



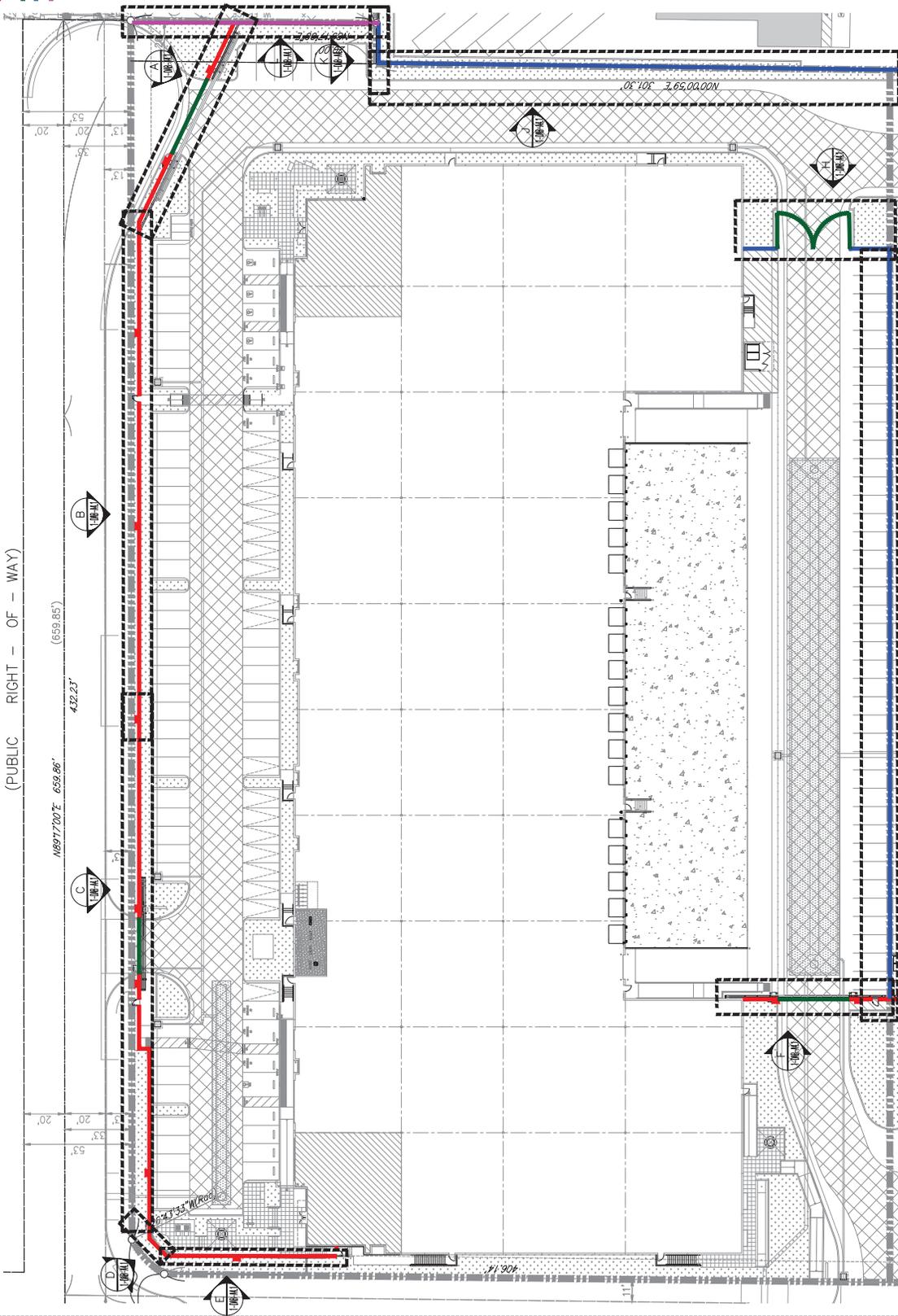
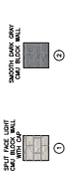
**KEYPLAN**

(PUBLIC RIGHT - OF - WAY)

16877700' ± 659.86'  
432.23'  
(659.85')

- KEY NOTES**
- ① 4" CMU BLOCK WALL WITH COP FINISH
  - ② PAINTED BLACK 6" METAL SLIDING GATES
  - ③ PAINTED BLACK 6" METAL SLIDING GATES
  - ④ 6" CMU BLOCK

**COLOR LEGEND**



**HPA**  
Architecture

HPA, INC.  
15800 Wilshire Blvd. Ste. 100  
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www.hpaarchitecture.com

Owner:

**StaleyPoint**  
CAPITAL

STALEY POINT CAPITAL  
1100 SANTA MONICA BLVD. SUITE 300  
LOS ANGELES, CA 90025  
TEL: 310.202.0088

Project:

MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

CIVIL  
STRUCTURAL  
MECHANICAL  
ELECTRICAL  
PLUMBING  
LANDSCAPE  
REPAIR/RECON  
SUSAN BAKER

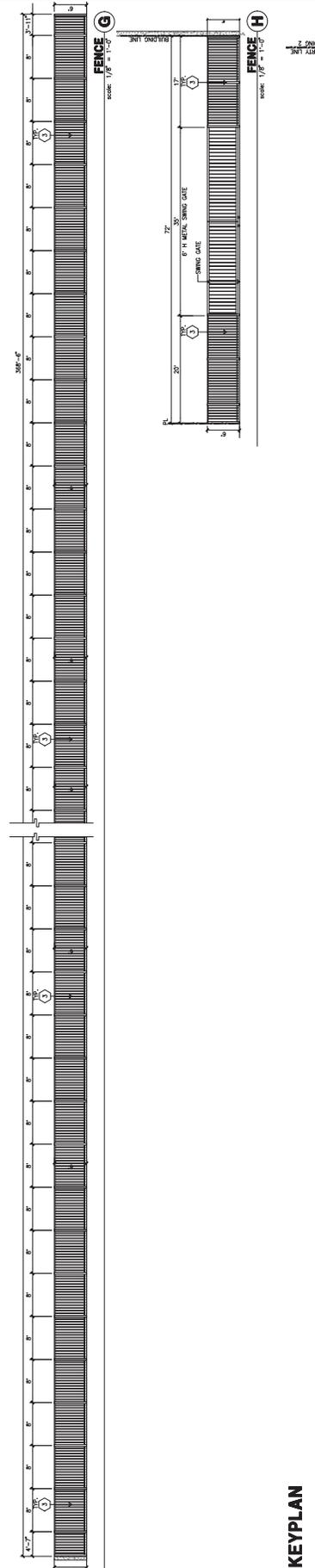
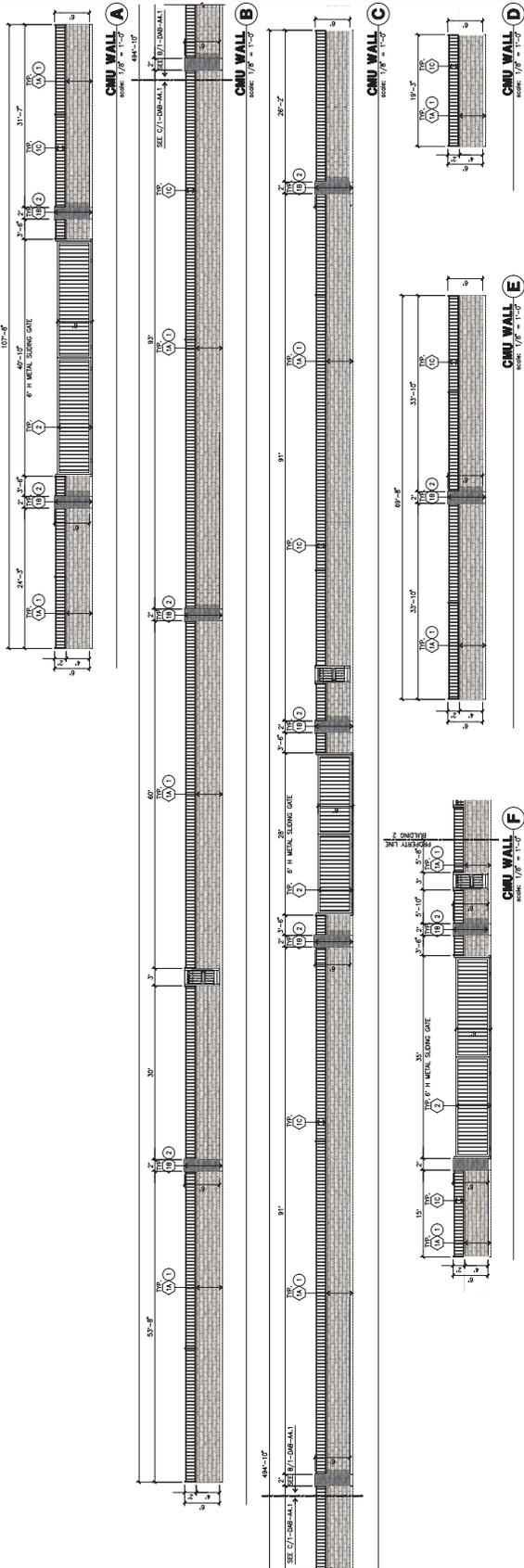
HUNTER

