



FRONT (EAST) ELEVATION
3/16" = 1'-0"



RIGHT (NORTH) ELEVATION
3/16" = 1'-0"



REAR (WEST) ELEVATION
3/16" = 1'-0"



LEFT (SOUTH) ELEVATION
3/16" = 1'-0"



**TYPE 1R
BUILDING 'B'**
(TYPICAL FOR BUILDING 'D')

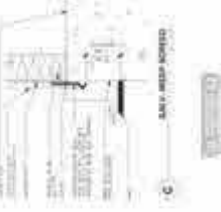
EXTERIOR ELEVATION KEYNOTES

1. ALL FINISHES TO BE AS SHOWN.
2. ALL MATERIALS TO BE APPROVED BY ARCHITECT.
3. ALL MATERIALS TO BE MATCHED TO SAMPLES PROVIDED.
4. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
5. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.
6. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH BEST PRACTICES.
7. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH SUSTAINABLE PRACTICES.
8. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREEN BUILDING PRACTICES.
9. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH LEED PRACTICES.
10. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH WELL PRACTICES.
11. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH EQUICERT PRACTICES.
12. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
13. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
14. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
15. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
16. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
17. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
18. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
19. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.
20. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH GREENWASH PRACTICES.

HATCH LEGEND

[Hatch Pattern]	White
[Hatch Pattern]	Blue
[Hatch Pattern]	Orange
[Hatch Pattern]	Red
[Hatch Pattern]	Black
[Hatch Pattern]	Dark Grey
[Hatch Pattern]	Light Grey

EMERGENCY ESCAPE NOTES

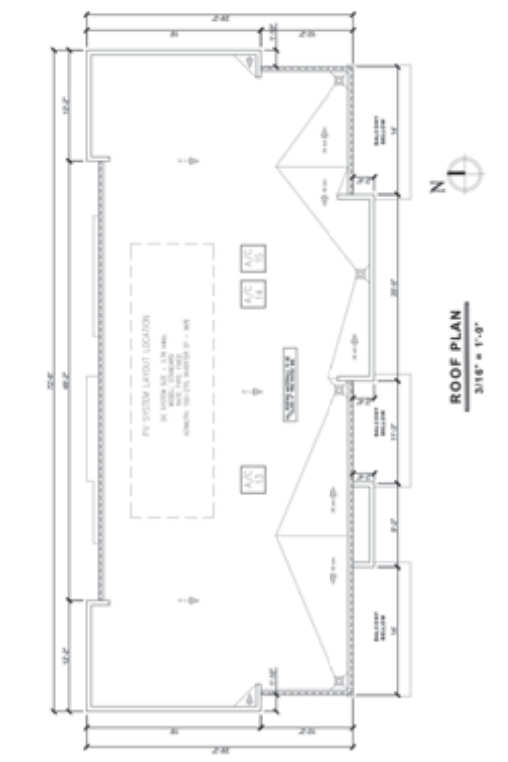
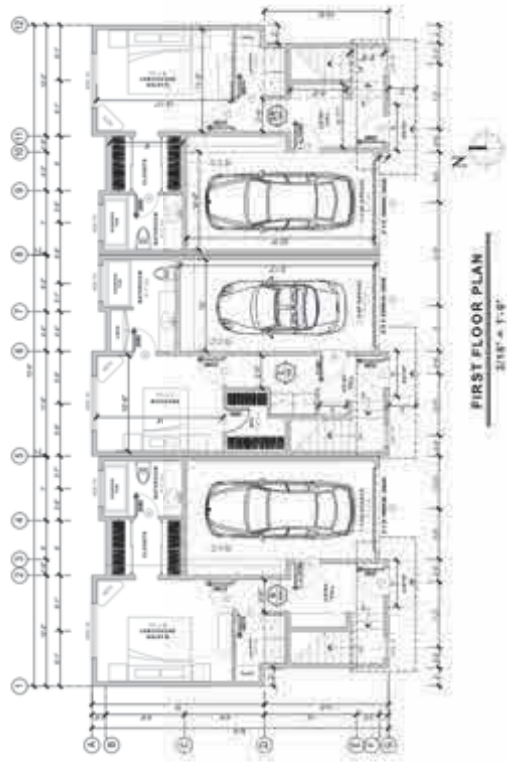
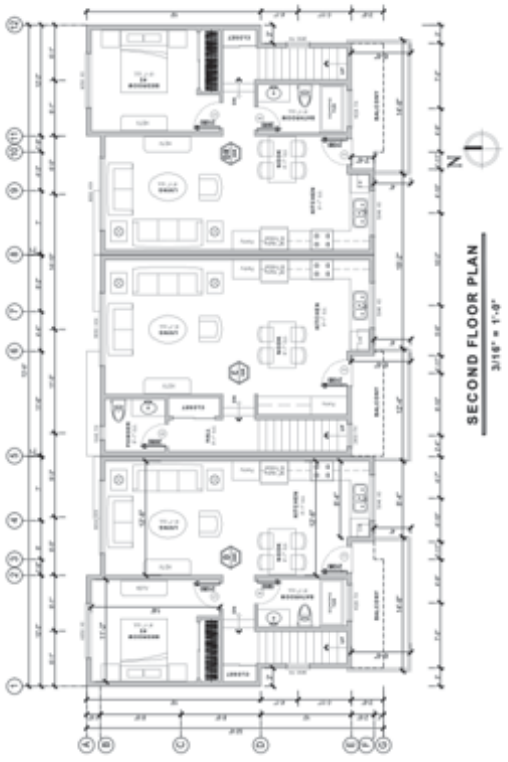


WINDOW NOTES



SAFETY GLAZING NOTE

ALL GLAZING TO BE INSTALLED IN ACCORDANCE WITH LOCAL CODES.



BUILDING TYPE 2
AREA CALCULATION

NUMBER OF UNITS	FOOTPRINT AREA	1ST FLOOR LIVING AREA	2ND FLOOR LIVING AREA	TOTAL LIVING AREA	GARAGE	BALCONY	UNIT C - 1BR	UNIT C - 2BR	UNIT DR - 2BR
3	222 SQ. FT.	148 SQ. FT.	188 SQ. FT.	337 SQ. FT.	75 SQ. FT.	1	1	1	1

UNIT C / 1BR	UNIT D / 2BR	UNIT DR / 2BR
LIVING AREA	LIVING AREA	LIVING AREA
487 SQ. FT.	486 SQ. FT.	486 SQ. FT.
2ND FLOOR	2ND FLOOR	2ND FLOOR
298 SQ. FT.	474 SQ. FT.	474 SQ. FT.
TOTAL LIVING AREA	TOTAL LIVING AREA	TOTAL LIVING AREA
1847 SQ. FT.	1179 SQ. FT.	1179 SQ. FT.
4-CAR GARAGE	4-CAR GARAGE	4-CAR GARAGE
237 SQ. FT.	294 SQ. FT.	294 SQ. FT.
BALCONY	BALCONY	BALCONY
75 SQ. FT.	91 SQ. FT.	91 SQ. FT.

NOTES:

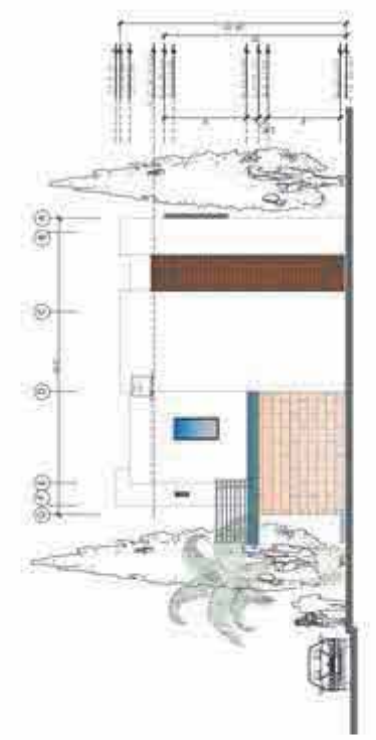
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND REGULATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
4. THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.
5. THE CONTRACTOR SHALL MAINTAIN PROPER RECORDS OF ALL WORK DONE AND SUBMIT THEM TO THE ARCHITECT UPON COMPLETION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.



FRONT (SOUTH) ELEVATION
3/16" = 1'-0"



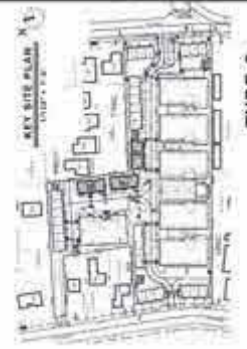
REAR (NORTH) ELEVATION
3/16" = 1'-0"



RIGHT (EAST) ELEVATION
3/16" = 1'-0"



LEFT (WEST) ELEVATION
3/16" = 1'-0"



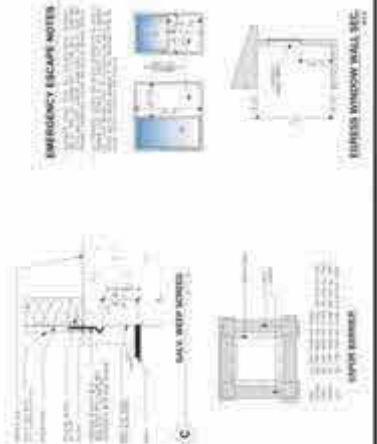
TYPE 2 BUILDING 'E'
(TYPICAL FOR BUILDINGS 'T' & 'C')

HATCH LEGEND

[Hatch Pattern]	Light Gray
[Hatch Pattern]	Dark Gray
[Hatch Pattern]	White
[Hatch Pattern]	Blue
[Hatch Pattern]	Orange
[Hatch Pattern]	Red
[Hatch Pattern]	Black
[Hatch Pattern]	Dark Brown
[Hatch Pattern]	Light Brown

- EXTERIOR ELEVATION KEYNOTES**
1. All exterior elevations are shown with a 1/4" scale.
 2. All exterior elevations are shown with a 1/4" scale.
 3. All exterior elevations are shown with a 1/4" scale.
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 7. All exterior elevations are shown with a 1/4" scale.
 8. All exterior elevations are shown with a 1/4" scale.
 9. All exterior elevations are shown with a 1/4" scale.
 10. All exterior elevations are shown with a 1/4" scale.

- EMERGENCY ESCAPE NOTES**
- SAFETY GLAZING NOTE:**
- WINDOW NOTES:**
- UPPER BARBERS**





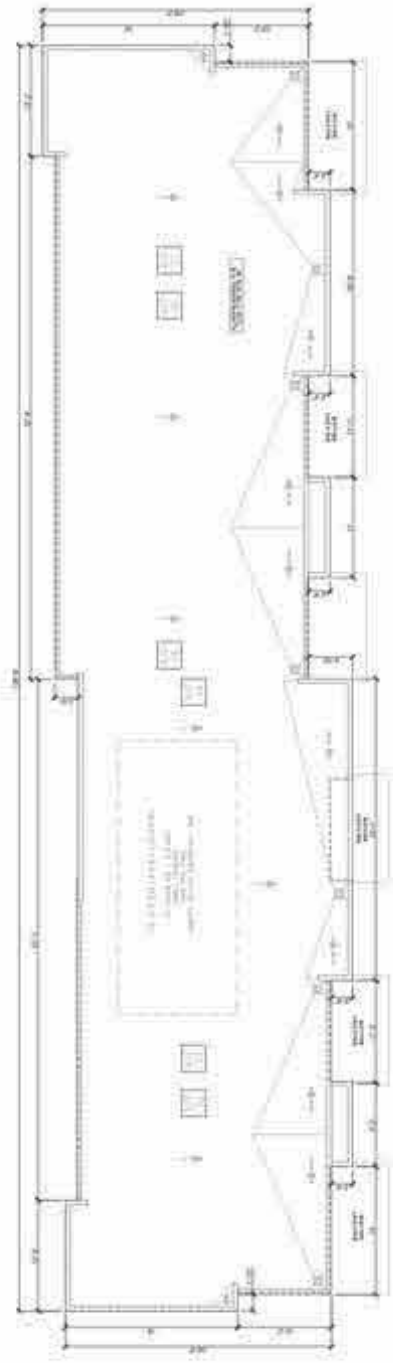
FRONT (SOUTH) ELEVATION
 3/16" = 1'-0"

HATCH LEGEND

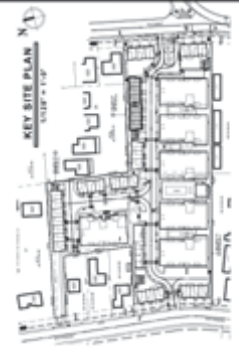
[Hatch Pattern]	Brick
[Hatch Pattern]	Wood
[Hatch Pattern]	Stucco
[Hatch Pattern]	Concrete
[Hatch Pattern]	Asphalt
[Hatch Pattern]	Grass
[Hatch Pattern]	Water
[Hatch Pattern]	Other

EXTERIOR ELEVATION KEYNOTES

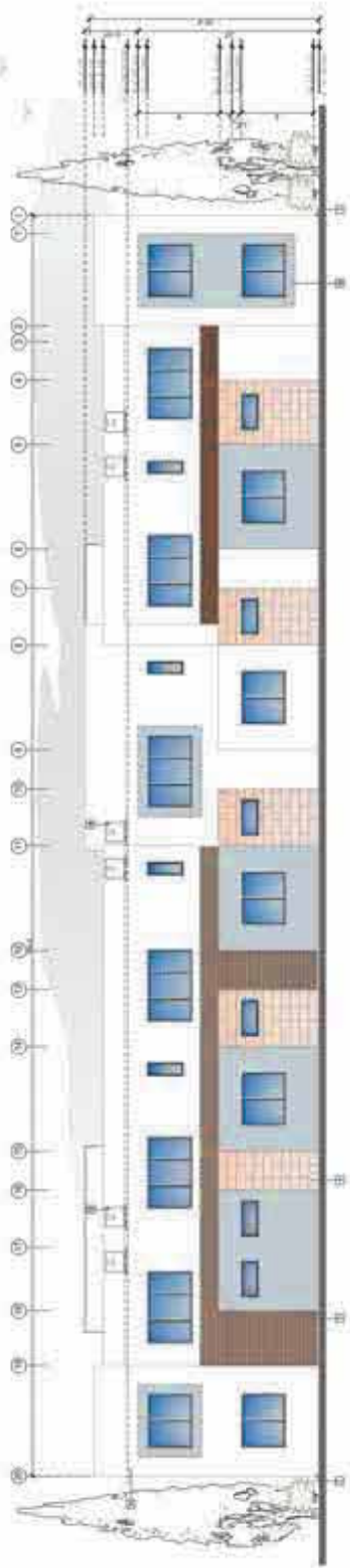
1. See notes on other sheets.
2. All exterior walls are to be finished with brick.
3. All exterior walls are to be finished with wood.
4. All exterior walls are to be finished with stucco.
5. All exterior walls are to be finished with concrete.
6. All exterior walls are to be finished with asphalt.
7. All exterior walls are to be finished with grass.
8. All exterior walls are to be finished with water.
9. All exterior walls are to be finished with other.



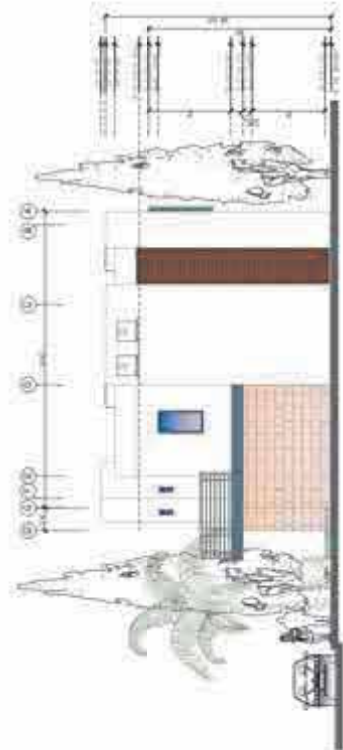
ROOF PLAN
 3/16" = 1'-0"



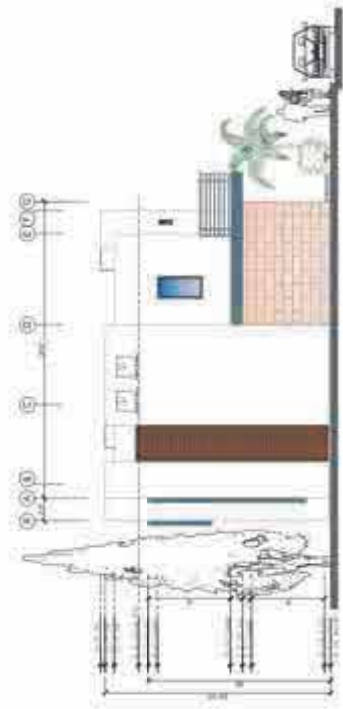
TYPE 3
BUILDING "H"



REAR (NORTH) ELEVATION
3/16" = 1'-0"



RIGHT (EAST) ELEVATION
3/16" = 1'-0"



LEFT (SOUTH) ELEVATION
3/16" = 1'-0"



KEY-SITE PLAN
1/16" = 1'-0"

MATCH LEGEND

[Color swatch]	Light Gray
[Color swatch]	Dark Gray
[Color swatch]	Blue
[Color swatch]	Orange
[Color swatch]	Red
[Color swatch]	Dark Brown
[Color swatch]	Light Brown
[Color swatch]	White

EXTERIOR ELEVATION KEYNOTES

1. All exterior finishes shall be in accordance with the approved color palette.
2. All window and door frames shall be finished with a dark gray stain.
3. All exterior walls shall be finished with a light gray stucco finish.
4. All exterior walls shall be finished with a dark gray stucco finish.
5. All exterior walls shall be finished with a light brown stucco finish.
6. All exterior walls shall be finished with a dark brown stucco finish.
7. All exterior walls shall be finished with a white stucco finish.
8. All exterior walls shall be finished with a light gray stucco finish.
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15. All exterior walls shall be finished with a light brown stucco finish.
16. All exterior walls shall be finished with a dark brown stucco finish.
17. All exterior walls shall be finished with a white stucco finish.
18. All exterior walls shall be finished with a light gray stucco finish.
19. All exterior walls shall be finished with a dark gray stucco finish.
20. All exterior walls shall be finished with a light brown stucco finish.

EMERGENCY ESCAPE NOTES



WINDOW NOTES

1. All windows shall be finished with a dark gray stain.
2. All windows shall be finished with a light gray stucco finish.
3. All windows shall be finished with a dark gray stucco finish.
4. All windows shall be finished with a light brown stucco finish.
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19. All windows shall be finished with a light brown stucco finish.
20. All windows shall be finished with a dark brown stucco finish.

