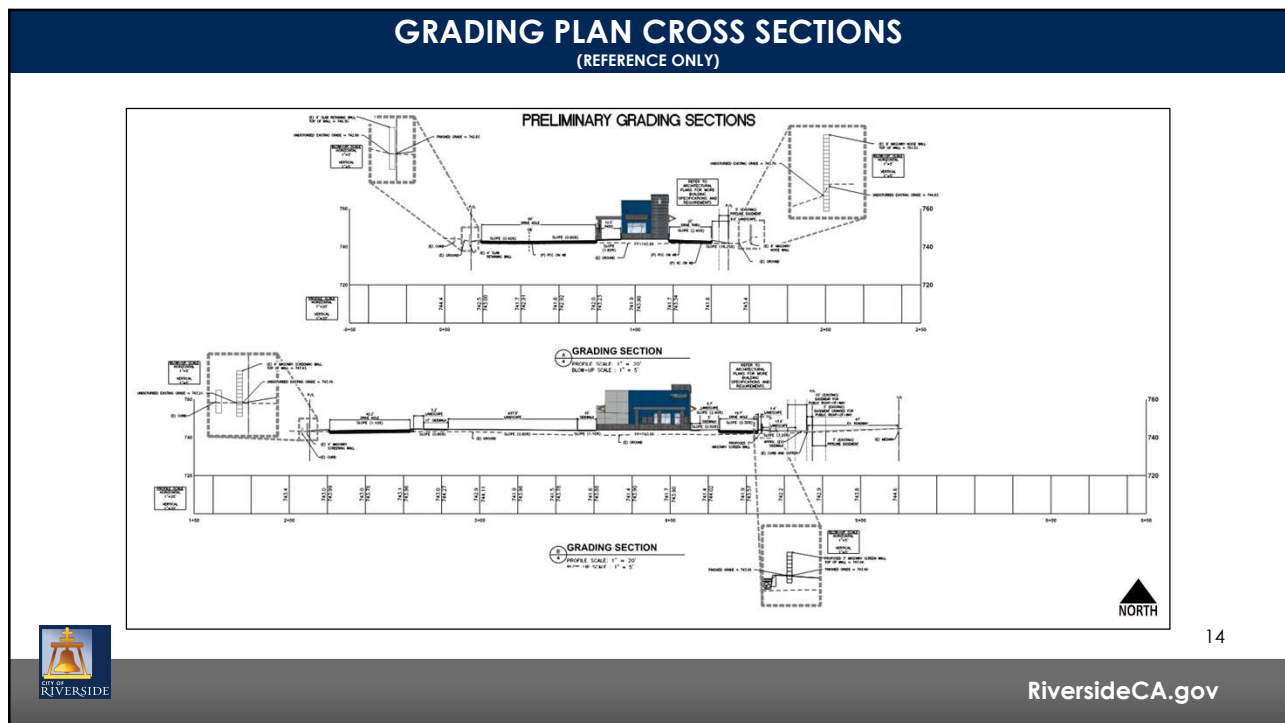
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