Team: KEYPLANSCREENWALL

Project Number: 21074  
Drawn by: JMW  
Date: 04/11/25  
Revision:

Sheet:

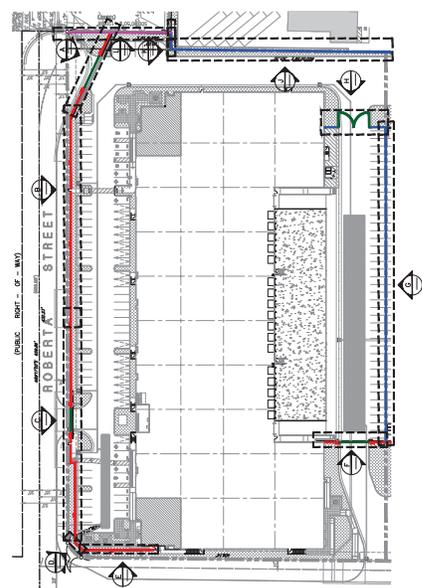
**1-DAB-A40**



- KEY NOTES**
- 1) 6" CMU BLOCK WALL WITH CAP
  - 2) 6" CMU BLOCK WALL WITH 6" TUBULAR STEEL FENCE
  - 3) PAINTED BLACK 6" METAL SLIDING GATES
  - 4) PAINTED BLACK 6" TUBULAR STEEL FENCE
  - 5) 6" CMU BLOCK



**KEYPLAN**





HPA, INC.  
1880 S. Highway 101, Suite 200  
Folsom, CA 95630  
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email: info@hpa.com



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LOS ANGELES, CA 90025  
TEL: 310.202.2088

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STALEY POINT**

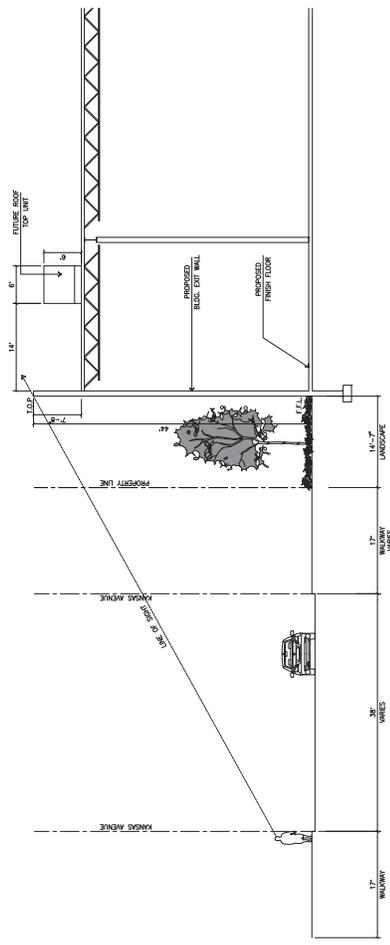
CITY OF RIVERSIDE, CA

Consultants:  
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MECHANICAL  
PLUMBING  
LANDSCAPE  
HUNTER  
REFLECTION  
SILVERBERG

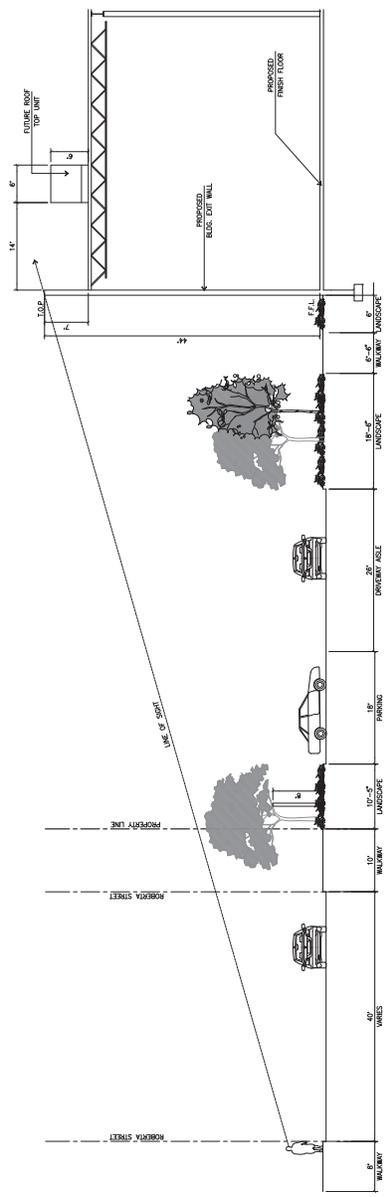
THIS SECTION SIGHT LINE STUDY

Project Number: 21014  
Drawn by: AM  
Date: 08/01/24  
Revised:

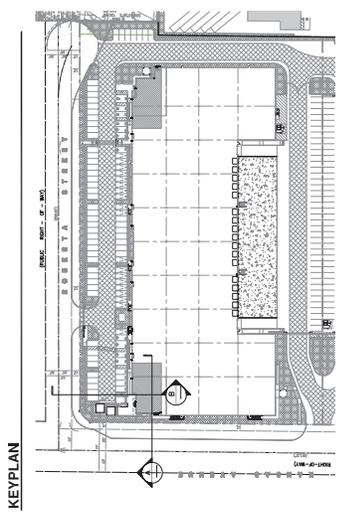
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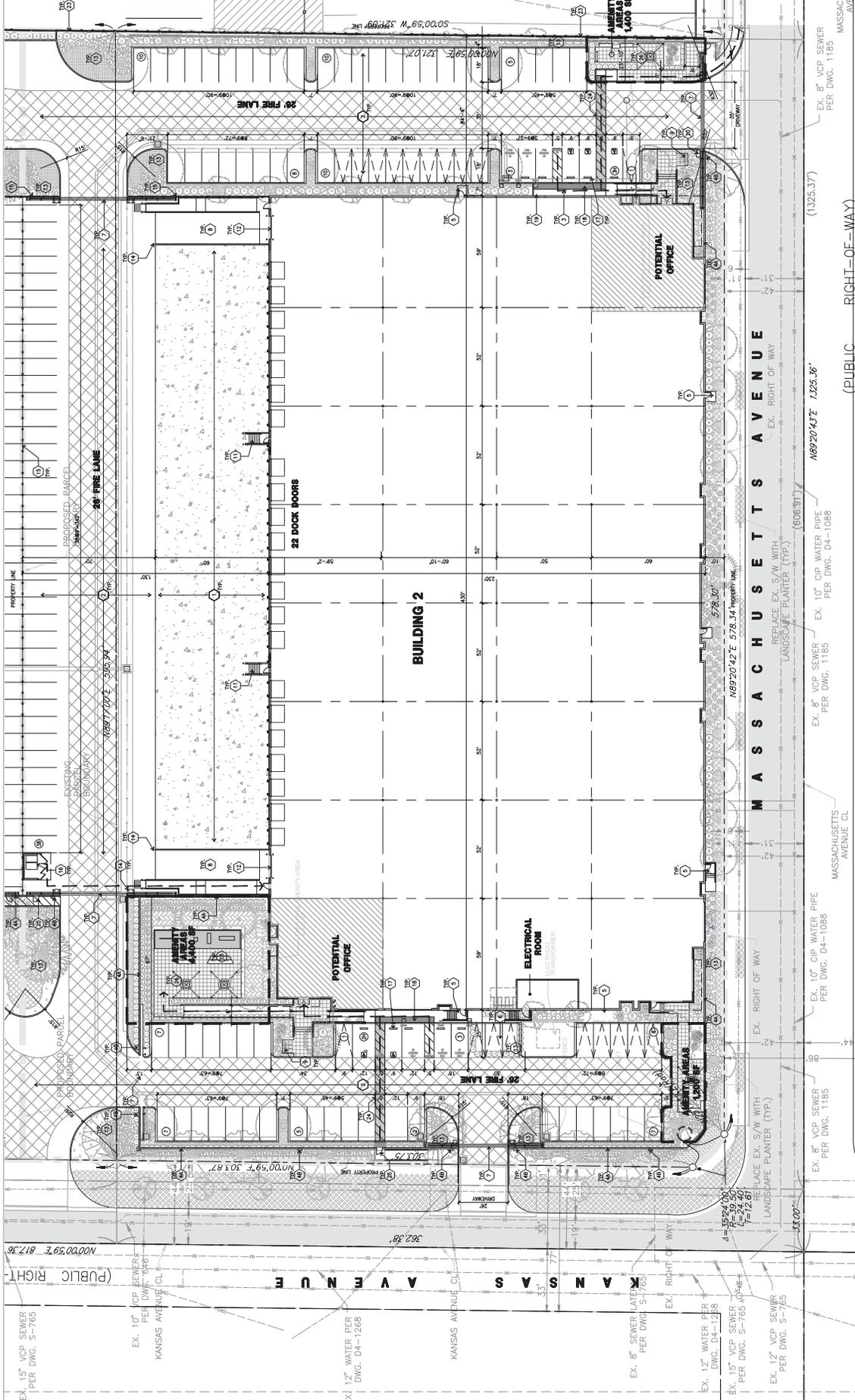
**SECTION SIGHT LINE STUDY A**  
scale: 1/8"=1'-0"



**SECTION SIGHT LINE STUDY B**  
scale: 1/8"=1'-0"



**KEYPLAN**



**SITE PLAN GENERAL NOTES**

1. ALL LIGHTING SHALL CONFORM WITH THE MUNICIPAL STANDARDS.
2. SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
3. CONCRETE CURBS OR 20" DIA. U.L.O. CONCRETE WALL, FACE OF CONCRETE CURBS OR 20" DIA. U.L.O.
4. REFER TO CIVIL PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS TO OFF-SITE UTILITIES.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. REFER TO CIVIL DRAWINGS.
8. CONTRACTOR TO REFER TO THE DRAWINGS FOR ALL UTILITIES, CONTROL VALVES AND METER LOCATIONS.
9. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SEWERS TO BE A MINIMUM OF 4" THICK W/ TOILED JOINTS AT 6' EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER WITHIN 1/4" FINISH TO BE A MEDIUM BROWN FINISH U.L.O.
11. ALL SIGNAGE SHALL CONFORM WITH THE MUNICIPAL STANDARDS.
12. RAIL CURBS AND PROVIDE SIGNS TO INFORM OF THE LANE AS REQUIRED.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE BLDG. PROVIDED SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF BUILDING PERMIT.
14. SIGNAGE TO BE SUBMITTED TO THE CITY OF RIVERSIDE FOR REVIEW AND APPROVAL PRIOR TO THE COMMENCEMENT OF BUILDING PERMIT.
15. SITE PLAN SHALL MEET ALL DIMENSIONS AND SPACES REQUIREMENTS.
16. SIGNAGE TO BE LOCATED ON SIGNS OR AS DETAILED FROM PUBLIC WORKS DEPARTMENT.
17. WALLS SHALL BE TREATED WITH A GRAFT-PROOF COATING ON SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPILT-FACE BLOCK WALL).
18. ALL VERTICAL MARKING POLES OF CANAL LINK FENCING SHALL BE CAPPED.
19. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM 50' RADIUS (R) HIGH CURB.