SAFETY GLAZING NOTE

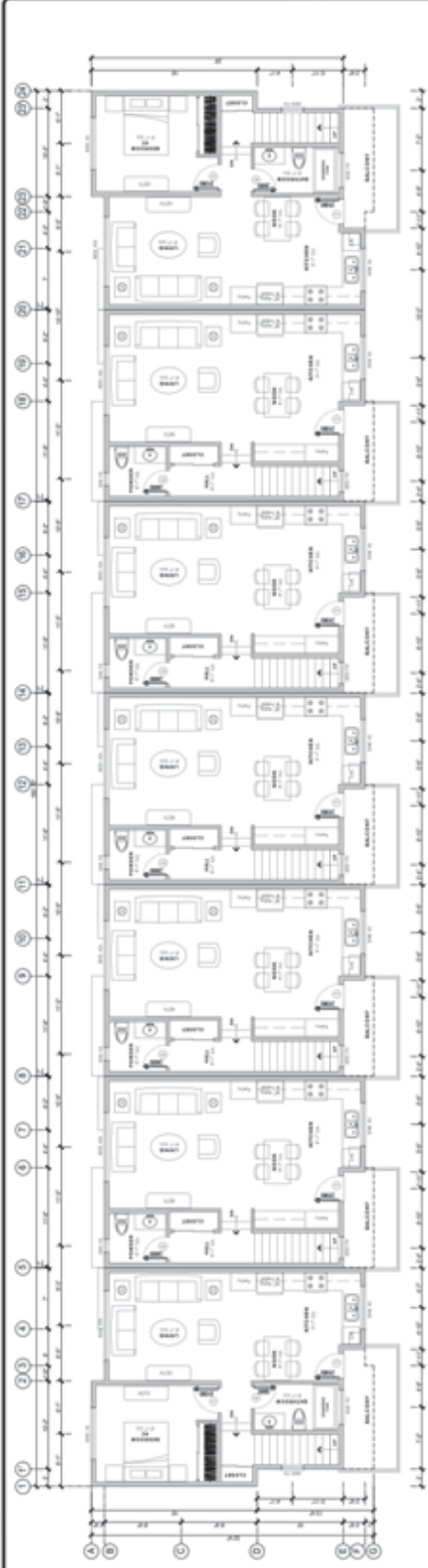
1. All windows shall be finished with a dark gray stain.
2. All windows shall be finished with a light gray stucco finish.
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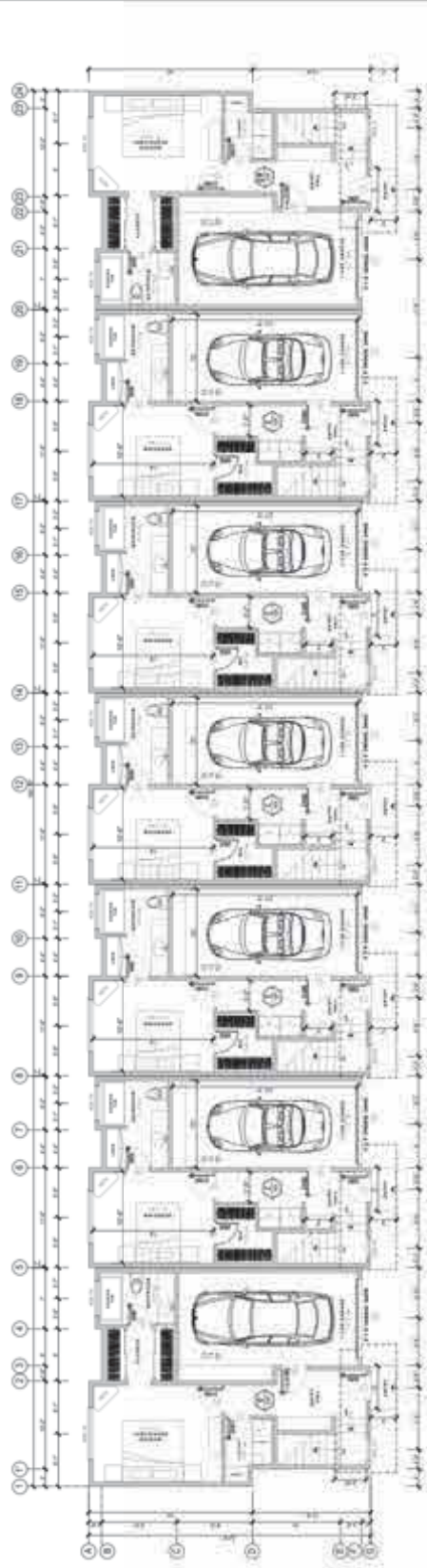
ONLY WEST SIDE

EMERGENCY ESCAPE NOTES

1. All windows shall be finished with a dark gray stain.
2. All windows shall be finished with a light gray stucco finish.
3. All windows shall be finished with a dark gray stucco finish.
4. All windows shall be finished with a light brown stucco finish.
5. All windows shall be finished with a dark brown stucco finish.
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18. All windows shall be finished with a dark gray stucco finish.
19. All windows shall be finished with a light brown stucco finish.
20. All windows shall be finished with a dark brown stucco finish.



SECOND FLOOR PLAN
3/16" = 1'-0"



FIRST FLOOR PLAN
3/16" = 1'-0"



**BUILDING TYPE 4
AREA CALCULATION**

NUMBER OF ROOMS	FOOTPRINT AREA	UNIT C / 1BR	UNIT D / 2BR	UNIT DR / 2BR
2	8413 SQ. FT.	487 SQ. FT. 1ST FLOOR 488 SQ. FT. TOTAL LIVING AREA	488 SQ. FT. 1ST FLOOR 474 SQ. FT. TOTAL LIVING AREA	488 SQ. FT. 1ST FLOOR 474 SQ. FT. TOTAL LIVING AREA
1	3277 SQ. FT.	3277 SQ. FT. 2ND FLOOR 3277 SQ. FT. TOTAL LIVING AREA	3277 SQ. FT. 2ND FLOOR 3277 SQ. FT. TOTAL LIVING AREA	3277 SQ. FT. 2ND FLOOR 3277 SQ. FT. TOTAL LIVING AREA
1	4288 SQ. FT.	4288 SQ. FT. BALCONY	4288 SQ. FT. BALCONY	4288 SQ. FT. BALCONY
1	330 SQ. FT.	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE
1	330 SQ. FT.	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE
1	330 SQ. FT.	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE
1	330 SQ. FT.	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE
1	330 SQ. FT.	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE
1	330 SQ. FT.	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE
1	330 SQ. FT.	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE	330 SQ. FT. GARAGE

NOTES:

- SEE ALL NOTES ON OTHER SHEETS OF THIS SET OF DRAWINGS.
- THIS DRAWING IS THE PROPERTY OF CHB AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF CHB.
- ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
- ALL FINISHES ARE TO BE AS SHOWN ON THE FINISH SCHEDULE.
- ALL MATERIALS AND METHODS SHALL BE AS SHOWN ON THE SPECIFICATIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.
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- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES AND ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES.

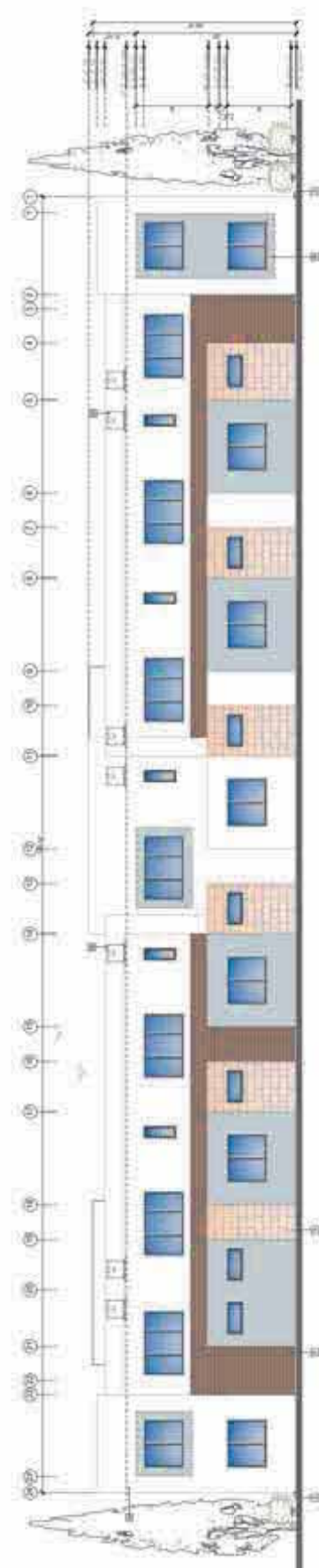
PROJECT: MIKABA LUXURY VILLAS
 OWNER: A & I CAPITAL

ARCHITECT: CHB
 ENGINEER: T & S ENGINEERING, INC.

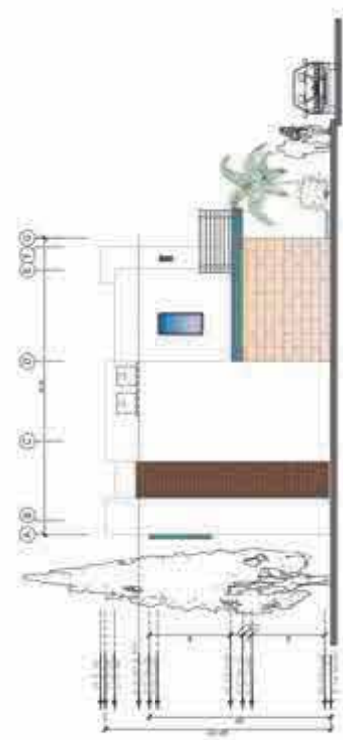
DATE: 01/15/2024
 DRAWING NO: 24-01-01

NOTICE: ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).

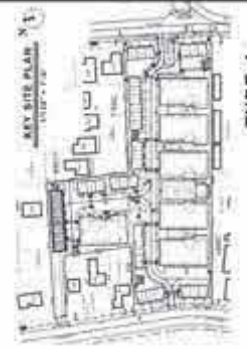
DATE: 01/15/2024
 DRAWING NO: 24-01-01



REAR (NORTH) ELEVATION
 3/8" = 1'-0"



LEFT (SOUTH) ELEVATION
 3/8" = 1'-0"



TYPE 4
 BUILDING 'T'

HATCH LEGEND

[White]	CONCRETE
[Blue]	GLASS
[Orange]	WOOD
[Red]	ROOF
[Dark Blue]	PAVING
[Dark Green]	LANDSCAPE

- EXTERIOR ELEVATION KEYNOTES**
1. ALL MATERIALS SHALL BE AS SHOWN ON THE ELEVATIONS UNLESS NOTED OTHERWISE.
 2. ALL MATERIALS SHALL BE FINISHED TO MATCH THE SURROUNDING AREAS.
 3. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 4. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 5. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 6. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
 7. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
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 10. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).

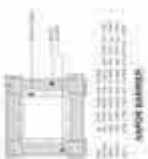
EMERGENCY ESCAPE NOTES

1. ALL EMERGENCY ESCAPE ROUTES SHALL BE CLEAR AND UNOBSTRUCTED.
2. ALL EMERGENCY ESCAPE ROUTES SHALL BE CLEAR AND UNOBSTRUCTED.
3. ALL EMERGENCY ESCAPE ROUTES SHALL BE CLEAR AND UNOBSTRUCTED.
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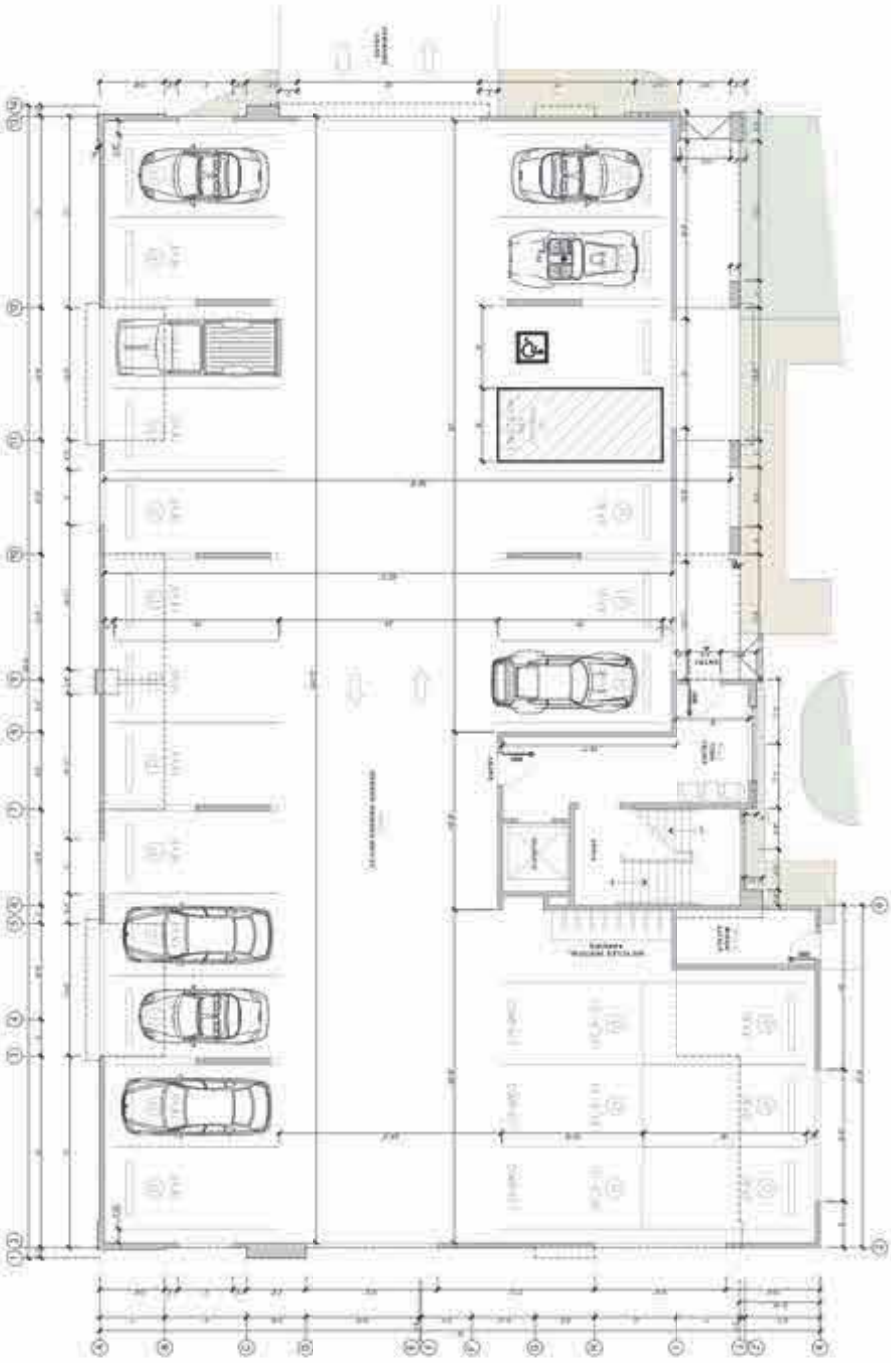
WINDOW NOTES

1. ALL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
2. ALL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
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5. ALL WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).



SAFETY GLAZING NOTE

1. ALL SAFETY GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
2. ALL SAFETY GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
3. ALL SAFETY GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
4. ALL SAFETY GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).
5. ALL SAFETY GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE CALIFORNIA BUILDING CODE (CBC).



FIRST FLOOR PLAN
1/8" = 1'-0"



**BUILDING TYPE 5
AREA CALCULATION**

NUMBER OF STORIES	1
FOOTPRINT AREA	8400 SQ. FT.
STAIRS	1000 SQ. FT.
MECHANICAL ROOMS	1000 SQ. FT.
UTILITY ROOMS	1000 SQ. FT.
STORAGE	1000 SQ. FT.
CLOSETTS (DATA)	1000 SQ. FT.
LIVING AREA	7334 SQ. FT.
2ND FLOOR	7334 SQ. FT.
TOTAL LIVING AREA	14668 SQ. FT.
BALCONIES	1888 SQ. FT.
UNIT E - 1BR	2
UNIT ER - 1BR	2
UNIT H - 2BR	2
UNIT F - 2BR	2
UNIT FR - 2BR	2
ADA UNIT G1 - 2BR	1
ADA UNIT G - 2BR	1
TOTAL UNITS	14

UNIT E / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 98 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1375 SQ. FT. BALCONY: 128 SQ. FT.	ADA UNIT G / 2BR TOTAL LIVING AREA: 1078 SQ. FT. BALCONY: 128 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 98 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1375 SQ. FT. BALCONY: 128 SQ. FT.	ADA UNIT G1 / 2BR TOTAL LIVING AREA: 1078 SQ. FT. BALCONY: 128 SQ. FT.
UNIT H / 2BR TOTAL LIVING AREA: 973 SQ. FT. BALCONY: 98 SQ. FT.		

NOTES:

1. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
2. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
3. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
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9. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
10. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.