**SITE PLAN GENERAL NOTES**

1. HEAVY BROWN FINISH CONCRETE PARAPETS.
2. ASPHALT CONCRETE (AC) FINISH.
3. CONCRETE WALKWAYS, MEDIUM BROWN FINISH.
4. 2" DIA. U.L.O. CONCRETE CURBS OR 20" DIA. U.L.O. CONCRETE WALL, FACE OF CONCRETE CURBS OR 20" DIA. U.L.O.
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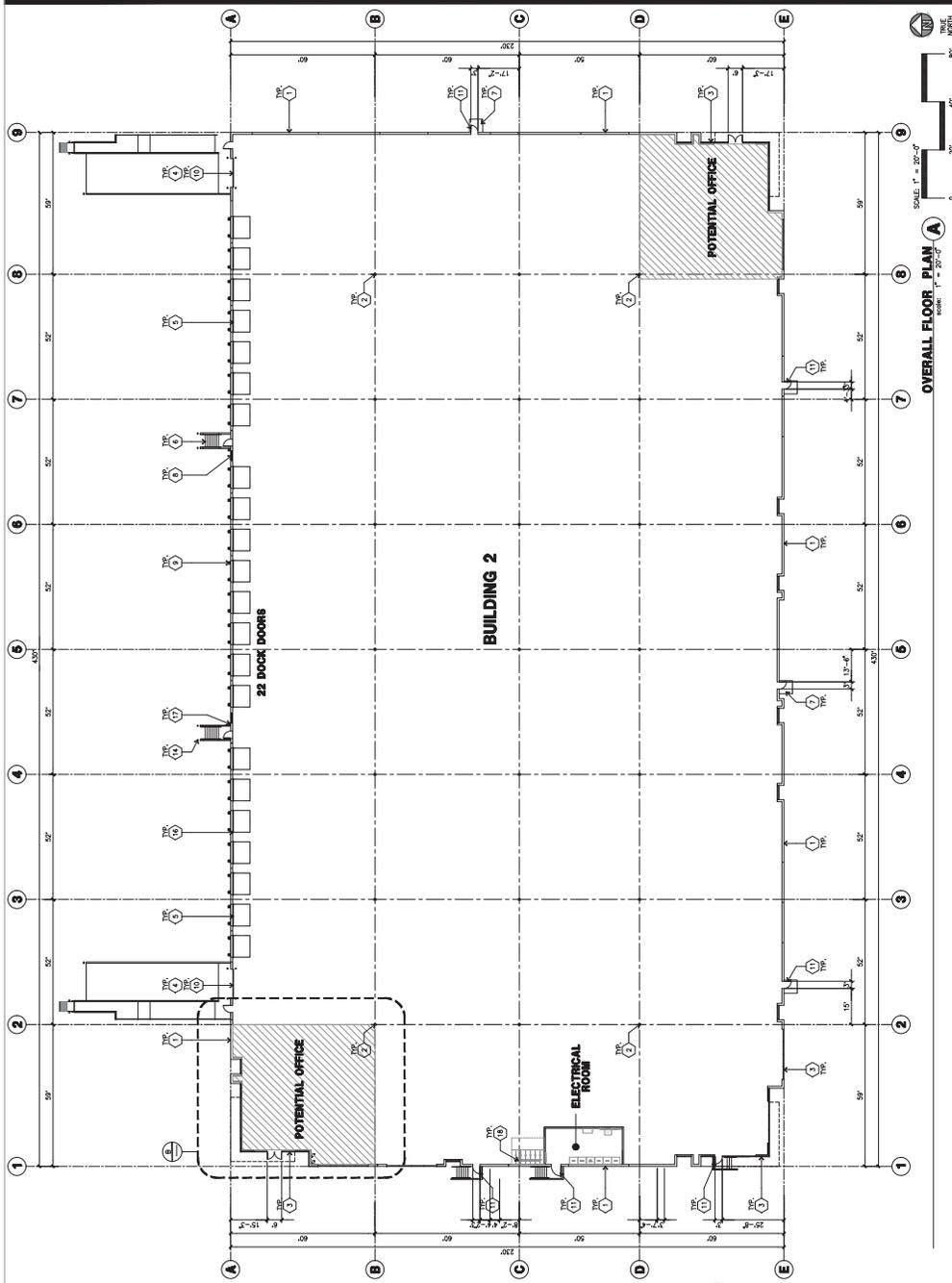
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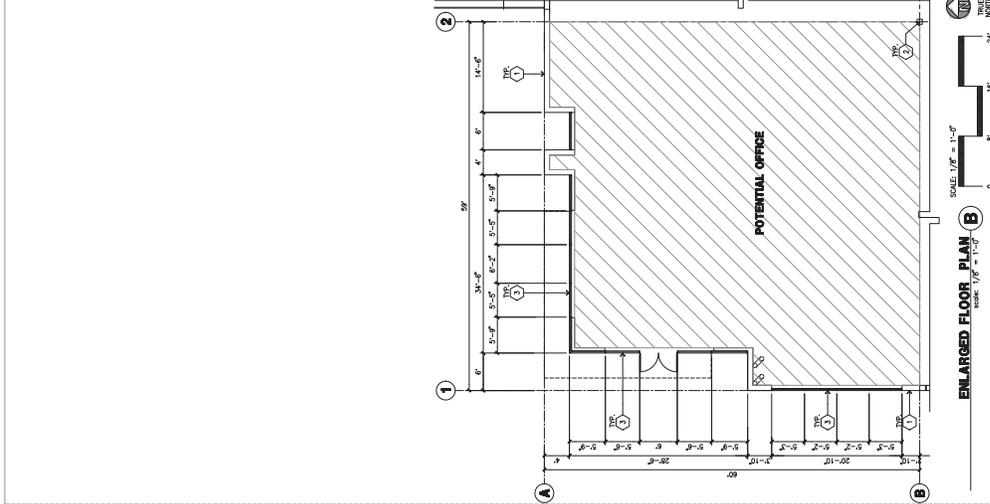
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**OVERALL FLOOR PLAN (A)**  
SCALE: 1/8" = 1'-0"  
NORTH



**ENLARGED FLOOR PLAN (B)**  
SCALE: 1/4" = 1'-0"  
NORTH

**FLOOR SLAB AND POUR STRIPS REQ.**

- THESE NOTES ARE VERY MIN. REQUIREMENT.
1. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-4R-86
  2. BUILDING FLOOR SLAB
  3. TROUGH COMPACTOR - 30"
  4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-4R-86
  5. NOT USED
  6. CONTRACTOR TO LAID STEEL FLOOR WHO TRAVEL BARRIERS FINISH.
  7. FOR SLAB CURING, COORDINATE WITH THE OWNER.
  8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DAMPED.
  9. SLAB TO BE FROD FLSR MEASURED WITHIN 24 HOURS.
  10. NO FLY ASH IN THE CONCRETE
  11. WHERE INDICATED, PROVIDE WOOD BRIDGE, CONCRETE SLAB OVER 2" SAND UNDER ON MANUFACTURER'S RECOMMENDATION.
  12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND GOR VIGOROUS ARE REQUIRED, PROVIDED WITHOUT USE OF BRIDGE, CURING COMPASS, OR RELEASE AGENTS.
  13. SEAL CONSTRUCTION JOINTS SHALL NOT BE FILLED WITH M-80 JOINT FILLER
  14. SEAL CONCRETE SUB W/ "LAPROUDH" SEALER

**GENERAL NOTES-FLOOR PLAN**

- A. THIS BUILDING IS DESIGNED FOR HIGH FILE STORAGE WITH FIRE PROTECTION SYSTEMS. ALL BUILDING SYSTEMS SHALL BE APPROVED FOR ANY RAINING/CONCRETE SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED FOR FIRE DEPARTMENT.
- C. FINISH SURFACE ELEVATIONS: SEE SLOPE, SET OF DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED
- E. INTERIOR CONCRETE WALLS ARE PAINTED WHITE.
- F. COLUMNS ARE TO RECEIVE FINISH ONLY, ALL OTH. BR. WALLS SHALL BE FINISHED TO MATCH FINISH SURFACE ELEVATIONS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL UNLESS NOTED OTHERWISE.
- H. SLOPE FOUR STRIP 1/2" TO EXTERIOR AT ALL WINDOOR EYES.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AS A NOTE, ALL UTILITIES, CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- J. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS.
- K. ALL EQUIPMENT TO BE DAMPED INCLUDING CARS AND TRUCKS.
- L. ALL EQUIPMENT TO BE DAMPED INCLUDING CARS AND TRUCKS.
- M. ALL DOORS IN WINDROUSE TO HAVE ILLUMINATED EXIT SIGN.
- N. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE STORED IN THIS AREA.
- O. ROOF EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE SIGN AND THE SIGN SHALL BE IDENTIFIED BY A TACTILE SIGN FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- P. HIGH PRESSURE FIRE FIGHTING WATERWORKING SIGN LOCATED IN THIS AREA.
- Q. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SORRENDED FROM PUBLIC VIEW, SEE A.M.1.1 OFFICE SECTION.

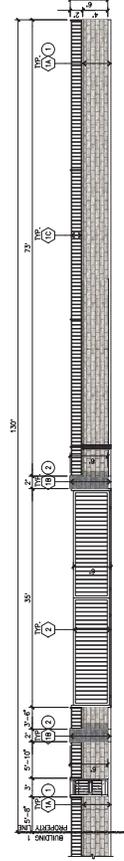
**KEYNOTES - FLOOR PLAN**

1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TROUGH COMPACTOR.
4. CONCRETE BARRIERS W/ 4" HIGH CONC. TILT-UP GUARD WALL.
5. 3" X 12" TRUSS DOOR, SECTIONAL OTH. STANDARD.
6. EXTERIOR CONCRETE STAR.
7. FINISH AT ALL EXTERIOR WALLS TO MATCH FINISH SURFACE ELEVATIONS.
8. 12" X 14" SPRINK. TRUSS, SECTIONAL OTH. STANDARD GRADE.
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11. 12" X 14" SPRINK. TRUSS, SECTIONAL OTH. STANDARD GRADE.
12. ROOF PATCH ACCESS LADDER.
13. CONC. FLEED GUARD POST. 6" DIA. UNLS. 4FT.
14. INTERIOR ROOF DOWN WITH OVERFLOW SUPPERS.
15. 2" GUARD FOR ALL OVERHEAD DOORS.
16. EXTERIOR DOWNSPUT WITH OVERFLOW SUPPERS.
17. 6" SPACE BIKE RACK.