PROJECT: MIKASA LUXURY VILLAS
 A 100% COMPLETE ARCHITECTURAL SET
 FOR CONSTRUCTION

OWNER: A & L CAPITAL
 1000 N. 10TH ST.
 SUITE 100
 TUCUMAN, CA 95275



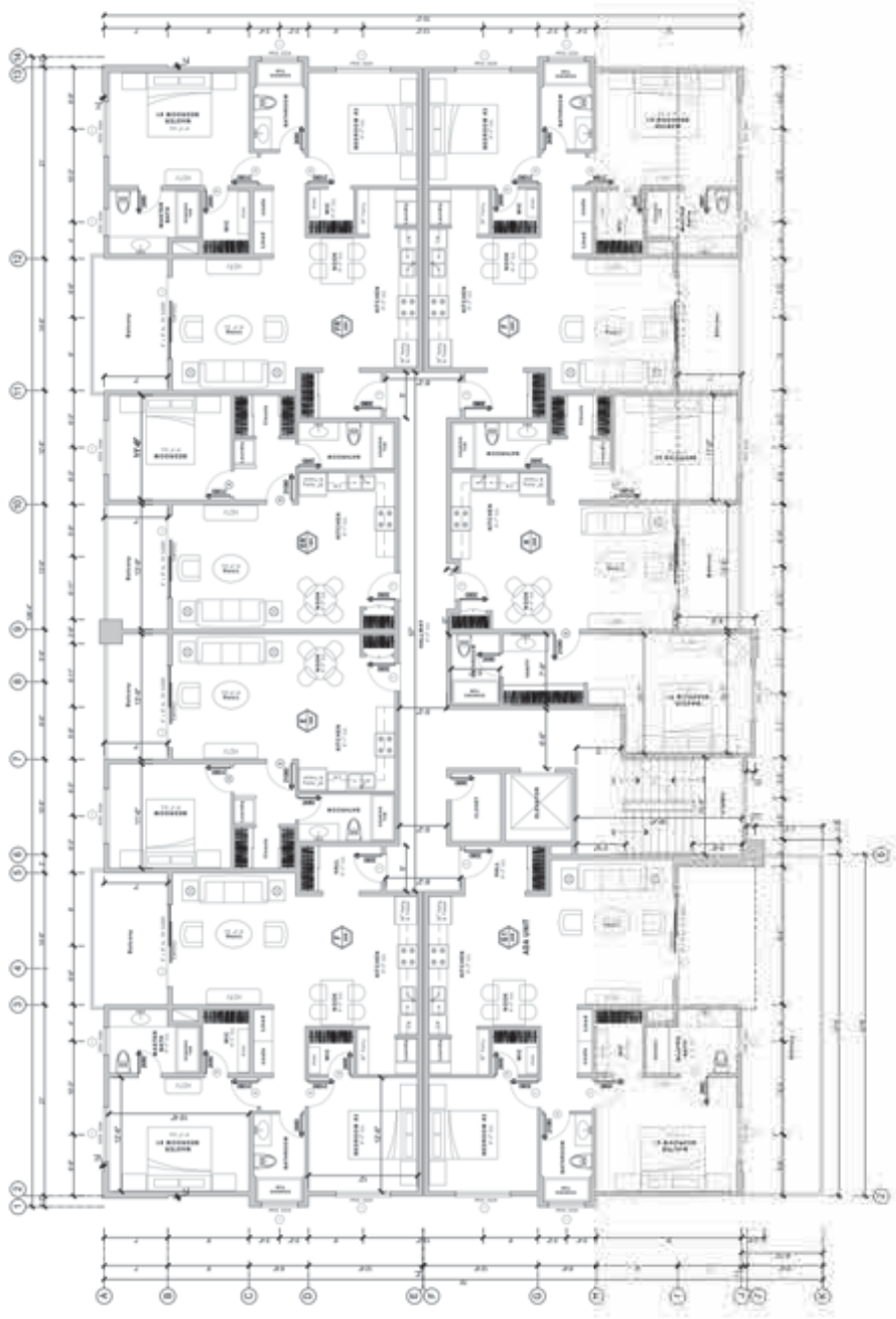
D. G. KROENKING, INC.
 ARCHITECTS
 1000 N. 10TH ST., SUITE 100
 TUCUMAN, CA 95275
 TEL: 408.441.1212
 FAX: 408.441.1213
 WWW.DGKROENKING.COM



CENTURY HERITAGE BUILDERS, INC.
 1000 N. 10TH ST., SUITE 100
 TUCUMAN, CA 95275
 TEL: 408.441.1212
 FAX: 408.441.1213
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NOTICE:
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DATE: 08/20/23
 DRAWN: J. W. WILSON
 CHECKED: J. W. WILSON
 PROJECT: MIKASA LUXURY VILLAS
 SHEET: A-5.2



SECOND FLOOR PLAN
 3/16" = 1'-0"

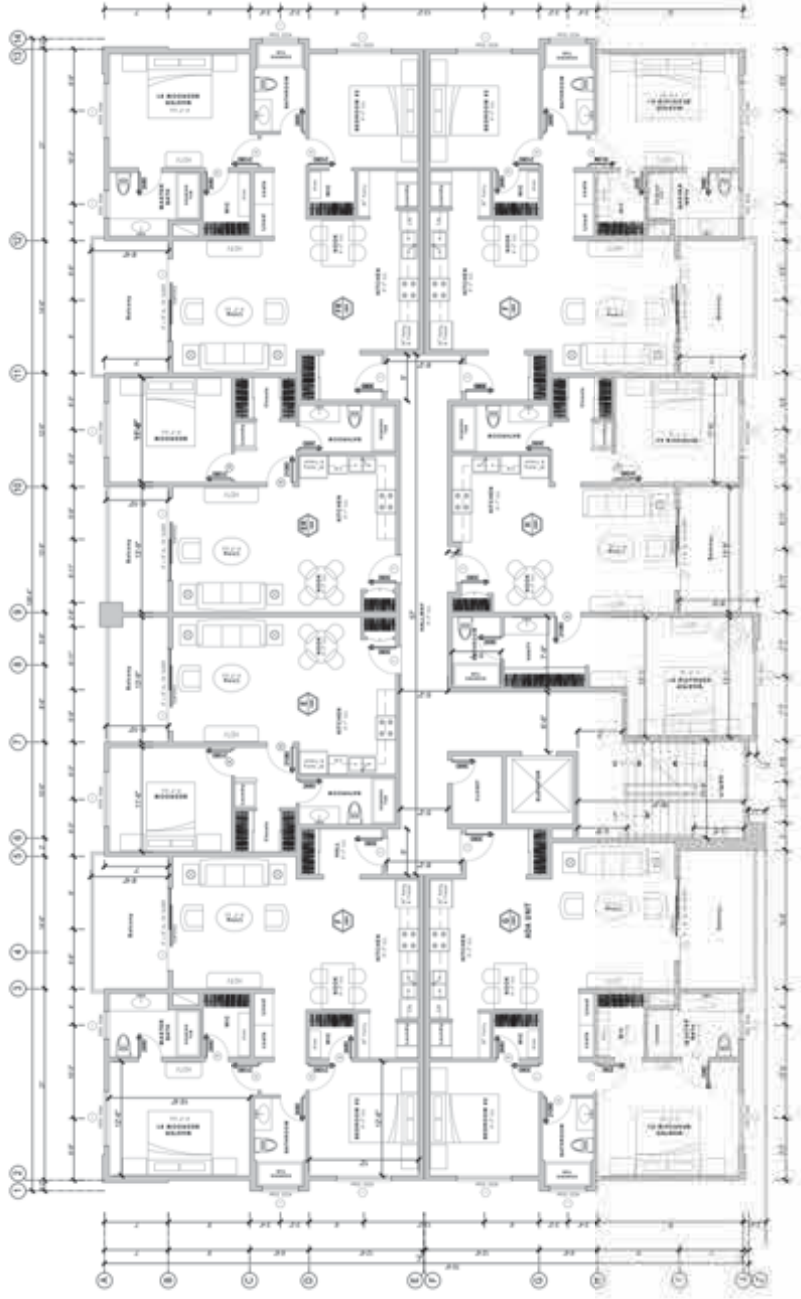


TYPE 5
 BUILDING 'J'

UNIT E / 1BR TOTAL LIVING AREA: 774 SQ. FT. BALCONY: 98 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.	ADA UNIT G / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 774 SQ. FT. BALCONY: 98 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.	ADA UNIT G1 / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.
UNIT H / 2BR TOTAL LIVING AREA: 957 SQ. FT. BALCONY: 98 SQ. FT.		

NOTES:

1. ALL FINISHES TO BE AS SHOWN ON THE FINISHES SCHEDULE AT DRAWING A-5.1.
2. SEE ARCHITECTURAL SPECIFICATIONS FOR MATERIALS AND FINISHES.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL WALLS TO BE 1/2" THICK CONCRETE BLOCK WITH INTERIOR FINISHES.
5. ALL FLOORS TO BE 4" THICK CONCRETE ON 2" THICK POLYSTYRENE INSULATION ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
6. ALL ROOFS TO BE 2" THICK POLYSTYRENE INSULATION ON 4" THICK GRAVEL ON 4" THICK COMPACTED SUBGRADE.
7. ALL EXTERIOR WALLS TO BE 1/2" THICK CONCRETE BLOCK WITH EXTERIOR FINISHES.
8. ALL EXTERIOR DOORS TO BE 1 3/4" THICK SOLID CORE DOORS WITH INTERIOR FINISHES.
9. ALL EXTERIOR WINDOWS TO BE 1/2" THICK ALUMINUM WINDOWS WITH INTERIOR FINISHES.
10. ALL EXTERIOR LIGHT FIXTURES TO BE AS SHOWN ON THE ELECTRICAL SCHEDULE AT DRAWING A-5.3.



THIRD FLOOR PLAN
 3/16" = 1'-0"



UNIT E / 1BR TOTAL LIVING AREA: 714 SQ. FT. BALCONY: 98 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.	ADA UNIT G / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 714 SQ. FT. BALCONY: 98 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.	ADA UNIT G1 / 2BR TOTAL LIVING AREA: 1074 SQ. FT. BALCONY: 138 SQ. FT.
UNIT H / 2BR TOTAL LIVING AREA: 973 SQ. FT. BALCONY: 98 SQ. FT.		

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. SEE ARCHITECTURAL SPECIFICATIONS FOR FINISHES.
 3. SEE MECHANICAL AND ELECTRICAL PLANS FOR DETAILS.
 4. SEE STRUCTURAL PLANS FOR DETAILS.
 5. SEE CIVIL PLANS FOR DETAILS.
 6. SEE LANDSCAPE ARCHITECTURE PLANS FOR DETAILS.
 7. SEE INTERIOR DESIGNER PLANS FOR DETAILS.
 8. SEE ALL APPLICABLE CODES AND REGULATIONS.

PROJECT: MIKASA LUXURY VILLAS
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805

OWNER: A & L CAPITAL
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805



D. G. THOMPSON, INC.
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805
 (714) 771-1111



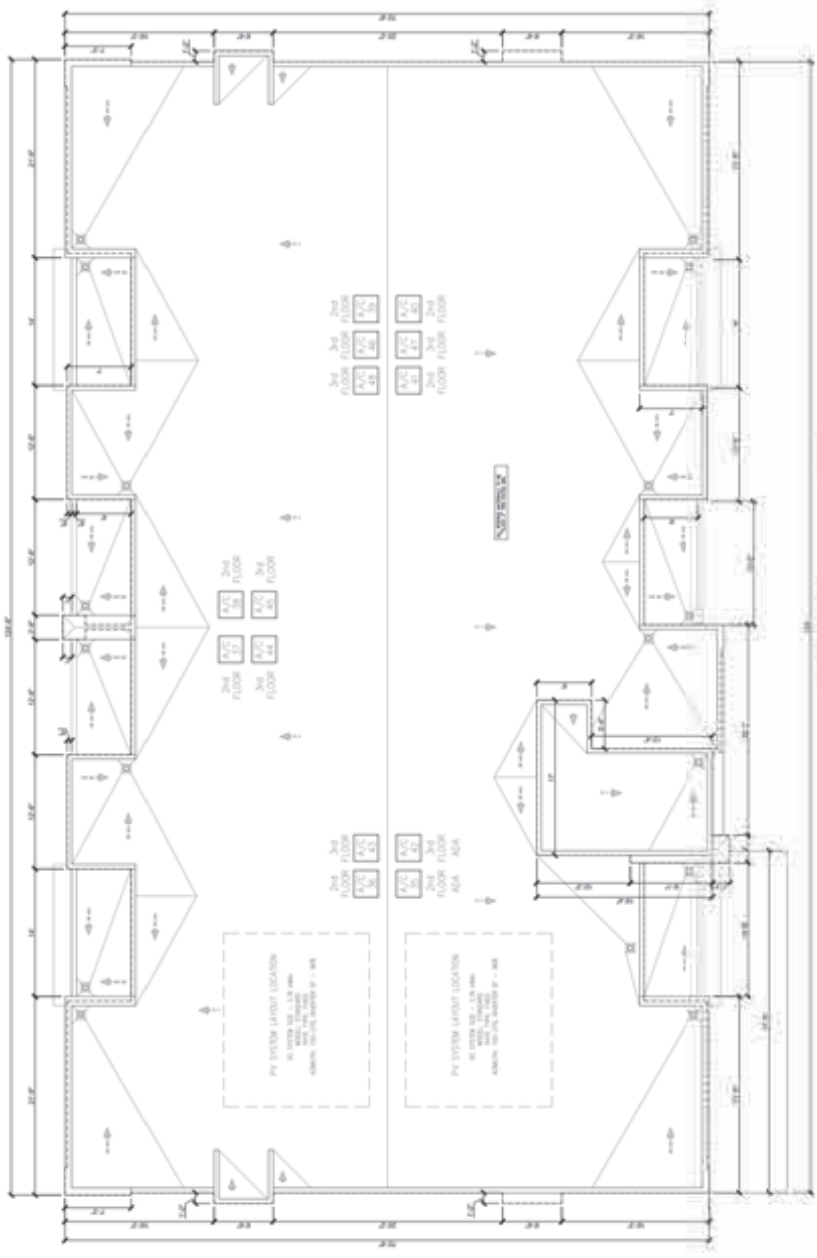
CENTURY HERKHOFF BUILDERS, INC.
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805
 (714) 771-1111

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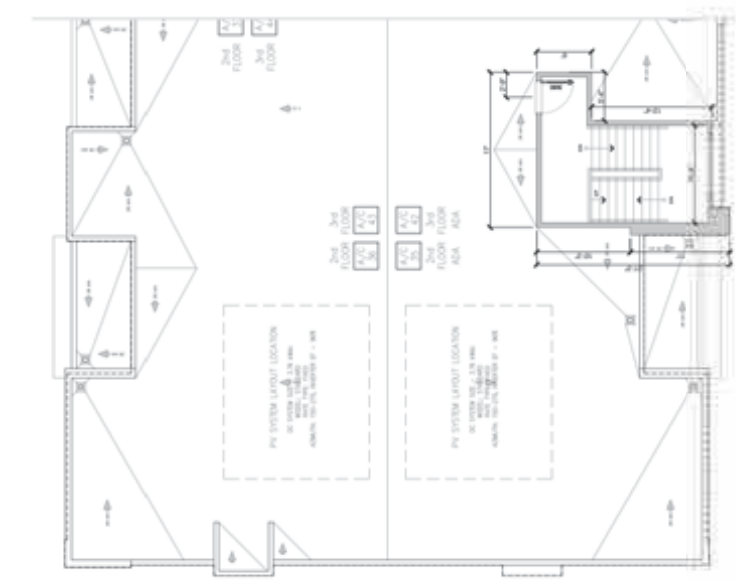
DATE: 08/20/23
 DRAWN: J. J. THOMPSON
 CHECKED: J. J. THOMPSON
 TITLE: TYPE 5 ROOF PLAN
 SHEET: A-5.4



TYPE 5
 BUILDING "J"



ROOF PLAN
 3/16" = 1'-0"



ROOF ACCESS PLAN
 3/16" = 1'-0"



FRONT (EAST) ELEVATION
 311' 8" x 1'-0"



RIGHT (NORTH) ELEVATION
 311' 8" x 1'-0"

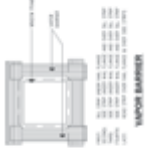


TYPE 5
 BUILDING 'J'

EMERGENCY ESCAPE NOTES



SAFETY GLAZING NOTE



HATCH LEGEND

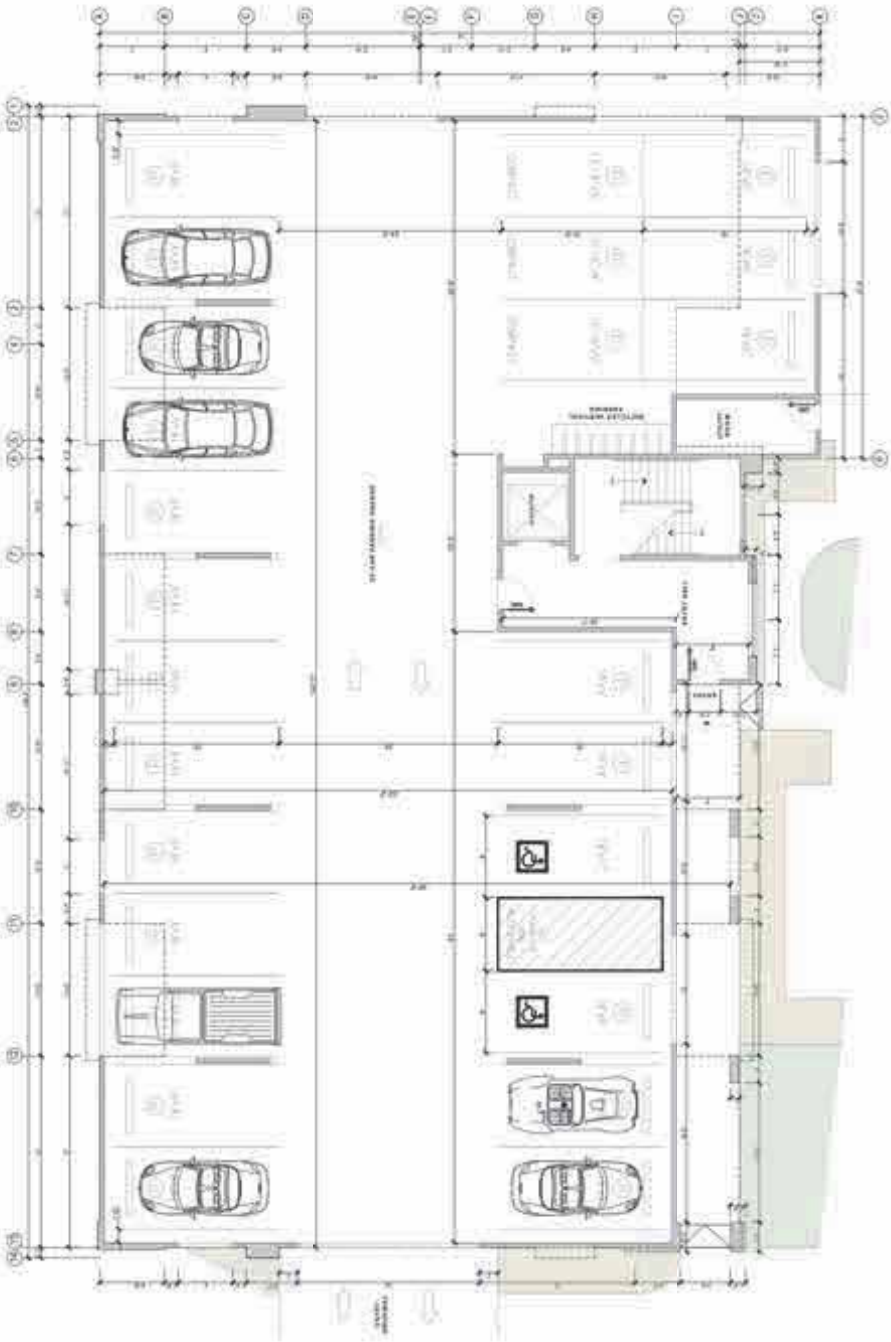
[Hatch Pattern]	1. 1/2" x 1/2" Square
[Hatch Pattern]	2. 1/4" x 1/4" Square
[Hatch Pattern]	3. 1/8" x 1/8" Square
[Hatch Pattern]	4. 1/4" x 1/2" Rectangle
[Hatch Pattern]	5. 1/2" x 1/4" Rectangle
[Hatch Pattern]	6. 1/2" x 1/8" Rectangle
[Hatch Pattern]	7. 1/8" x 1/2" Rectangle
[Hatch Pattern]	8. 1/8" x 1/4" Rectangle
[Hatch Pattern]	9. 1/8" x 1/8" Square
[Hatch Pattern]	10. 1/4" x 1/8" Rectangle
[Hatch Pattern]	11. 1/8" x 1/4" Rectangle
[Hatch Pattern]	12. 1/4" x 1/4" Square
[Hatch Pattern]	13. 1/8" x 1/8" Square
[Hatch Pattern]	14. 1/4" x 1/8" Rectangle
[Hatch Pattern]	15. 1/8" x 1/4" Rectangle
[Hatch Pattern]	16. 1/4" x 1/4" Square
[Hatch Pattern]	17. 1/8" x 1/8" Square
[Hatch Pattern]	18. 1/4" x 1/8" Rectangle
[Hatch Pattern]	19. 1/8" x 1/4" Rectangle
[Hatch Pattern]	20. 1/4" x 1/4" Square

WINDOW NOTES

1. ALL WINDOW UNITS SHALL BE SUPPLIED BY THE MANUFACTURER.
2. WINDOW UNITS SHALL BE SUPPLIED WITH 1/2" x 1/2" SQUARE GLASS.
3. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
4. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
5. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/2" RECTANGLE GLASS.
6. WINDOW UNITS SHALL BE SUPPLIED WITH 1/2" x 1/4" RECTANGLE GLASS.
7. WINDOW UNITS SHALL BE SUPPLIED WITH 1/2" x 1/8" RECTANGLE GLASS.
8. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/2" RECTANGLE GLASS.
9. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/4" RECTANGLE GLASS.
10. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
11. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
12. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/8" RECTANGLE GLASS.
13. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/4" RECTANGLE GLASS.
14. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
15. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
16. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/8" RECTANGLE GLASS.
17. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/4" RECTANGLE GLASS.
18. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
19. WINDOW UNITS SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
20. WINDOW UNITS SHALL BE SUPPLIED WITH 1/4" x 1/8" RECTANGLE GLASS.