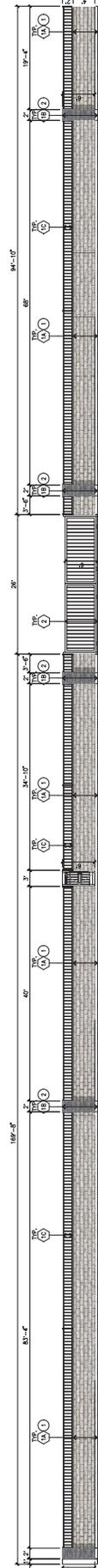




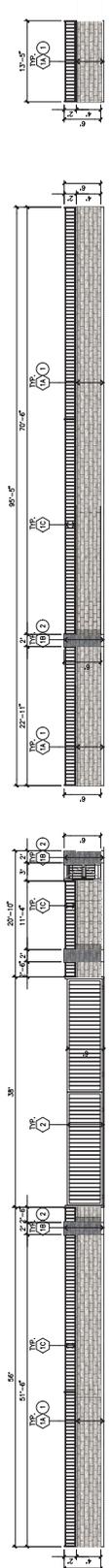


**CHU WALL**  
SCALE: 1/8" = 1'-0"

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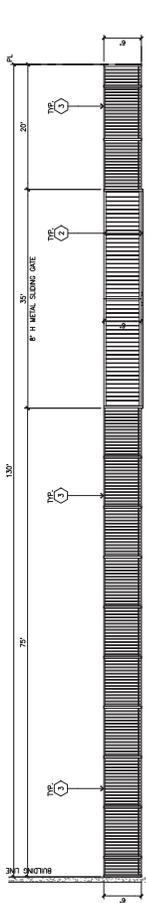
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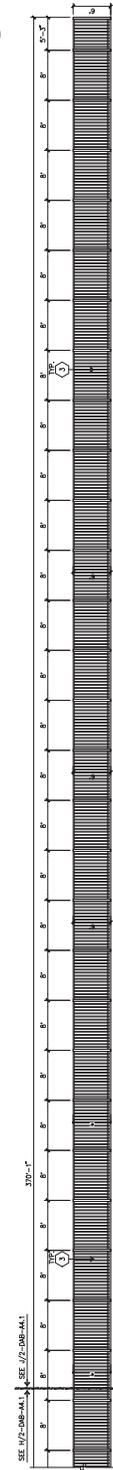
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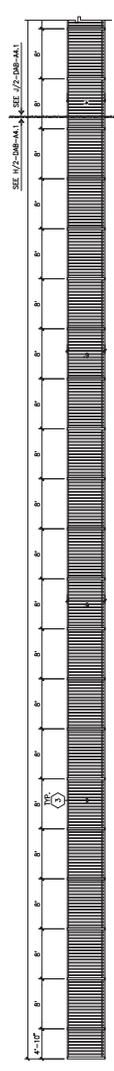
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**FENCE**  
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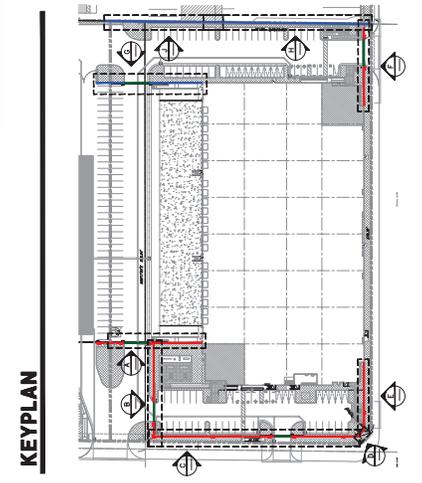


**FENCE**  
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**FENCE**  
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- KEY NOTES**
- 1. 4" CMU BLOCK WALL WITH COP FRANKERS
  - 2. PAINTED BLACK 6"X TUBULAR STEEL FENCE
  - 3. PAINTED BLACK 6"X TUBULAR STEEL FENCE





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 Folsom, CA 95632  
 Tel: 916 983 1770  
 email: info@hpa.com



OWNER:  
**StaleyPoint CAPITAL**

STALEY POINT CAPITAL  
 1105 SANTA MONICA BLVD., SUITE 200  
 LOS ANGELES, CA 90025  
 TEL: 310.202.0888

Project:  
**MASSACHUSETTS AVE.  
 & KANSAS AVE. BY  
 STALEY POINT**

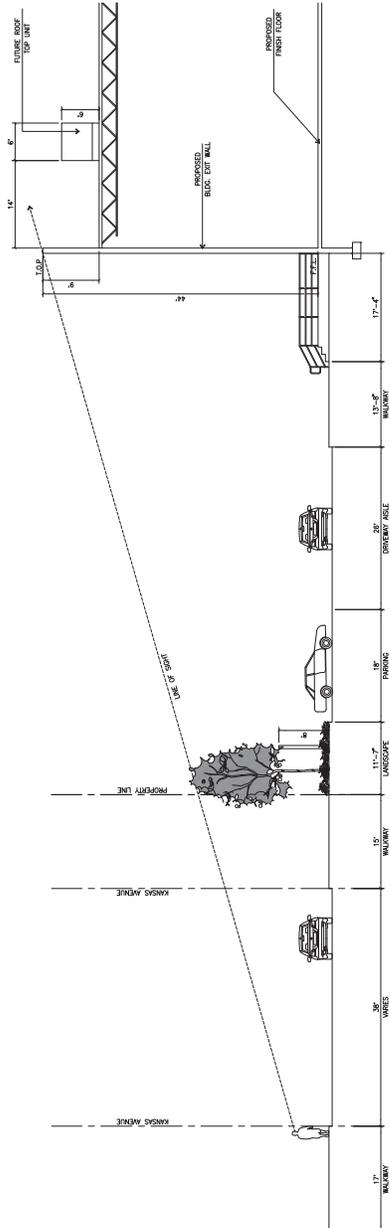
CITY OF RIVERSIDE, CA

Consultants:  
 CIVIL  
 STRUCTURAL  
 MECHANICAL  
 PLUMBING  
 ELECTRICAL  
 LANDSCAPE  
 HUNTER  
 REFLECTION  
 SLEIGHER

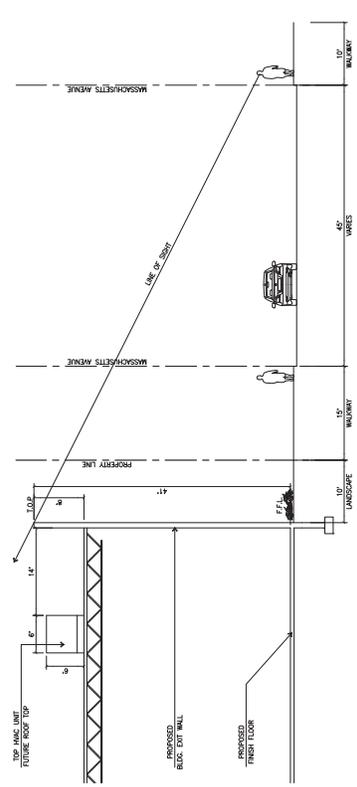
THIS SECTION SIGHT LINE STUDY

Project Number: 21074  
 Drawn by: AM  
 Date: 08/01/24  
 Revisions:

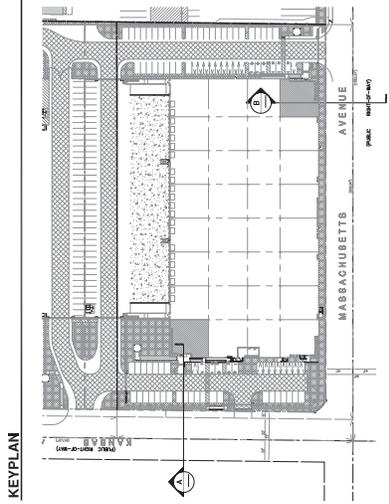
Sheet:  
**2-DAB-A4.2**



**SECTION SIGHT LINE STUDY A**  
 SCALE: 1/8" = 1'-0"



**SECTION SIGHT LINE STUDY B**  
 SCALE: 1/8" = 1'-0"



**KEYPLAN**



**SITE PLAN KEYNOTES**

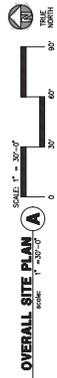
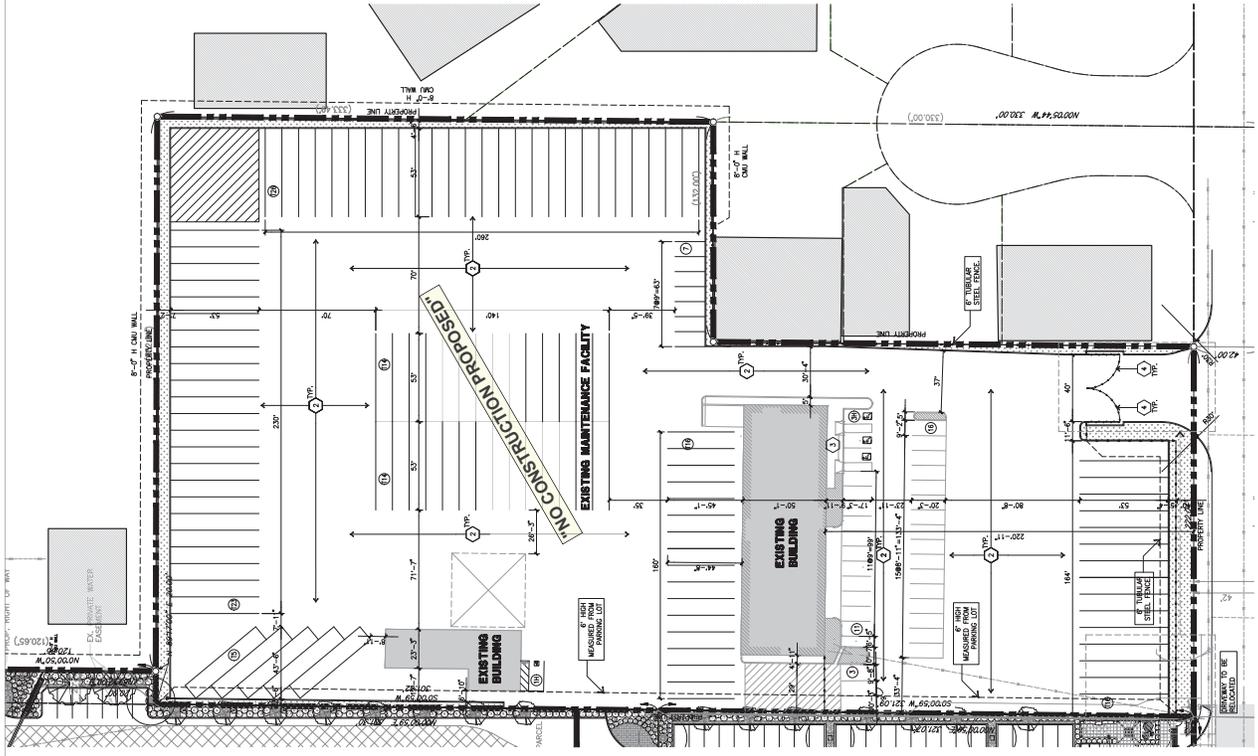
1. LIGHTING - SEE CIVIL
2. ASPHALT CONCRETE (AC) PAVING
3. CONCRETE WALKWAY, MEDIUM BROOM FINISH
4. 8'-0" HIGH METAL SLUING GATES W/ 400#-90# PER FOOT
5. 6'-0" HIGH METAL SLUING GATES W/ 400#-90# PER FOOT
6. TO DESIGN A DETAIL, VISIT WEBSITE: WWW.HPA.COM AND CALCULATORS PRIOR TO FABRICATION. PLEASE CONSULT FOR FUTURE.

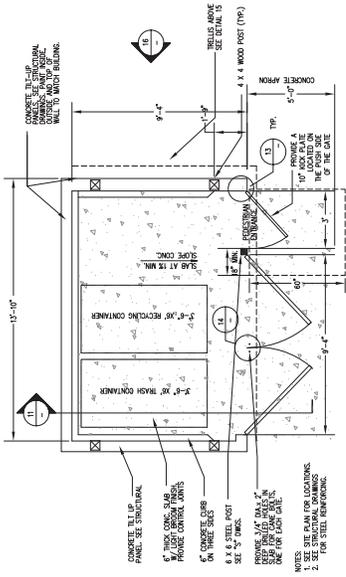
**SITE PLAN GENERAL NOTES**

1. ALL LIGHTING SHALL CONFORM WITH MUNICIPAL STANDARDS.
2. ALL CONCRETE SHALL BE 4000 PSI WITH 4% FIBER.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE UNLESS NOTED.
4. DETAILS ON SHEET AD-1 ARE MINIMUM STANDARDS.
5. THE FINISH FLOOR SHALL BE PERMANENTLY MAINTAINED.
6. REFER TO CIVIL DIMS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING. REFER TO CIVIL DRAWINGS. DIMENSIONS, SITE PLACING ARE FOR GUIDANCE AND STARTING WORK POINTS.
8. REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS.
9. ALL EXISTING CONSTRUCTION JOBS SHALL BE A MINIMUM 12" AWAY FROM THE EXISTING FOUNDATION. ALL NEW CONSTRUCTION SHALL BE 12" AWAY FROM THE EXISTING FOUNDATION UNLESS OTHERWISE NOTED.
10. ALL FOUNDATION SHALL CONFORM WITH THE MUNICIPAL STANDARDS.
11. PAINT CURBS AND AVIATION SIGNS TO CONFORM WITH THE MUNICIPAL STANDARDS.
12. CONSTRUCTION DOCUMENTS PREPARING TO THE LANDSCAPE AND IRRIGATION OF THE FINISH PROJECT SET SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL. THE LANDSCAPE ARCHITECT SHALL SUBMIT A STATEMENT OF COMPLETION TO THE BUILDING DEPARTMENT.
13. SITE PLAN SHALL MEET ALL ENGINEERING AND SPES REQUIREMENT.
14. STANDARDS AS SET IN GUIDELINES OR AS OBTAINED FROM PUBLIC AGENCIES SHALL BE USED FOR ALL DIMENSIONS AND SPACING.
15. ALL VERTICAL CURBS SHALL BE 4" HIGH WITH A 1/4" RADIUS. ALL VERTICAL CURBS SHALL BE 4" HIGH WITH A 1/4" RADIUS.
16. ALL VERTICAL CURBS SHALL BE 4" HIGH WITH A 1/4" RADIUS.
17. ALL VERTICAL CURBS SHALL BE 4" HIGH WITH A 1/4" RADIUS.
18. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