EXTERIOR ELEVATION KEYNOTES

1. ALL EXTERIOR FINISHES SHALL BE SUPPLIED BY THE MANUFACTURER.
2. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/2" x 1/2" SQUARE GLASS.
3. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
4. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
5. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/2" RECTANGLE GLASS.
6. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/2" x 1/4" RECTANGLE GLASS.
7. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/2" x 1/8" RECTANGLE GLASS.
8. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/2" RECTANGLE GLASS.
9. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/4" RECTANGLE GLASS.
10. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
11. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
12. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/8" RECTANGLE GLASS.
13. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/4" RECTANGLE GLASS.
14. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
15. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
16. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/8" RECTANGLE GLASS.
17. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/4" RECTANGLE GLASS.
18. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/4" SQUARE GLASS.
19. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/8" x 1/8" SQUARE GLASS.
20. ALL EXTERIOR FINISHES SHALL BE SUPPLIED WITH 1/4" x 1/8" RECTANGLE GLASS.



FIRST FLOOR PLAN
 3/16" = 1'-0"

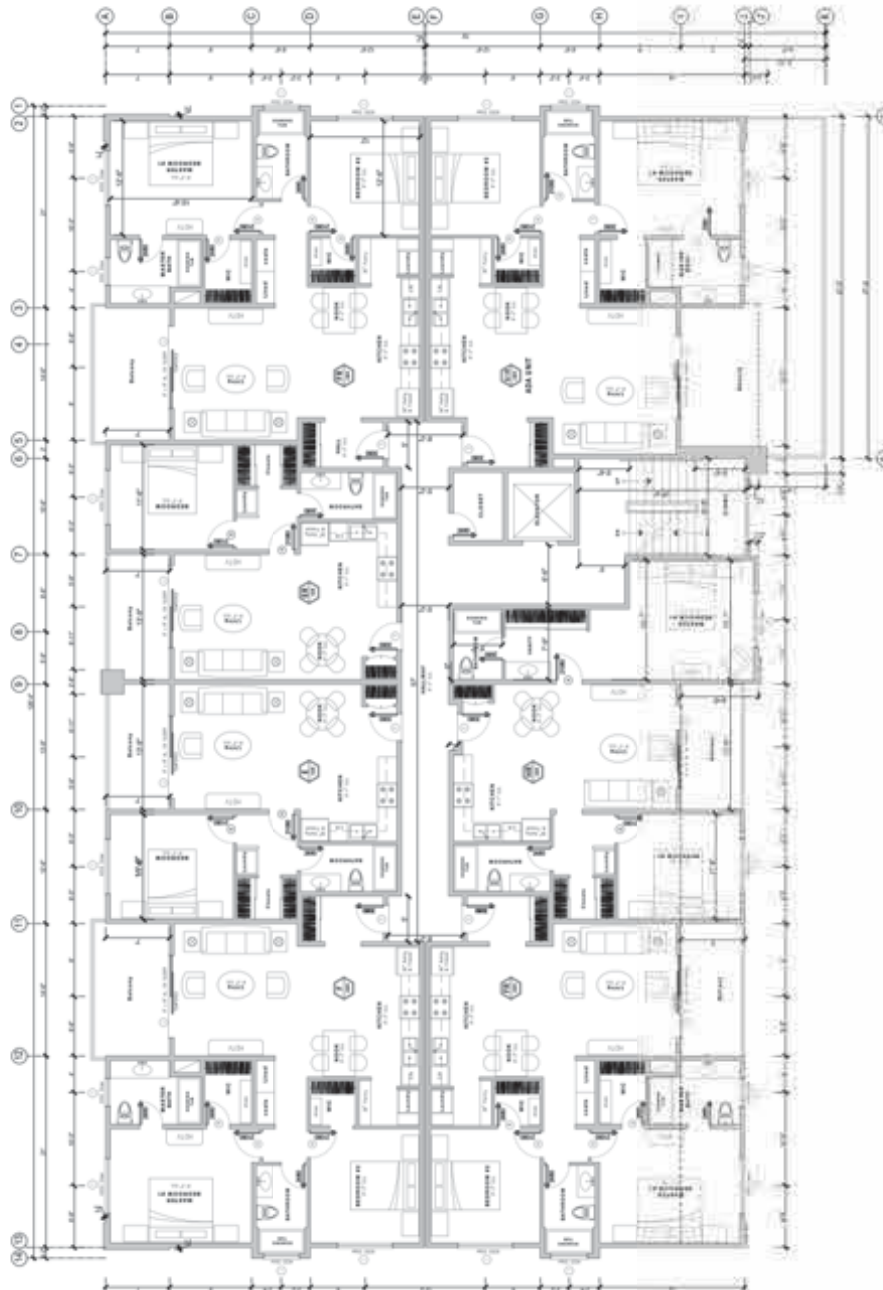


**BUILDING TYPE 5R
 AREA CALCULATION**

NUMBER OF UNITS	1
FOOTPRINT AREA	1807 SQ. FT.
WALL AREA	1867 SQ. FT.
GARAGE (2) CAR	1800 SQ. FT.
UTILITY ROOM	1800 SQ. FT.
STAIRS	1800 SQ. FT.
CLOSET (2) DATA	1800 SQ. FT.
LIVING AREA	1734 SQ. FT.
2ND FLOOR	1734 SQ. FT.
3RD FLOOR	1468 SQ. FT.
TOTAL LIVING AREA	1588 SQ. FT.
BALCONIES	
UNIT E - 1BR	2
UNIT F - 2BR	2
UNIT FR - 2BR	4
ADA UNIT GR - 2BR	1
ADA UNIT G1R - 2BR	1
UNIT HR - 2BR	3
TOTAL UNITS	14

UNIT E / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 89 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1076 SQ. FT. BALCONY: 128 SQ. FT.	ADA UNIT GR / 2BR TOTAL LIVING AREA: 1076 SQ. FT. BALCONY: 128 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 89 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1076 SQ. FT. BALCONY: 128 SQ. FT.	ADA UNIT G1R / 2BR TOTAL LIVING AREA: 1076 SQ. FT. BALCONY: 128 SQ. FT.
UNIT HR / 2BR TOTAL LIVING AREA: 923 SQ. FT. BALCONY: 95 SQ. FT.		

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL MECHANICAL, ELECTRICAL AND PLUMBING CODE (IMC, EPC, AND IPC).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL SMOKE AND ALARM CODE (ISAC).
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL ACCESSIBILITY STANDARDS AND GUIDELINES (IASA).
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL GREEN BUILDING CONSTRUCTION AND MAINTENANCE SOURCEBOOK (IGBC).
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY STANDARDS (IWPS).
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY STANDARDS (IWPS).
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL WELL-BEING AND PRODUCTIVITY STANDARDS (IWPS).



SECOND FLOOR PLAN
3/16" = 1'-0"



TYPE 5R
BUILDING "M"
(TYPICAL FOR BUILDING "N")

UNIT E / 1BR TOTAL LIVING AREA: 748 SQ. FT. BALCONY: 80 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1178 SQ. FT. BALCONY: 122 SQ. FT.	ADA UNIT GR / 2BR TOTAL LIVING AREA: 1187 SQ. FT. BALCONY: 122 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 748 SQ. FT. BALCONY: 80 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1178 SQ. FT. BALCONY: 122 SQ. FT.	ADA UNIT G1R / 2BR TOTAL LIVING AREA: 1187 SQ. FT. BALCONY: 122 SQ. FT.
UNIT HR / 2BR TOTAL LIVING AREA: 1873 SQ. FT. BALCONY: 88 SQ. FT.		

NOTES:
 1. ALL FINISHES TO BE AS SHOWN ON THE ARCHITECTURAL DRAWINGS.
 2. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 3. REFER TO THE ARCHITECTURAL DRAWINGS FOR ALL OTHER NOTES AND SPECIFICATIONS.
 4. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THIS SUMMARY.
 5. THIS SUMMARY IS FOR INFORMATIONAL PURPOSES ONLY AND DOES NOT CONSTITUTE A CONTRACT.

PROJECT: MIKASA LUXURY VILLAS
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805

OWNER: A & L CAPITAL
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805

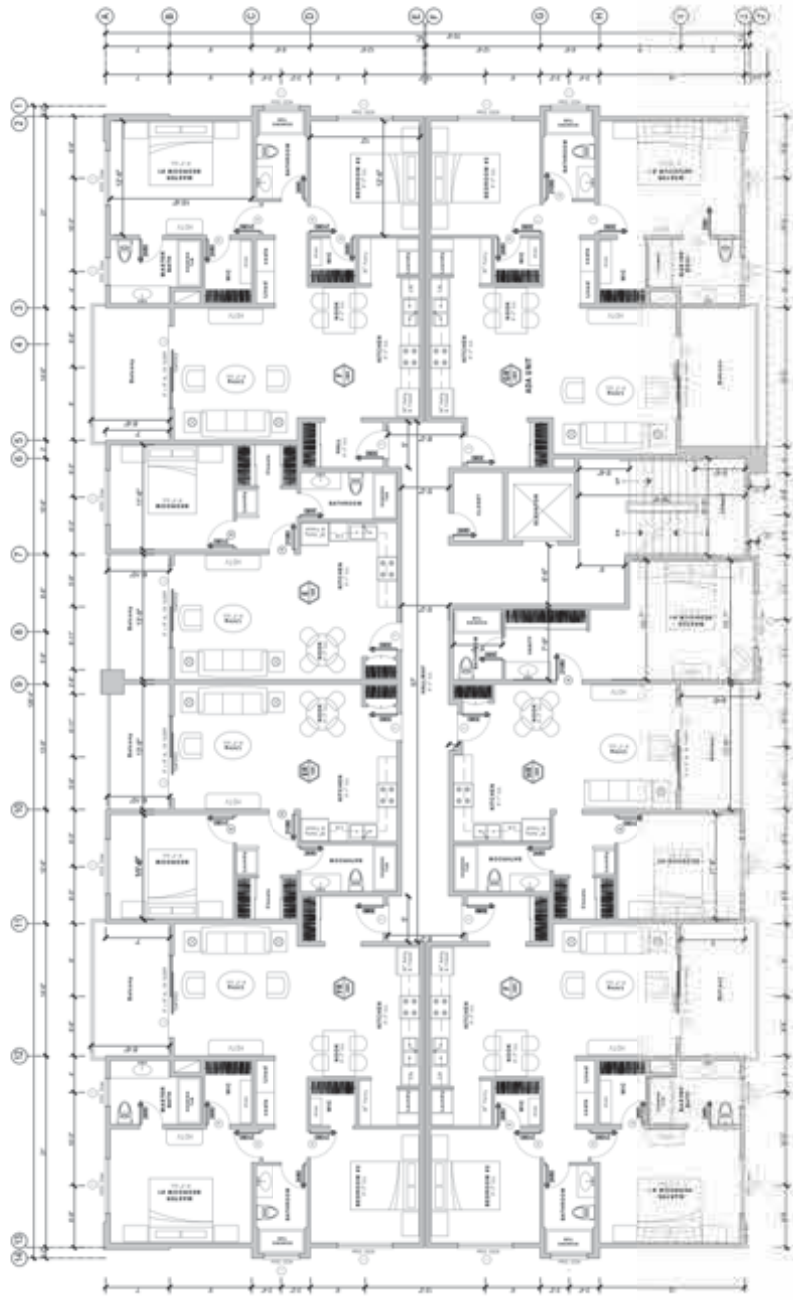


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 WWW.CHBUILDERS.COM

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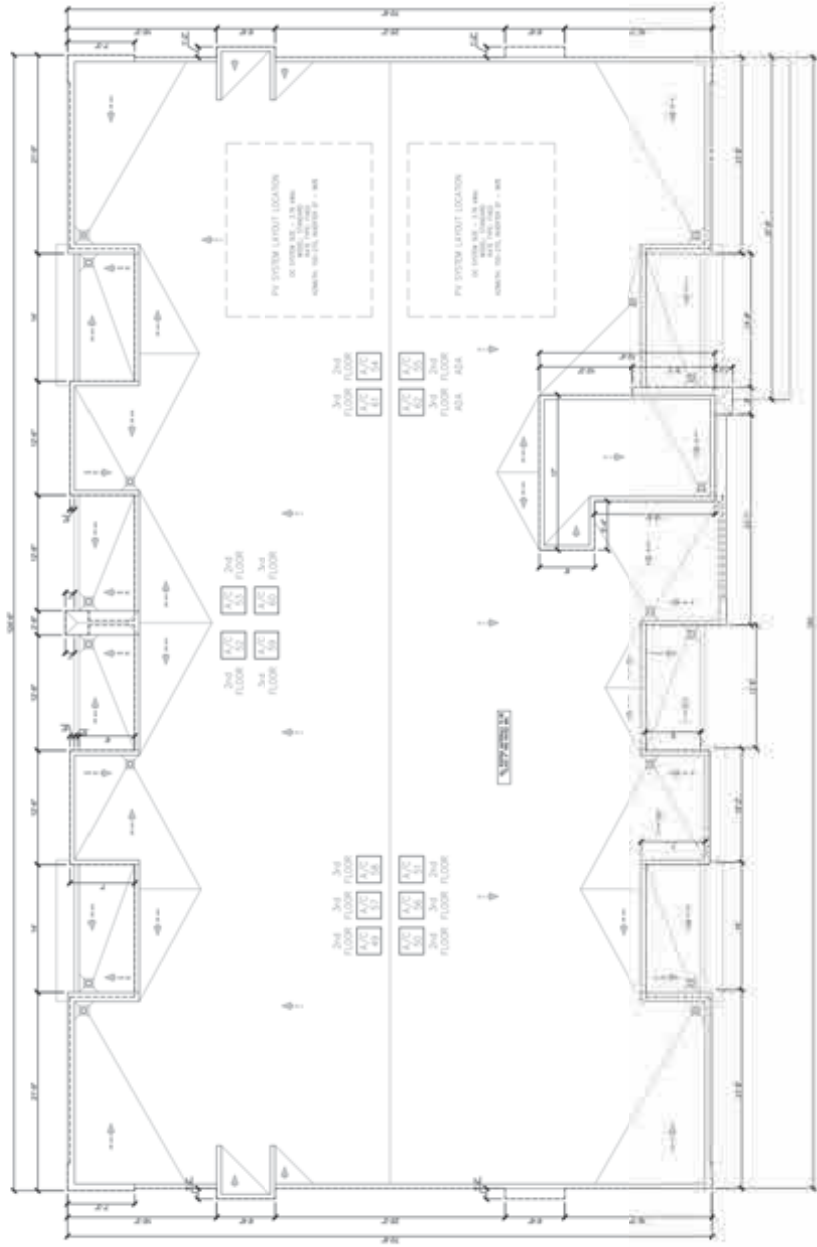


THIRD FLOOR PLAN
 3/16" = 1'-0"

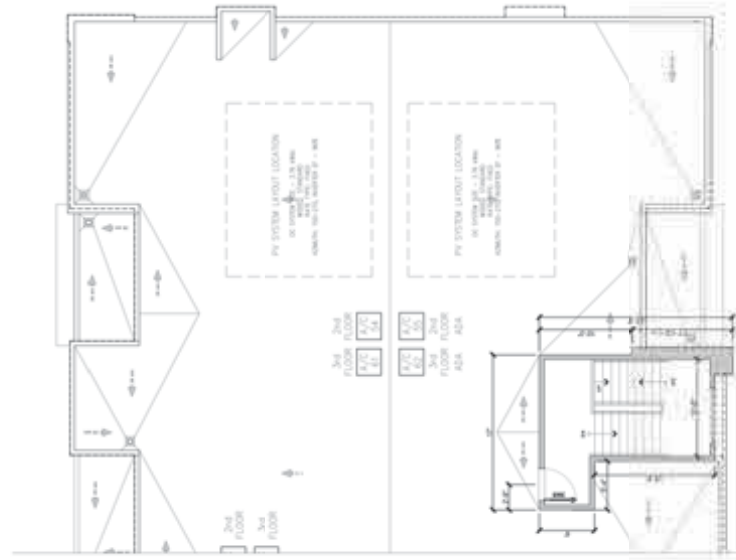


UNIT E / 1BR TOTAL LIVING AREA: 748 SQ. FT. BALCONY: 80 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1178 SQ. FT. BALCONY: 120 SQ. FT.	ADA UNIT GR / 2BR TOTAL LIVING AREA: 1187 SQ. FT. BALCONY: 120 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 748 SQ. FT. BALCONY: 80 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1178 SQ. FT. BALCONY: 120 SQ. FT.	ADA UNIT G1R / 2BR TOTAL LIVING AREA: 1187 SQ. FT. BALCONY: 120 SQ. FT.
UNIT HR / 2BR TOTAL LIVING AREA: 1873 SQ. FT. BALCONY: 80 SQ. FT.		

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. SEE ARCHITECT'S GENERAL NOTES FOR MATERIALS AND FINISHES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA MECHANICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA PLUMBING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA FIRE CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA SAFETY CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA ENVIRONMENTAL CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 CALIFORNIA HEALTH CARE CODE AND ALL APPLICABLE LOCAL ORDINANCES.