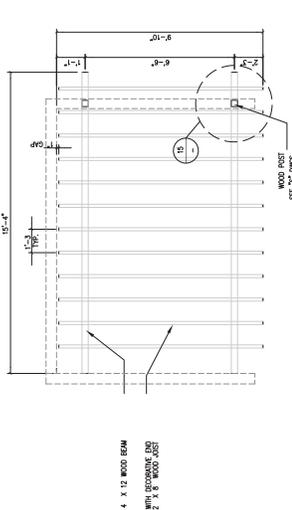
**SITE PLAN GENERAL NOTES**

- CONCRETE FINISH - SEE CIVIL
- DRAWINGS THICKNESS
- PAVING
- ACCESSIBLE PARKING STALL
- 9'x18' + 5' W ACCESSIBLE ASSE
- VAN ACCESSIBLE
- 12'x16' + 5' W ACCESSIBLE ASSE
- PROPERTY LINE
- AVIATION SIGNING STATION
- BY CHANGING STATION NEEDED
- 8' x 4' (1)

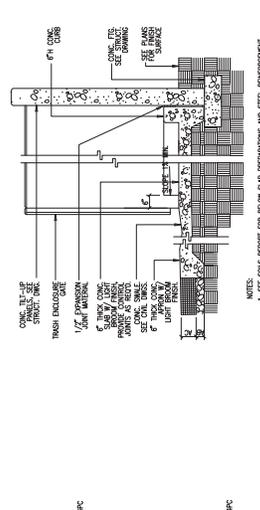




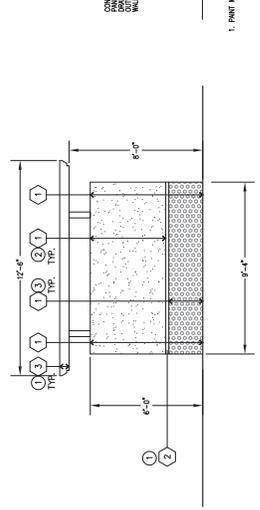
TRASH ENCLOSURE PLAN  
SCALE 3/4" = 1'-0"



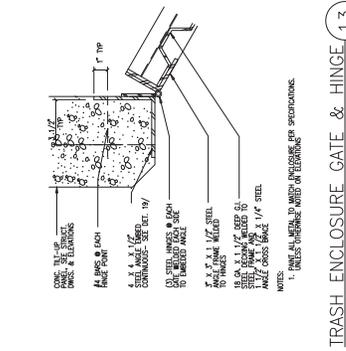
TRASH ENCLOSURE ROOF PLAN  
SCALE 1/2" = 1'-0"



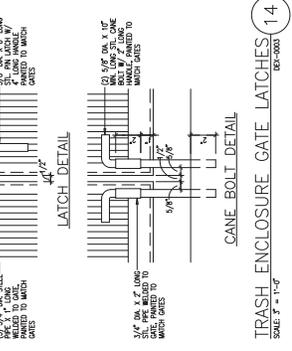
TRASH ENCLOSURE SECTION  
SCALE 1/2" = 1'-0"



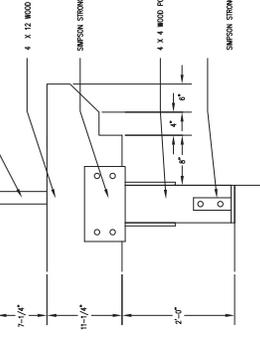
TRASH ENCLOSURE ELEVATION  
SCALE 3/4" = 1'-0"



TRASH ENCLOSURE GATE & HINGE  
SCALE 3/4" = 1'-0"



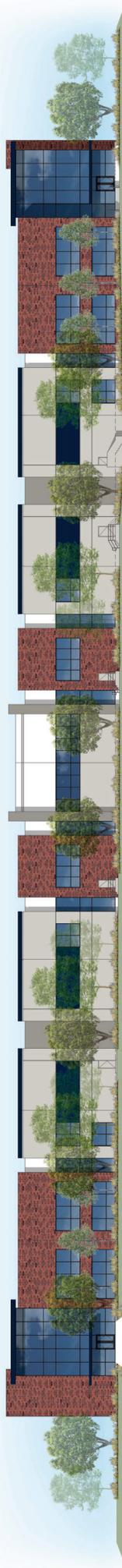
TRASH ENCLOSURE GATE LATCHES  
SCALE 3/4" = 1'-0"



TRELLIS  
SCALE 3/4" = 1'-0"

- KEYNOTES - TRASH ENCLOSURE**
- CONCRETE TILT-UP PANEL
  - PANEL REVEAL PAINTED TO MATCH BUILDING
  - TRELLIS ABOVE
- COLOR SCHEDULE - TRASH ENCLOSURE**
- CONCRETE TILT-UP PANEL PAINT BRANG SW 7005 PURE WHITE
  - CONCRETE TILT-UP PANEL PAINT BRANG SW 7024 CRISPER ICE
  - CONCRETE TILT-UP PANEL PAINT BRANG SW 7028 PASTEL JOSE

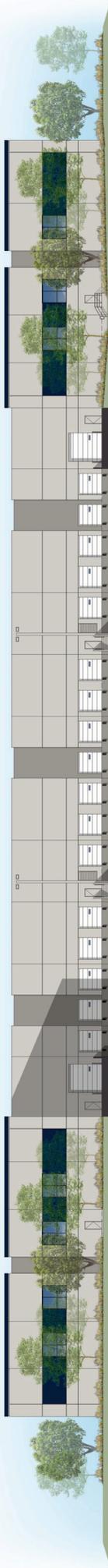
TRASH ENCLOSURE ELEVATION  
SCALE 3/4" = 1'-0"



Building 1 North Elevation - Roberta Street



Building 1 West Elevation - Kansas Avenue



Building 1 South Elevation



Building 1 East Elevation



Conceptual Building 1 Colored Elevations

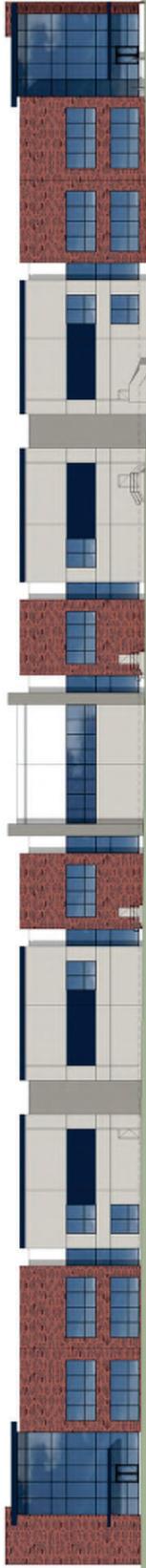
**MASSACHUSETTS AVE. & KANSAS AVE.**

Riverside, CA 92507

#21074 | 07.29.2024



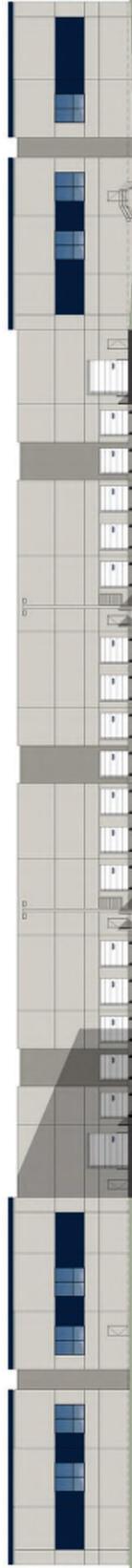
**StaleyPoint**  
CAPITAL



Building 1 North Elevation - Roberta Street



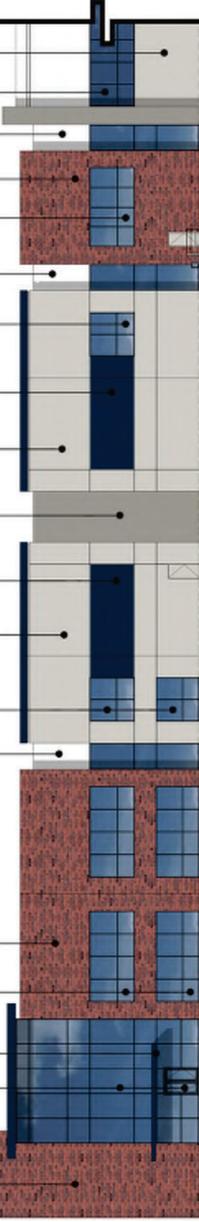
Building 1 West Elevation - Kansas Avenue