ROOF PLAN
 3/16" = 1'-0"



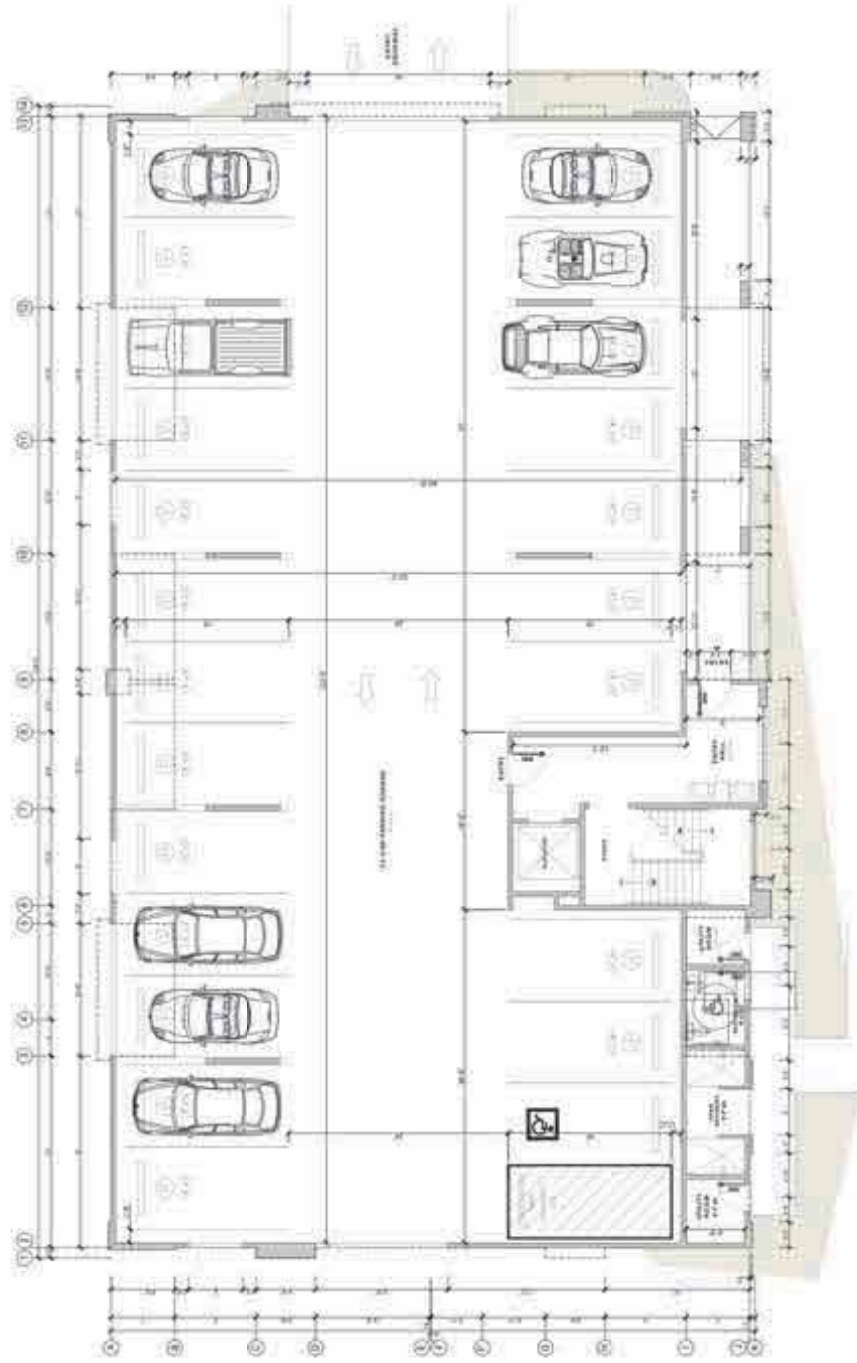
ROOF ACCESS PLAN
 3/16" = 1'-0"



TYPE 5R
BUILDING "M"
 (TYPICAL FOR BUILDING "M")

NOTES:

1. SEE THE "SECTION" DRAWINGS FOR DETAILS AT WALLS.
2. SEE "SECTION" DRAWINGS FOR DETAILS AT ROOF RISE.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
6. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
7. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
8. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
9. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
10. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



FIRST FLOOR PLAN
1/8" = 1'-0"



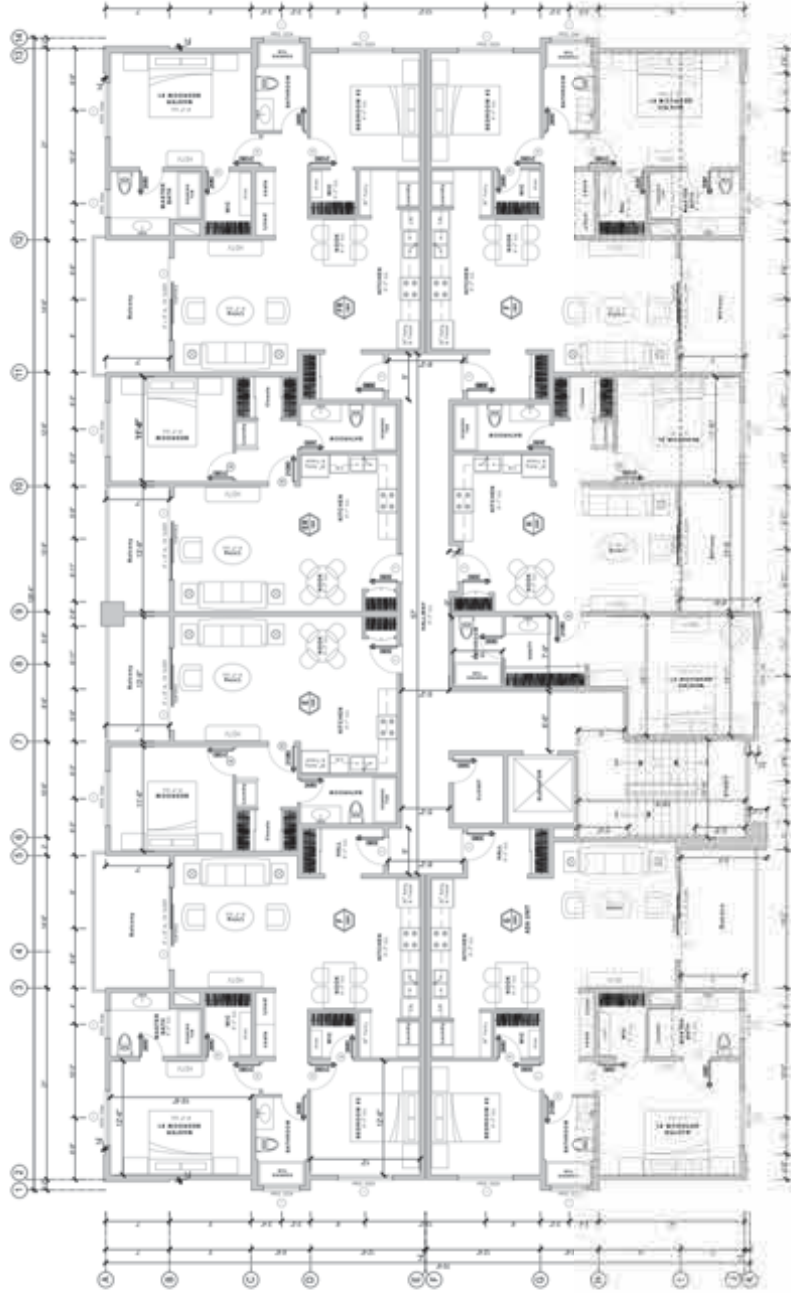
**BUILDING TYPE 6
AREA CALCULATION**

NUMBER OF STORIES	3
FOOTPRINT AREA	7847 SQ. FT.
ENTRY HALL & STAIRS	395 SQ. FT.
PUBLIC RESTROOMS	100 SQ. FT.
RECREATION ROOM	917 SQ. FT.
SAFETY ROOMS	133 SQ. FT.
HALLWAY	11 SQ. FT.
CLOSETS	1024 SQ. FT.
LIVING AREA	1024 SQ. FT.
2ND FLOOR	1448 SQ. FT.
TOTAL LIVING AREA	7847 SQ. FT.
GARAGE (21 CARS)	1867 SQ. FT.
BALCONIES	1932 SQ. FT.
UNIT G - 2BR	2
UNIT G - 1BR	2
UNIT F - 2BR	4
UNIT F - 1BR	2
UNIT H - 2BR	2
UNIT H - 1BR	2
TOTAL UNITS	14

UNIT E / 1BR	UNIT F / 2BR	ADA UNIT G / 2BR
TOTAL LIVING AREA 718 SQ. FT.	TOTAL LIVING AREA 1178 SQ. FT.	TOTAL LIVING AREA 1187 SQ. FT.
BALCONY 91 SQ. FT.	BALCONY 132 SQ. FT.	BALCONY 132 SQ. FT.
UNIT ER / 1BR	UNIT FR / 2BR	UNIT H / 2BR
TOTAL LIVING AREA 718 SQ. FT.	TOTAL LIVING AREA 1178 SQ. FT.	TOTAL LIVING AREA 1187 SQ. FT.
BALCONY 91 SQ. FT.	BALCONY 132 SQ. FT.	BALCONY 132 SQ. FT.

NOTES:

1. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
2. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
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4. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
5. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
6. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
7. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
8. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
9. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
10. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.



SECOND FLOOR PLAN
 TYPE K
 3/16" = 1'-0"



TYPE 6
BUILDING "K"

UNIT E / 1BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 39 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 145 SQ. FT. BALCONY: 132 SQ. FT.	ADA UNIT G / 2BR TOTAL LIVING AREA: 140 SQ. FT. BALCONY: 132 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 39 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 145 SQ. FT. BALCONY: 132 SQ. FT.	UNIT H / 2BR TOTAL LIVING AREA: 140 SQ. FT. BALCONY: 132 SQ. FT.

NOTES:

1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. SEE ARCHITECT'S NOTES FOR MATERIALS AND FINISHES.
3. SEE ARCHITECT'S NOTES FOR ELECTRICAL AND MECHANICAL.
4. SEE ARCHITECT'S NOTES FOR STRUCTURAL AND CONSTRUCTION.
5. SEE ARCHITECT'S NOTES FOR LANDSCAPE AND EXTERIOR.
6. SEE ARCHITECT'S NOTES FOR INTERIOR AND EXTERIOR.
7. SEE ARCHITECT'S NOTES FOR ACCESSIBILITY.
8. SEE ARCHITECT'S NOTES FOR SAFETY.
9. SEE ARCHITECT'S NOTES FOR COMPLIANCE.
10. SEE ARCHITECT'S NOTES FOR GENERAL.

PROJECT: MIKASA LUXURY VILLAS
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805

OWNER: A & L CAPITAL
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805



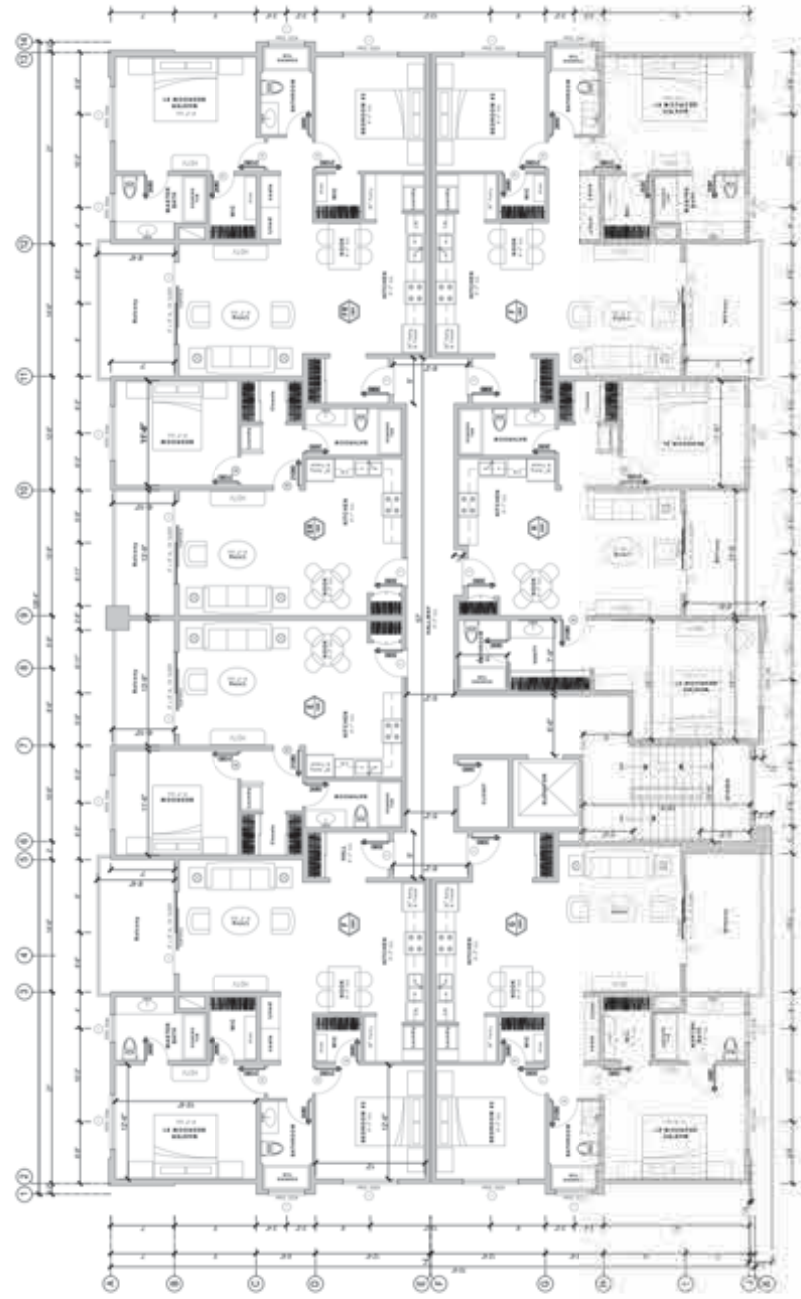
D. G. KROENING, INC.
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805
 (714) 771-1111



CENTURY HERKHOE ENGINEERS, INC.
 1000 S. GARDEN AVENUE, SUITE 100
 ANAHEIM, CA 92805
 (714) 771-1111

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DATE: 02/22/23
 DRAWN: J. W. WILSON
 CHECKED: J. W. WILSON
 PROJECT: MIKASA LUXURY VILLAS
 SHEET: A-6.3
 OF: 6.3



THIRD FLOOR PLAN
 3/16" = 1'-0"



TYPE 6
 BUILDING "K"

UNIT E / 1BR TOTAL LIVING AREA: 116 SQ. FT. BALCONY: 38 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 116 SQ. FT. BALCONY: 132 SQ. FT.	ADA UNIT G / 2BR TOTAL LIVING AREA: 107 SQ. FT. BALCONY: 132 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 38 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 132 SQ. FT.	UNIT H / 2BR TOTAL LIVING AREA: 107 SQ. FT. BALCONY: 98 SQ. FT.

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE REGULATIONS.
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA MECHANICAL, PLUMBING AND ELECTRICAL CODES.
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE AND SAFETY CODE.
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENVIRONMENTAL HEALTH AND SAFETY CODE.
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA LABOR CODE.
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PENALTY CODE.
 7. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA CIVIL CODE.
 8. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PROBATE CODE.
 9. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA EVIDENCE CODE.
 10. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA GOVERNMENT CODE.



FRONT (EAST) ELEVATION
 3/16" = 1'-0"

HATCH LEGEND

[Hatch Pattern]	1. Concrete
[Hatch Pattern]	2. Brick
[Hatch Pattern]	3. Stucco
[Hatch Pattern]	4. Wood Siding
[Hatch Pattern]	5. Metal Siding
[Hatch Pattern]	6. Glass
[Hatch Pattern]	7. Asphalt
[Hatch Pattern]	8. Gravel
[Hatch Pattern]	9. Sand
[Hatch Pattern]	10. Water
[Hatch Pattern]	11. Sky
[Hatch Pattern]	12. Palm Tree

WINDOW NOTES

1. ALL WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT.
2. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.
4. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENERGY CODES.
5. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE SMOKE AND ALARM CODES.
6. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE SEISMIC CODES.
7. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE WIND-BORNE DEBRIS CODES.
8. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE HAIL RESISTANCE CODES.
9. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE BURGLAR RESISTANCE CODES.
10. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE THEFT RESISTANCE CODES.
11. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE VANDALISM RESISTANCE CODES.
12. WINDOW UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE WEATHER RESISTANCE CODES.

EXTERIOR ELEVATION KEYNOTES

1. EXTERIOR FINISHES SHALL BE AS SHOWN ON THIS DRAWING.
2. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.
4. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ENERGY CODES.
5. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE SMOKE AND ALARM CODES.
6. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE SEISMIC CODES.
7. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE WIND-BORNE DEBRIS CODES.
8. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE HAIL RESISTANCE CODES.
9. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE BURGLAR RESISTANCE CODES.
10. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE THEFT RESISTANCE CODES.
11. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE VANDALISM RESISTANCE CODES.
12. EXTERIOR FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE WEATHER RESISTANCE CODES.

EMERGENCY ESCAPE NOTES

1. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.
2. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENERGY CODES.
3. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE SMOKE AND ALARM CODES.
4. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE SEISMIC CODES.
5. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE WIND-BORNE DEBRIS CODES.
6. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE HAIL RESISTANCE CODES.
7. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE BURGLAR RESISTANCE CODES.
8. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE THEFT RESISTANCE CODES.
9. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE VANDALISM RESISTANCE CODES.
10. EMERGENCY ESCAPE WINDOWS SHALL BE INSTALLED IN ACCORDANCE WITH THE WEATHER RESISTANCE CODES.



EGRESS WINDOW WALL SEC.

EGRESS WINDOW WALL SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.

SAFETY GLAZING NOTE

SAFETY GLAZING SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.



DOOR KEEP OPENED

DOOR SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.



WINDOW BARRIER

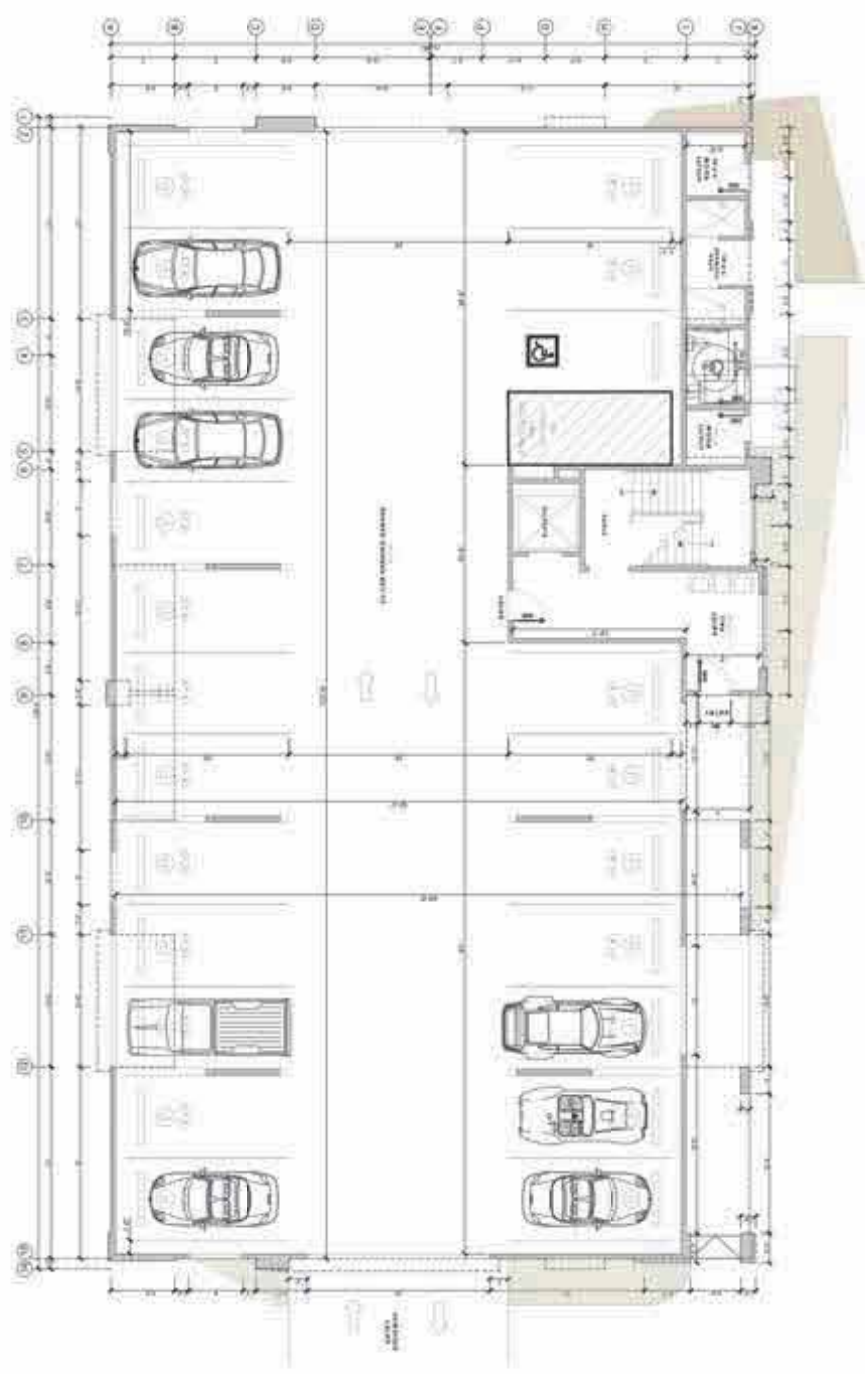
WINDOW BARRIER SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL BUILDING CODES.