Building 1 East Elevation

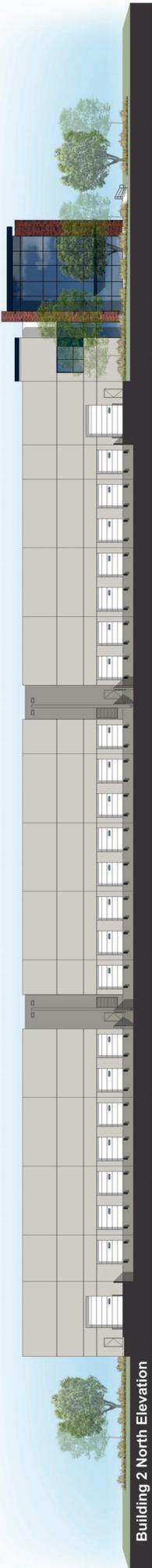


Building 1 South Elevation



Building 1 North Elevation - Roberta Street

- 1 Sherwin Williams SW 7005 Pure White
- 2 Sherwin Williams SW 7043 Wordly Gray
- 3 Sherwin Williams SW 7045 Intellectual Gray
- 4 Sherwin Williams SW 6824 Commodore (Match Pantone 295)
- 5 Sherwin Williams Anodized Aluminum MULLION
- 6 Sherwin Williams SW 7076 Cyberspace (8M Black Horizon)
- 7 Sherwin Williams Acrylic Latex Systems High Gloss/High Performance in color: SW 6824 Commodore (Match Pantone 295)
- 8 Coronado Stone Style: Wirecut Brick Color: La Jolla Blend Size: 2 1/2" x 8"



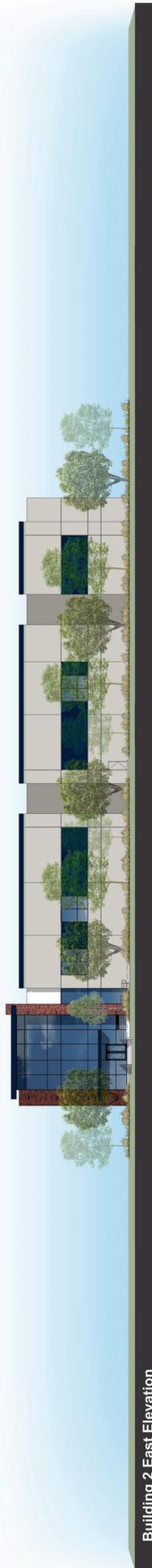
Building 2 North Elevation



Building 2 West Elevation - Kansas Avenue



Building 2 South Elevation - Massachusetts Avenue



Building 2 East Elevation



Conceptual Building 2 Colored Elevations

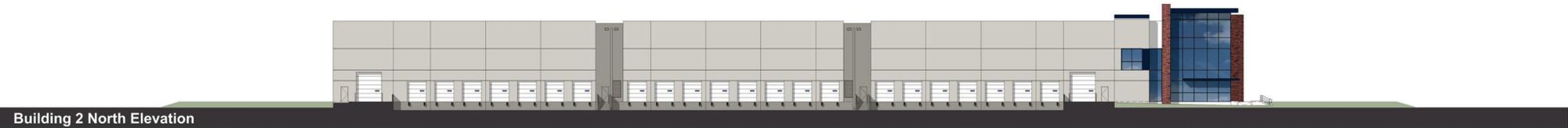
**MASSACHUSETTS AVE. & KANSAS AVE.**

Riverside, CA 92507

#21074 | 07-29-2024



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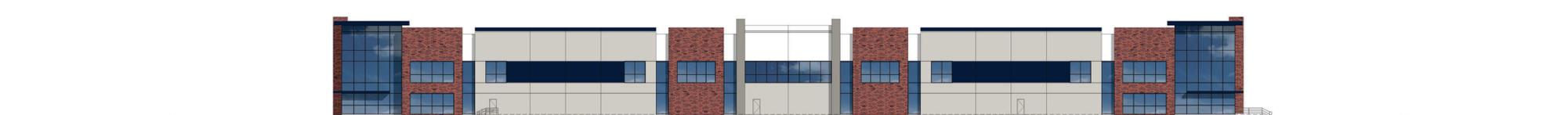


Building 2 North Elevation

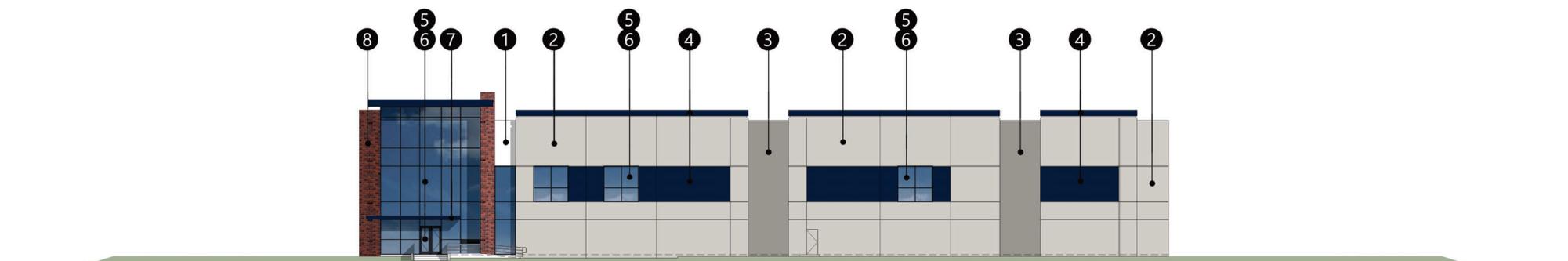


Building 2 West Elevation - Kansas Avenue

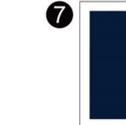
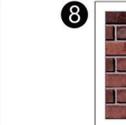
Building 2 East Elevation



Building 2 South Elevation - Massachusetts Avenue



Building 2 East Elevation - Kansas Avenue

- |   |   |   |   |  |   |  |   |
|---|---|---|---|--|---|--|---|
| ①   | ②   | ③   | ④   | ⑤  | ⑥   | ⑦  | ⑧   |
|  |  |  |  |         |  |   |  |
| Sherwin Williams<br>SW 7005<br>Pure White   | Sherwin Williams<br>SW 7043<br>Wordly Gray  | Sherwin Williams<br>SW 7045<br>Intellectual Gray                                    | Sherwin Williams<br>SW 6524<br>Commodore<br>(Match Pantone 295)                     | Anodized Aluminum<br>MULLION<br>Sherwin Williams SW 7076<br>Cyberspace<br>(BM Black Horizon) | Blue Reflective<br>GLAZING  | Sherwin Williams<br>Acrylic Latex Systems<br>High Gloss/High performance<br>in color: SW 6524 Commodore<br>(Match Pantone 295) | Coronado Stone<br>Style: Wirecut Brick<br>Color: La Jolla Blend<br>Size: 2 1/2" x 8"  |



Conceptual Building 2 Colored Elevations & Material Board

**MASSACHUSETTS AVE. & KANSAS AVE.**

Riverside, CA 92507

#21074 | 07.29.2024