RIGHT (NORTH) ELEVATION
 3/16" = 1'-0"



TYPE 6
 BUILDING 'K'



FIRST FLOOR PLAN
SITE = 1,1-E



**BUILDING TYPE 6R
AREA CALCULATION**

NUMBER OF UNITS	2	2	2	2	2
POORROOM AREA	247 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.
ENTRY HALLS & STAIRS	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.
PUBLIC RESTROOMS	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.
UTILITY ROOMS	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.
LIVING AREA	734 SQ. FT.	734 SQ. FT.	734 SQ. FT.	734 SQ. FT.	734 SQ. FT.
TOTAL FLOOR AREA	1488 SQ. FT.	1488 SQ. FT.	1488 SQ. FT.	1488 SQ. FT.	1488 SQ. FT.
MANAGEMENT OFFICES	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.	195 SQ. FT.
TOTAL UNITS	2	2	2	2	2
UNIT E - 1BR	2	2	2	2	2
UNIT F - 2BR	2	2	2	2	2
UNIT G - 2BR	2	2	2	2	2
UNIT H - 2BR	2	2	2	2	2
UNIT I - 1BR	2	2	2	2	2
UNIT J - 2BR	2	2	2	2	2
TOTAL UNITS	2	2	2	2	2

NOTES:

1. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
2. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
3. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
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7. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
8. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
9. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.
10. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED FLOOR PLAN.

UNIT E / 1BR	UNIT F / 2BR	ADA UNIT GR / 2BR
TOTAL LIVING AREA: 718 SQ. FT.	TOTAL LIVING AREA: 1178 SQ. FT.	TOTAL LIVING AREA: 1178 SQ. FT.
BALCONY: 91 SQ. FT.	BALCONY: 132 SQ. FT.	BALCONY: 132 SQ. FT.
UNIT ER / 1BR	UNIT FR / 2BR	UNIT HR / 2BR
TOTAL LIVING AREA: 718 SQ. FT.	TOTAL LIVING AREA: 1178 SQ. FT.	TOTAL LIVING AREA: 1178 SQ. FT.
BALCONY: 91 SQ. FT.	BALCONY: 132 SQ. FT.	BALCONY: 132 SQ. FT.

PROJECT: MIKASA LUXURY VILLAS
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805

OWNER: A & L CAPITAL
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805



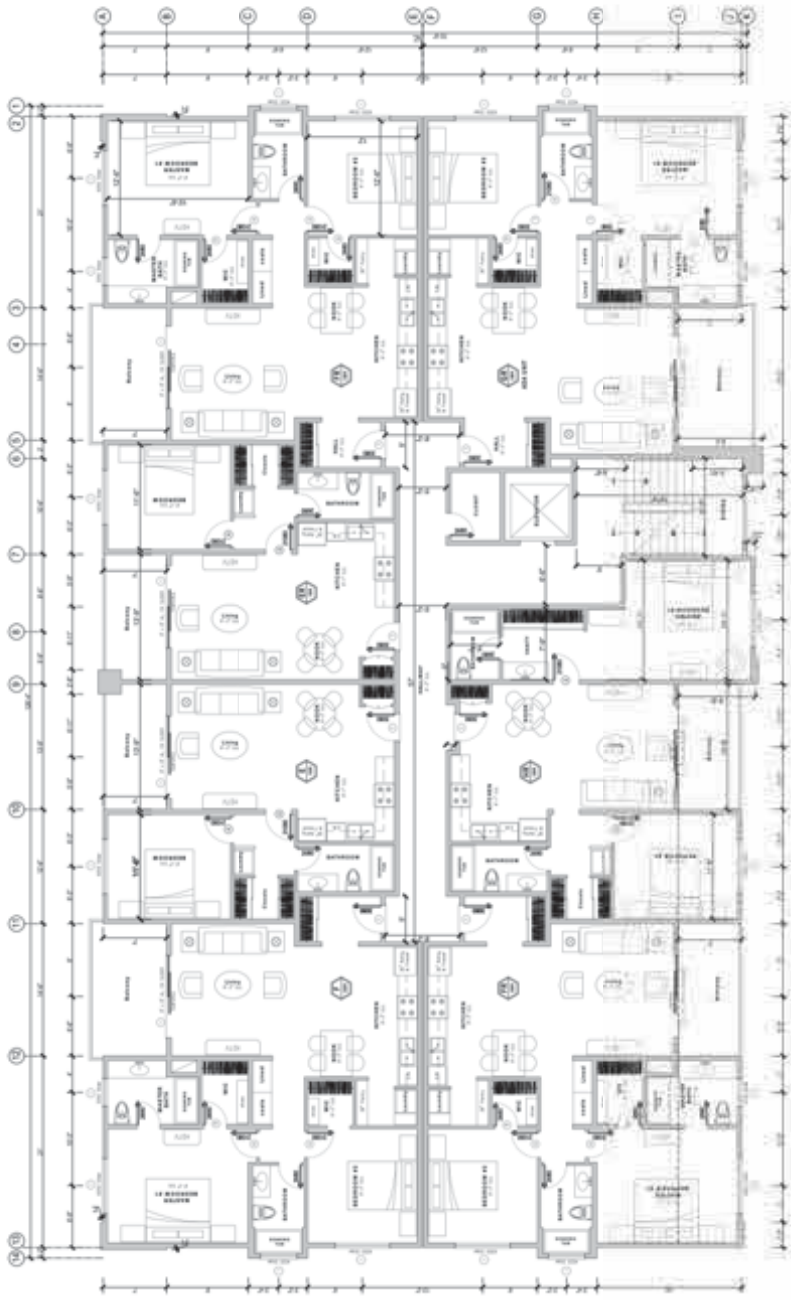
D. G. KROENING, INC.
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805



CHB Group, Inc.
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805

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DATE: 02/20/23
 DRAWN BY: J. H. WILSON
 CHECKED BY: J. H. WILSON
 SCALE: AS SHOWN
 SHEET: A-68
 OF: 100



SECOND FLOOR PLAN
 318' x 118'



TYPE 6R
 BUILDING 'L'

UNIT E / 1BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 38 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 178 SQ. FT. BALCONY: 138 SQ. FT.	ADA UNIT GR / 2BR TOTAL LIVING AREA: 187 SQ. FT. BALCONY: 138 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 38 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 178 SQ. FT. BALCONY: 138 SQ. FT.	UNIT HR / 2BR TOTAL LIVING AREA: 187 SQ. FT. BALCONY: 138 SQ. FT.

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
 2. SEE ARCHITECT'S GENERAL NOTES FOR FINISHES AND MATERIALS.
 3. REFER TO ARCHITECT'S GENERAL NOTES FOR SCHEDULE AND SPECIFICATIONS.
 4. REFER TO ARCHITECT'S GENERAL NOTES FOR MECHANICAL AND ELECTRICAL REQUIREMENTS.
 5. REFER TO ARCHITECT'S GENERAL NOTES FOR STRUCTURAL REQUIREMENTS.
 6. REFER TO ARCHITECT'S GENERAL NOTES FOR SPECIALTY CONTRACTOR REQUIREMENTS.

PROJECT: MIKASA LUXURY VILLAS
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805

OWNER: A & L CAPITAL
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805



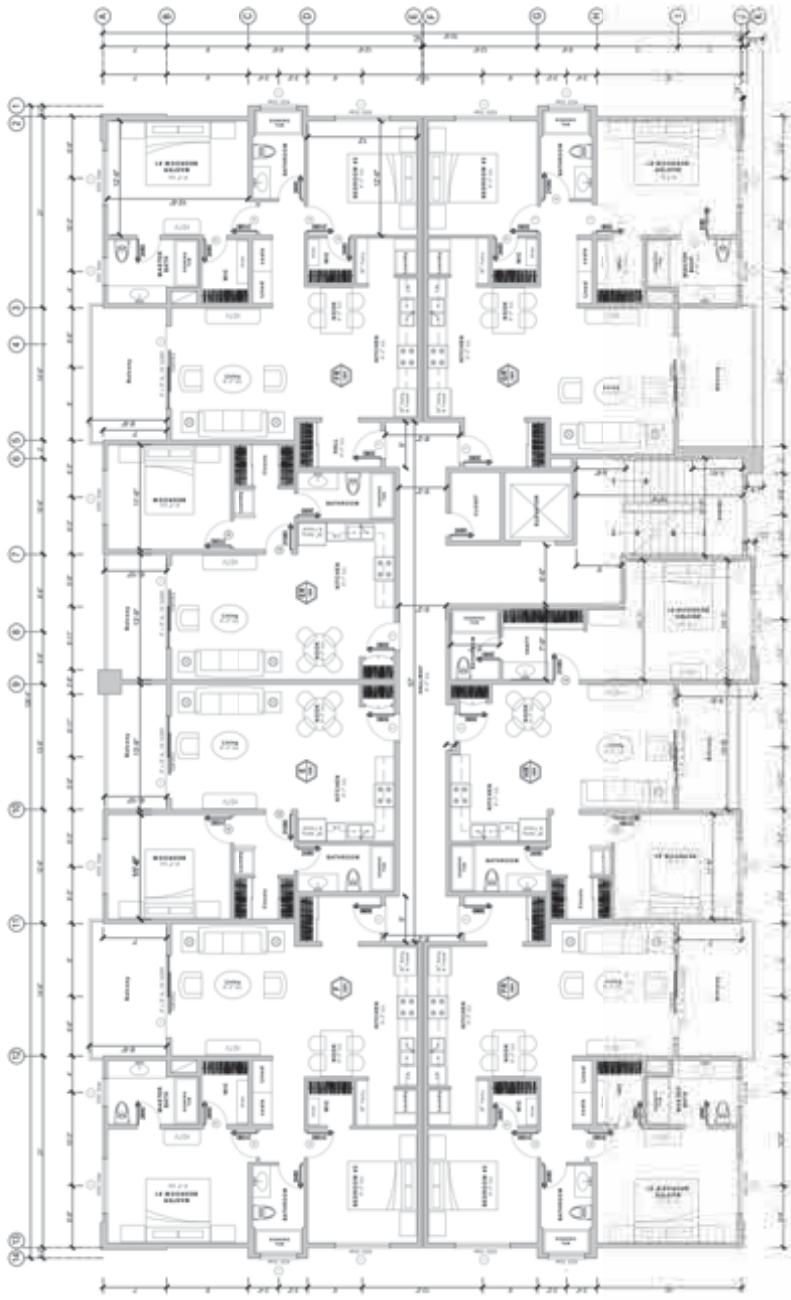
D. L. O'CONNOR, INC.
 ARCHITECTS
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805



CENTURY HERKNER ENGINEERS, INC.
 1000 S. GARDEN ST. SUITE 100
 ANAHEIM, CA 92805

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DATE: 02/20/23
 DRAWN: J. HAY
 CHECKED: J. HAY
 SCALE: AS SHOWN
 SHEET: A-6.9
 OF: 10



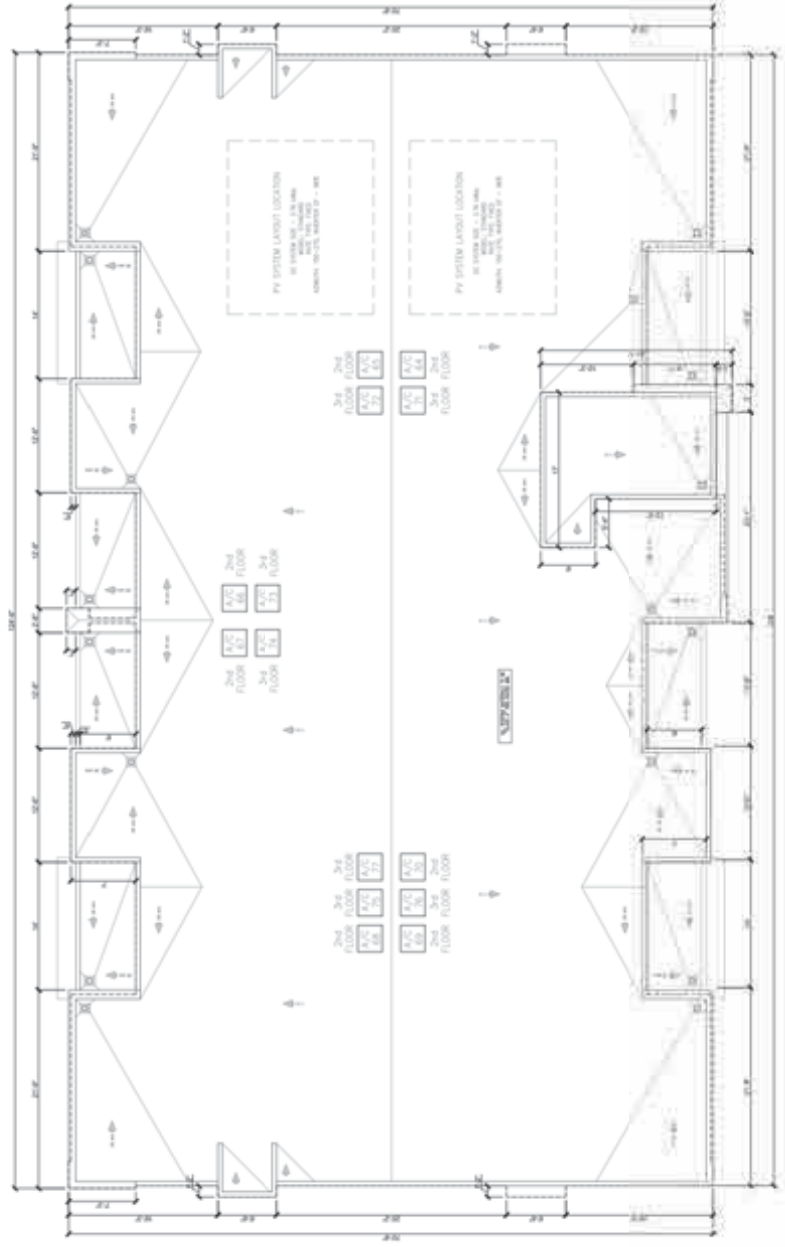
THIRD FLOOR PLAN
 318' x 118'



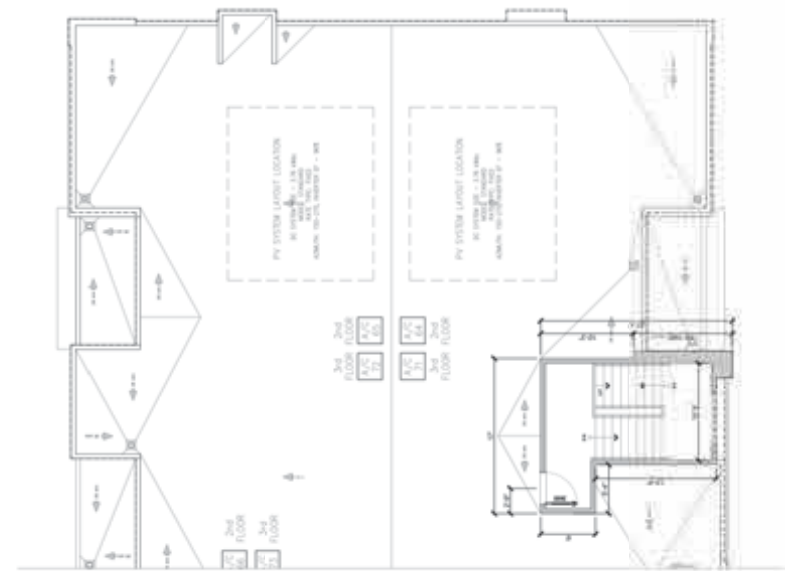
TYPE 6R
 BUILDING 'L'

UNIT E / 1BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 18 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 178 SQ. FT. BALCONY: 13 SQ. FT.	ADA UNIT GR / 2BR TOTAL LIVING AREA: 187 SQ. FT. BALCONY: 13 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 118 SQ. FT. BALCONY: 18 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 178 SQ. FT. BALCONY: 13 SQ. FT.	UNIT HR / 2BR TOTAL LIVING AREA: 187 SQ. FT. BALCONY: 13 SQ. FT.

NOTES:
 1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 2. SEE ARCHITECT'S GENERAL NOTES FOR MATERIALS AND FINISHES.
 3. REFER TO ARCHITECT'S GENERAL NOTES FOR ELECTRICAL AND MECHANICAL REQUIREMENTS.
 4. REFER TO ARCHITECT'S GENERAL NOTES FOR ACCESSIBILITY REQUIREMENTS.
 5. REFER TO ARCHITECT'S GENERAL NOTES FOR SCHEDULING AND SPECIFICATIONS.
 6. REFER TO ARCHITECT'S GENERAL NOTES FOR CONSTRUCTION METHODS AND DETAILS.



ROOF PLAN
 3/16" = 1'-0"



ROOF ACCESS PLAN
 3/16" = 1'-0"



KEY SITE PLAN
 1/8" = 1'-0"

- NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE (CBC) AND THE CALIFORNIA MECHANICAL CODE (CMC).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ELECTRICAL CODE (CEC) AND THE CALIFORNIA PLUMBING CODE (CPC).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA FIRE CODE (CFC) AND THE CALIFORNIA SAFETY CODE (CSC).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA ENERGY CODE (CEC) AND THE CALIFORNIA GREEN BUILDING CODE (CGBC).
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SOLAR CODE (CSC) AND THE CALIFORNIA WIND CODE (CWC).
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA SEISMIC CODE (CSC) AND THE CALIFORNIA FLOODING CODE (CFC).



REAR (EAST) ELEVATION
 3/16" = 1'-0"

HATCH LEGEND

[Hatch Pattern]	Brick
[Hatch Pattern]	Light Gray Panel
[Hatch Pattern]	Dark Gray Panel
[Hatch Pattern]	Dark Blue Panel
[Hatch Pattern]	Dark Green Panel
[Hatch Pattern]	Dark Red Panel
[Hatch Pattern]	Dark Brown Panel
[Hatch Pattern]	Dark Purple Panel

WINDOW NOTES

1. ALL WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
2. WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
3. WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
4. WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
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8. WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
9. WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
10. WINDOW UNITS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.

EXTERIOR ELEVATION KEYNOTES

1. ALL MATERIALS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
2. ALL MATERIALS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
3. ALL MATERIALS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
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9. ALL MATERIALS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
10. ALL MATERIALS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.

EMERGENCY ESCAPE NOTES

1. ALL ESCAPE WINDOWS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
2. ALL ESCAPE WINDOWS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
3. ALL ESCAPE WINDOWS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
4. ALL ESCAPE WINDOWS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
5. ALL ESCAPE WINDOWS SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.

EXPRESS WINDOW WALL, IBC

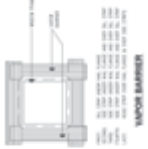


SAFETY GLAZING NOTE

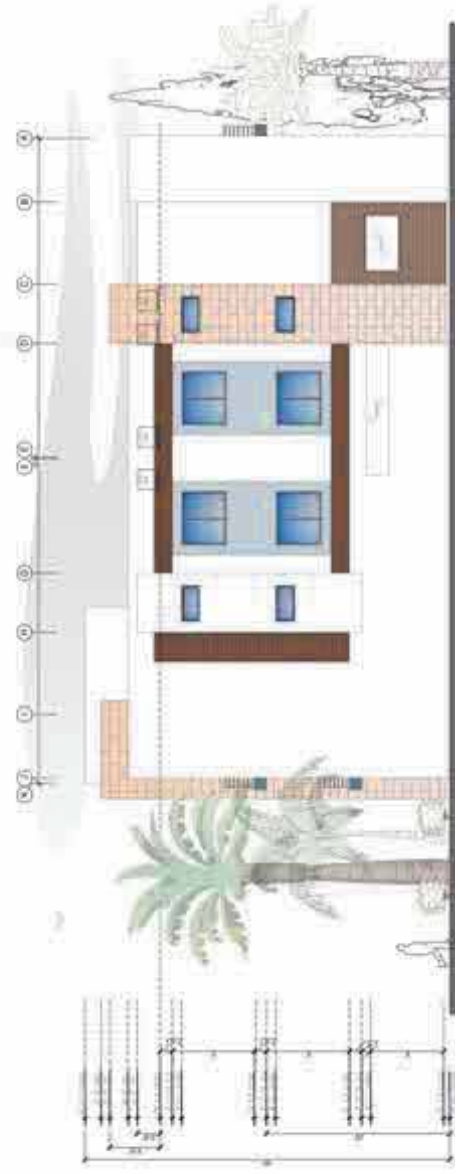
1. ALL SAFETY GLAZING SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
2. ALL SAFETY GLAZING SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
3. ALL SAFETY GLAZING SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
4. ALL SAFETY GLAZING SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.
5. ALL SAFETY GLAZING SHALL BE SUPPLIED BY THE ARCHITECT'S CONSULTANT.



ONLY KEEP OPENED



WINDOW BARRIER

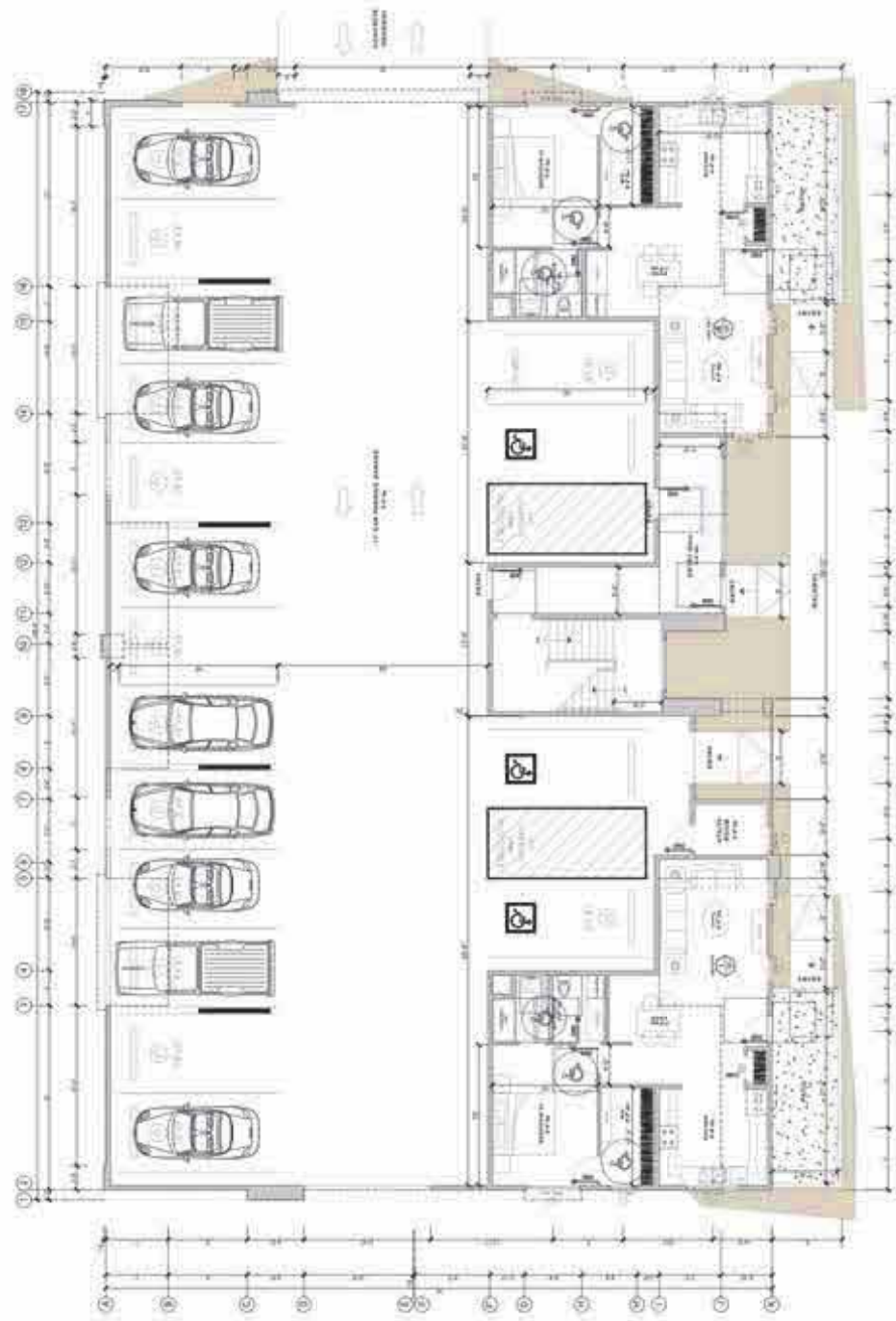


LEFT (NORTH) ELEVATION
 3/16" = 1'-0"

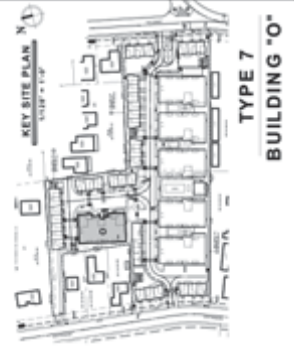


KEY SITE PLAN
 1/8" = 1'-0"

TYPE 6R
 BUILDING "L"



FIRST FLOOR PLAN
3/16" = 1'-0"

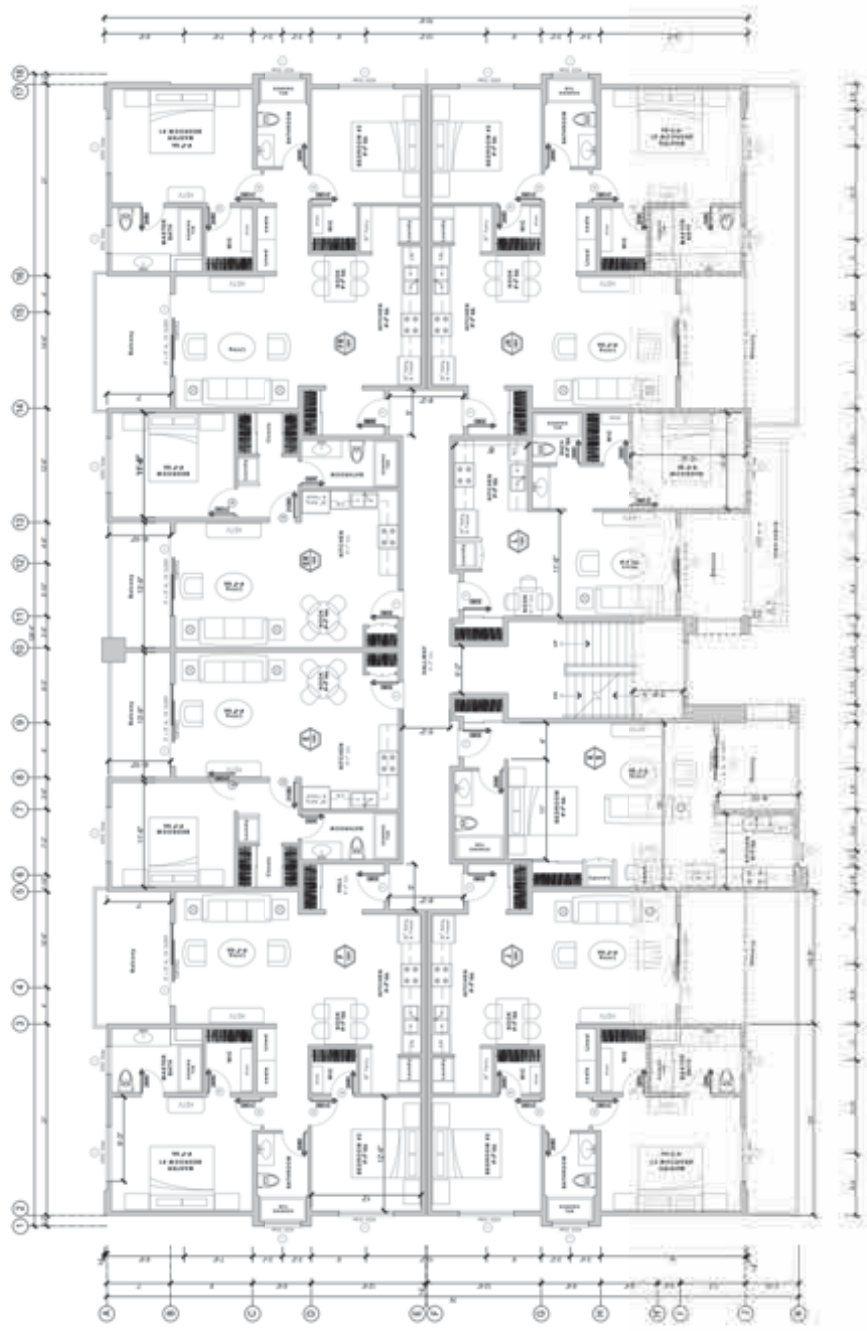


**BUILDING TYPE 7
AREA CALCULATION**

NUMBER OF STORIES	3
FOOTPRINT AREA	8525 SQ. FT.
ENTRY HALL & STAIRS	385 SQ. FT.
LOBBY	180 SQ. FT.
UTILITY ROOM	50 SQ. FT.
LIVING AREA	1248 SQ. FT.
1ST FLOOR	2367 SQ. FT.
2ND FLOOR	2367 SQ. FT.
TOTAL LIVING AREA	4734 SQ. FT.
CORRIDORS (BT CARDS)	1228 SQ. FT.
BALCONIES (BT CARDS)	348 SQ. FT.
PATIO	182 SQ. FT.
ADA UNIT I / 2BR	1144 SQ. FT.
ADA UNIT IR / 2BR	1144 SQ. FT.
UNIT E / 1BR	718 SQ. FT.
UNIT F / 2BR	1178 SQ. FT.
UNIT J / 2BR	1184 SQ. FT.
UNIT JR / 2BR	1184 SQ. FT.
UNIT K / 1BR	644 SQ. FT.
UNIT L / STUDIO	867 SQ. FT.
TOTAL UNITS	12

ADA UNIT I / 1BR TOTAL LIVING AREA: 874 SQ. FT. BALCONY: 182 SQ. FT. PATIO: 182 SQ. FT.	UNIT E / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 98 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1178 SQ. FT. BALCONY: 128 SQ. FT.	UNIT J / 2BR TOTAL LIVING AREA: 1184 SQ. FT. BALCONY: 311 SQ. FT.
ADA UNIT IR / 1BR TOTAL LIVING AREA: 874 SQ. FT. PATIO: 182 SQ. FT.	UNIT ER / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 98 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1178 SQ. FT. BALCONY: 128 SQ. FT.	UNIT JR / 2BR TOTAL LIVING AREA: 1184 SQ. FT. BALCONY: 311 SQ. FT.
	UNIT K / 1BR TOTAL LIVING AREA: 644 SQ. FT. BALCONY: 98 SQ. FT.	UNIT L / STUDIO TOTAL LIVING AREA: 867 SQ. FT. BALCONY: 87 SQ. FT.	

NOTES:
 1. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
 2. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
 3. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
 4. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
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 6. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
 7. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
 8. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
 9. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.
 10. ALL AREA CALCULATIONS ARE BASED ON THE PROVIDED 2D PLAN.



SECOND FLOOR PLAN
 311'8" x 173'8"

UNIT E / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 99 SQ. FT.	UNIT F / 2BR TOTAL LIVING AREA: 1078 SQ. FT. BALCONY: 133 SQ. FT.	UNIT J / 2BR TOTAL LIVING AREA: 1184 SQ. FT. BALCONY: 311 SQ. FT.
UNIT ER / 1BR TOTAL LIVING AREA: 718 SQ. FT. BALCONY: 99 SQ. FT.	UNIT FR / 2BR TOTAL LIVING AREA: 1078 SQ. FT. BALCONY: 133 SQ. FT.	UNIT JR / 2BR TOTAL LIVING AREA: 1184 SQ. FT. BALCONY: 311 SQ. FT.
UNIT K / 1BR TOTAL LIVING AREA: 644 SQ. FT. BALCONY: 99 SQ. FT.	UNIT L / STUDIO TOTAL LIVING AREA: 987 SQ. FT. BALCONY: 87 SQ. FT.	



KEY SITE PLAN
 100' x 100'

NOTES:
 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL RESIDENTIAL CODE (IRC).
 2. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL ELECTRICAL CODE (NEC) AND THE NATIONAL FIRE ALARM AND SIGNALING CODE (NFPA 72).
 3. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL MECHANICAL CODE (NEMC) AND THE NATIONAL PLUMBING CODE (NPC).
 4. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL GAS CODE (NAGC) AND THE NATIONAL HAZARDOUS LIQUID GAS CODE (NHLGC).
 5. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL CONCRETE AND REINFORCING STEEL INSTITUTE (ACI) AND THE NATIONAL STEEL CONSTRUCTION INSTITUTE (AISC).
 6. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL WOODWORK AND JOINERY INSTITUTE (NWWJI) AND THE NATIONAL WOODWORK AND JOINERY INSTITUTE (NWWJI).



FRONT (EAST) ELEVATION
3/16" = 1'-0"

HATCH LEGEND

[Hatch Pattern]	1. 1/2" x 1/4" BRICK
[Hatch Pattern]	2. 1/2" x 1/4" BRICK
[Hatch Pattern]	3. 1/2" x 1/4" BRICK
[Hatch Pattern]	4. 1/2" x 1/4" BRICK
[Hatch Pattern]	5. 1/2" x 1/4" BRICK
[Hatch Pattern]	6. 1/2" x 1/4" BRICK
[Hatch Pattern]	7. 1/2" x 1/4" BRICK
[Hatch Pattern]	8. 1/2" x 1/4" BRICK
[Hatch Pattern]	9. 1/2" x 1/4" BRICK
[Hatch Pattern]	10. 1/2" x 1/4" BRICK

WINDOW NOTES

1. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
2. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
3. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
4. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
5. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
6. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
7. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
8. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
9. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
10. ALL WINDOWS TO BE 1/2" x 1/4" BRICK

EXTERIOR ELEVATION KEYNOTES

1. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
2. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
3. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
4. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
5. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
6. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
7. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
8. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
9. ALL WINDOWS TO BE 1/2" x 1/4" BRICK
10. ALL WINDOWS TO BE 1/2" x 1/4" BRICK

EMERGENCY ESCAPE NOTE

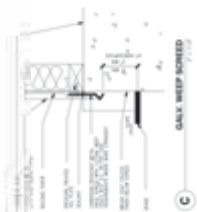
ALL WINDOWS TO BE 1/2" x 1/4" BRICK



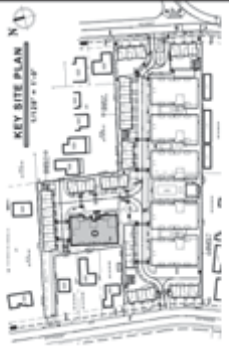
EGRESS WINDOW WALL, INC.

SAFETY GLAZING NOTE

ALL WINDOWS TO BE 1/2" x 1/4" BRICK



RIGHT (NORTH) ELEVATION
3/16" = 1'-0"



TYPE 7
BUILDING 'O'



REAR (WEST) ELEVATION
 3/16" = 1'-0"



LEFT (SOUTH) ELEVATION
 3/16" = 1'-0"



KEY SITE PLAN
 1/8" = 1'-0"

EMERGENCY ESCAPE NOTES

1. ALL WINDOWS MUST BE EGRESS QUALIFIED.
 2. ALL WINDOWS MUST BE EGRESS QUALIFIED.
 3. ALL WINDOWS MUST BE EGRESS QUALIFIED.



EGRESS WINDOW WALL IBC

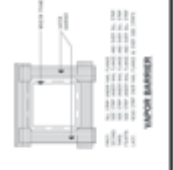
1. ALL WINDOWS MUST BE EGRESS QUALIFIED.
 2. ALL WINDOWS MUST BE EGRESS QUALIFIED.

SAFETY GLAZING NOTE

1. ALL WINDOWS MUST BE EGRESS QUALIFIED.
 2. ALL WINDOWS MUST BE EGRESS QUALIFIED.



ONLY WEEP HOLES



HATCH LEGEND

[Hatch Pattern]	Concrete
[Hatch Pattern]	Block
[Hatch Pattern]	Brick
[Hatch Pattern]	Stucco
[Hatch Pattern]	EIFS
[Hatch Pattern]	EIFS with Stone
[Hatch Pattern]	EIFS with Brick
[Hatch Pattern]	EIFS with Wood
[Hatch Pattern]	EIFS with Metal
[Hatch Pattern]	EIFS with Glass
[Hatch Pattern]	EIFS with Fabric
[Hatch Pattern]	EIFS with Paper
[Hatch Pattern]	EIFS with Plastic
[Hatch Pattern]	EIFS with Rubber
[Hatch Pattern]	EIFS with Leather
[Hatch Pattern]	EIFS with Fabric
[Hatch Pattern]	EIFS with Paper
[Hatch Pattern]	EIFS with Plastic
[Hatch Pattern]	EIFS with Rubber
[Hatch Pattern]	EIFS with Leather

WINDOW NOTES

1. ALL WINDOWS MUST BE EGRESS QUALIFIED.
2. ALL WINDOWS MUST BE EGRESS QUALIFIED.
3. ALL WINDOWS MUST BE EGRESS QUALIFIED.
4. ALL WINDOWS MUST BE EGRESS QUALIFIED.
5. ALL WINDOWS MUST BE EGRESS QUALIFIED.
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9. ALL WINDOWS MUST BE EGRESS QUALIFIED.
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11. ALL WINDOWS MUST BE EGRESS QUALIFIED.
12. ALL WINDOWS MUST BE EGRESS QUALIFIED.
13. ALL WINDOWS MUST BE EGRESS QUALIFIED.
14. ALL WINDOWS MUST BE EGRESS QUALIFIED.
15. ALL WINDOWS MUST BE EGRESS QUALIFIED.
16. ALL WINDOWS MUST BE EGRESS QUALIFIED.
17. ALL WINDOWS MUST BE EGRESS QUALIFIED.
18. ALL WINDOWS MUST BE EGRESS QUALIFIED.
19. ALL WINDOWS MUST BE EGRESS QUALIFIED.
20. ALL WINDOWS MUST BE EGRESS QUALIFIED.

EXTERIOR ELEVATION KEYNOTES

1. ALL WINDOWS MUST BE EGRESS QUALIFIED.
2. ALL WINDOWS MUST BE EGRESS QUALIFIED.
3. ALL WINDOWS MUST BE EGRESS QUALIFIED.
4. ALL WINDOWS MUST BE EGRESS QUALIFIED.
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14. ALL WINDOWS MUST BE EGRESS QUALIFIED.
15. ALL WINDOWS MUST BE EGRESS QUALIFIED.
16. ALL WINDOWS MUST BE EGRESS QUALIFIED.
17. ALL WINDOWS MUST BE EGRESS QUALIFIED.
18. ALL WINDOWS MUST BE EGRESS QUALIFIED.
19. ALL WINDOWS MUST BE EGRESS QUALIFIED.
20. ALL WINDOWS MUST BE EGRESS QUALIFIED.

HATCH LEGEND

[White Box]	Concrete
[Green Box]	Grass
[Brown Box]	Soil
[Blue Box]	Water
[Dark Blue Box]	Asphalt
[Light Blue Box]	Gravel
[Red Box]	Brick
[Orange Box]	Wood Siding
[Dark Green Box]	Dark Green Siding
[Light Green Box]	Light Green Siding
[Dark Brown Box]	Dark Brown Siding
[Light Brown Box]	Light Brown Siding
[Dark Grey Box]	Dark Grey Siding
[Light Grey Box]	Light Grey Siding
[White Box]	White Siding

WINDOW NOTES:

1. All windows shall be installed in accordance with the manufacturer's instructions.
2. All windows shall be installed in accordance with the manufacturer's instructions.
3. All windows shall be installed in accordance with the manufacturer's instructions.
4. All windows shall be installed in accordance with the manufacturer's instructions.
5. All windows shall be installed in accordance with the manufacturer's instructions.
6. All windows shall be installed in accordance with the manufacturer's instructions.
7. All windows shall be installed in accordance with the manufacturer's instructions.
8. All windows shall be installed in accordance with the manufacturer's instructions.
9. All windows shall be installed in accordance with the manufacturer's instructions.
10. All windows shall be installed in accordance with the manufacturer's instructions.

EXTERIOR ELEVATION KEYNOTES

1. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
2. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
3. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
4. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
5. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
6. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
7. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
8. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
9. All exterior elevations shall be installed in accordance with the manufacturer's instructions.
10. All exterior elevations shall be installed in accordance with the manufacturer's instructions.

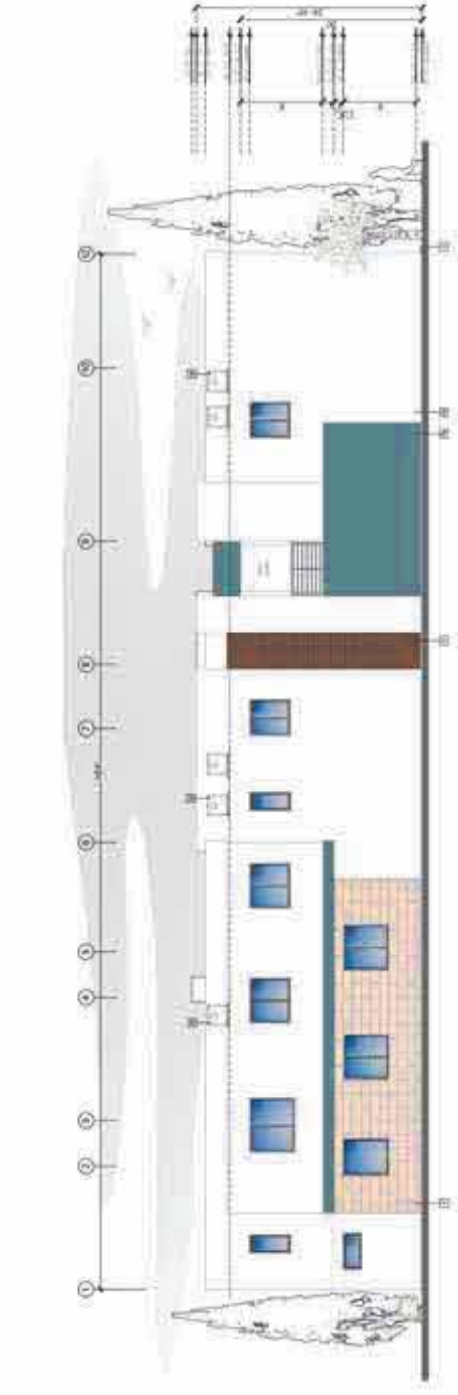
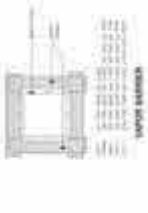
EMERGENCY ESCAPE NOTE:



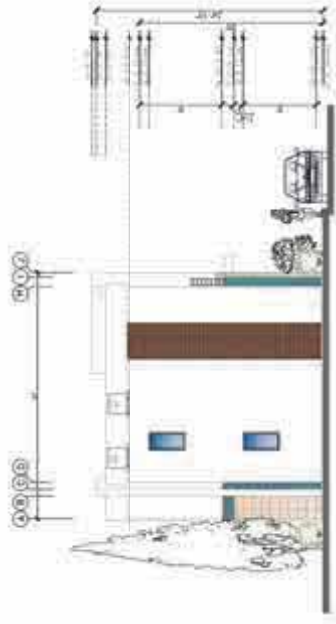
EGRESS WINDOW WALL SEC.



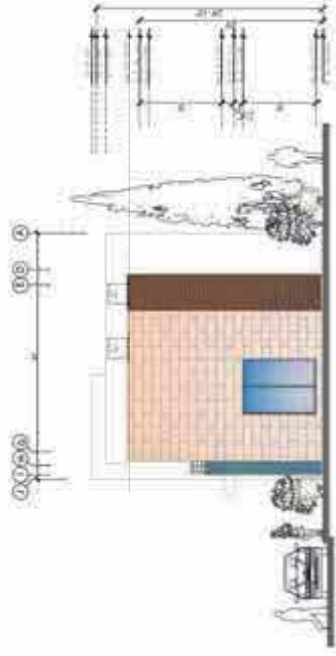
SAFETY GLAZING NOTE:



REAR (NORTH) ELEVATION
3/16" = 1'-0"



LEFT (SOUTH) ELEVATION
3/16" = 1'-0"

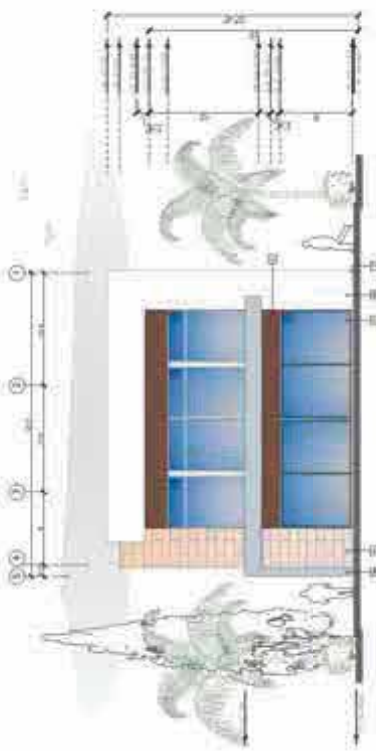


RIGHT (EAST) ELEVATION
3/16" = 1'-0"



TYPE 8. MANAGER UNITS & LEASING OFFICE
BUILDING "P"

<p>OWNER: A & L CAPITAL</p>	<p>PROJECT: MIKASA LUXURY VILLAS</p>		<p>J & J ENGINEERING, INC. ARCHITECTURAL & ENGINEERING</p>		<p>CENTURY HERMAN BUILDERS, INC. GENERAL CONTRACTOR</p>		<p>CHB ARCHITECT</p>	<p>ADVICE CONTRACT DOCUMENTS</p>	<p>DATE: 11/15/2023</p>
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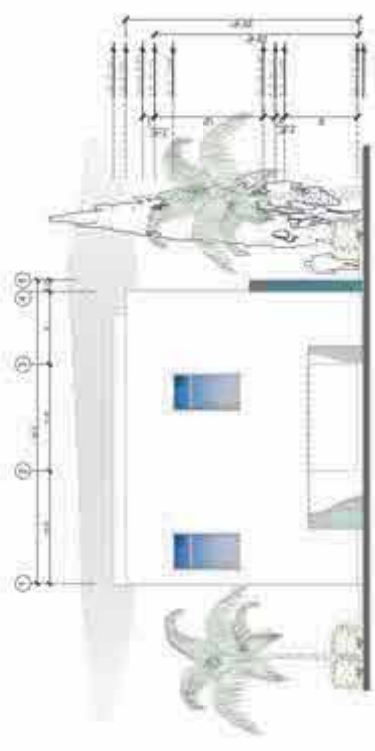
FRONT (NORTH) ELEVATION
 3/16" = 1'-0"



RIGHT (WEST) ELEVATION
 3/16" = 1'-0"



LEFT (EAST) ELEVATION
 3/16" = 1'-0"



REAR (SOUTH) ELEVATION
 3/16" = 1'-0"



TYPE 9. COMMUNITY HALL & GYM
 BUILDING 'Q'

EMERGENCY ESCAPE NOTES



EXTERIOR ELEVATION KEYNOTES

1. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
2. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
3. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
4. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
5. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
6. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
7. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
8. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
9. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.
10. All exterior elevations shall be finished with the materials and colors indicated on the exterior elevation keynotes.

MATCH LEGEND

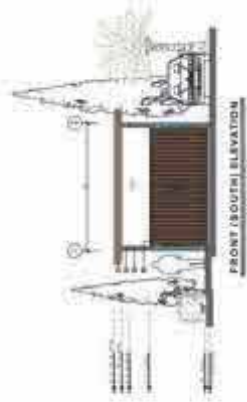


- SAFETY GLAZING NOTE
1. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
 2. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
 3. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
 4. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
 5. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
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 8. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
 9. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
 10. All windows and doors shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.

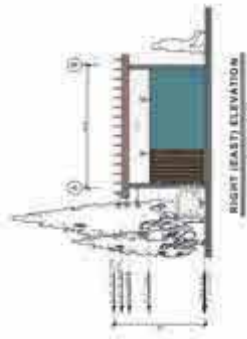
WINDOW NOTES

1. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
2. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
3. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
4. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
5. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
6. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
7. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
8. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
9. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.
10. All windows shall be safety glazed in accordance with the International Building Code (IBC) and applicable local codes.

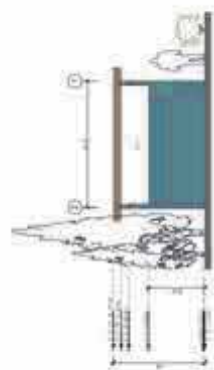
**TRASH ENCLOSURE TYPE TE-2
(TYPICAL FOR TE-2R)**



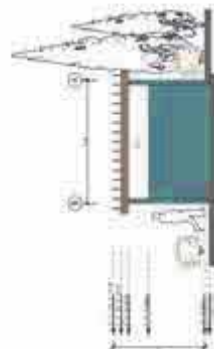
FRONT (SOUTH) ELEVATION
311' x 11' 0"



RIGHT (EAST) ELEVATION
311' x 11' 0"



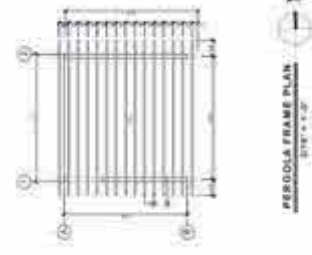
REAR (NORTH) ELEVATION
311' x 11' 0"



LEFT (WEST) ELEVATION
311' x 11' 0"



FLOOR PLAN
311' x 11' 0"



PERGOLA FRAME PLAN
311' x 11' 0"

- FLOOR PLANS KEYNOTES**
1. SEE ARCHITECT'S NOTES FOR MATERIALS AND FINISHES.
 2. SEE ARCHITECT'S NOTES FOR CONSTRUCTION DETAILS.
 3. SEE ARCHITECT'S NOTES FOR ELECTRICAL AND MECHANICAL REQUIREMENTS.
 4. SEE ARCHITECT'S NOTES FOR LANDSCAPING AND PLANTING.
 5. SEE ARCHITECT'S NOTES FOR SIGNAGE AND MARKINGS.

- EXTERIOR ELEVATION KEYNOTES**
1. SEE ARCHITECT'S NOTES FOR MATERIALS AND FINISHES.
 2. SEE ARCHITECT'S NOTES FOR CONSTRUCTION DETAILS.
 3. SEE ARCHITECT'S NOTES FOR ELECTRICAL AND MECHANICAL REQUIREMENTS.
 4. SEE ARCHITECT'S NOTES FOR LANDSCAPING AND PLANTING.
 5. SEE ARCHITECT'S NOTES FOR SIGNAGE AND MARKINGS.

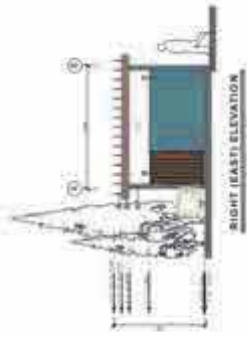
HATCH LEGEND

[Blue Hatch]	As Shown
[Red Hatch]	As Shown
[Green Hatch]	As Shown
[Yellow Hatch]	As Shown
[White Hatch]	As Shown

**TRASH ENCLOSURE TYPE TE-1
(TYPICAL FOR TYPE TE-1R)**



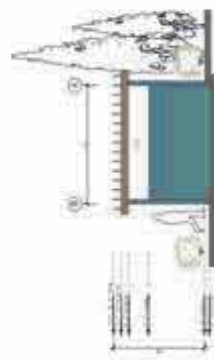
FRONT (SOUTH) ELEVATION
311' x 11' 0"



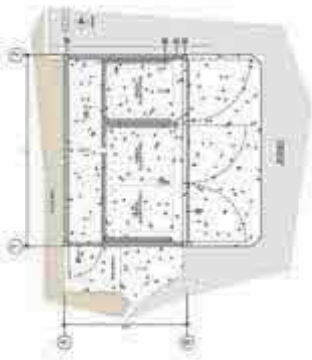
RIGHT (EAST) ELEVATION
311' x 11' 0"



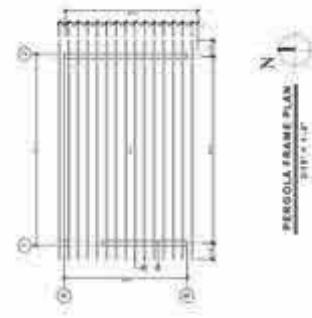
REAR (NORTH) ELEVATION
311' x 11' 0"



LEFT (WEST) ELEVATION
311' x 11' 0"



FLOOR PLAN
311' x 11' 0"



PERGOLA FRAME PLAN
311' x 11' 0"



**TRASH ENCLOSURE
TYPES TE-1 & TE-2**

	<p>OWNER A & L CAPITAL 11111 11111 11111</p>				<p>ARCHITECT CENTURY HERBOTS BUILDERS, INC. 11111 11111 11111</p>		<p>NOTICE CONTRACT NO. 11111-11111-11111</p>	<p>DATE: 11/11/11</p>
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Front, West Side View (4663 Hedrick Ave.)



North to South View



Front, East Side View (4618 Jones Ave.)



South to North View

**VILLA MIKASA
PRELIMINARY LIGHTING SITE PLAN**

NO.	DESCRIPTION	DATE	BY	CHECKED
1	PRELIMINARY LIGHTING SITE PLAN	11/15/2017	J. B. BROWN	J. B. BROWN
2	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
3	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
4	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
5	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
6	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
7	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
8	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
9	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN
10	REVISION	11/15/2017	J. B. BROWN	J. B. BROWN



PROJECT: VILLA MIKASA LUXURY VILLAS
OWNER: A & L CAPITAL
1000 W. MAIN ST. SUITE 200
 CHARLOTTE, NC 28202



J. B. BROWN
 REGISTERED PROFESSIONAL ENGINEER
 NO. 35427
 STATE OF NORTH CAROLINA
 EXPIRES 12/31/2018



CENTURY HERITAGE ENGINEERS, INC.
 1000 W. MAIN ST. SUITE 200
 CHARLOTTE, NC 28202
 TEL: 704.333.3344
 FAX: 704.333.3344
 WWW: CHENG-INC.COM

NOTICE:
 THIS PLAN IS THE PROPERTY OF CENTURY HERITAGE ENGINEERS, INC. AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF CENTURY HERITAGE ENGINEERS, INC.

DATE: 11/15/2017
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 PROJECT: VILLA MIKASA LUXURY VILLAS
 SHEET: 2-1

VILLA MIKASA
PRELIMINARY PHOTOMETRIC PLAN



NO.	DESCRIPTION	DATE	BY	CHKD BY
1	PRELIMINARY PHOTOMETRIC PLAN	10/15/2014	J. L. GIBSON	J. L. GIBSON
2	REVISED PHOTOMETRIC PLAN	11/10/2014	J. L. GIBSON	J. L. GIBSON
3	REVISED PHOTOMETRIC PLAN	12/15/2014	J. L. GIBSON	J. L. GIBSON
4	REVISED PHOTOMETRIC PLAN	01/15/2015	J. L. GIBSON	J. L. GIBSON
5	REVISED PHOTOMETRIC PLAN	02/15/2015	J. L. GIBSON	J. L. GIBSON
6	REVISED PHOTOMETRIC PLAN	03/15/2015	J. L. GIBSON	J. L. GIBSON
7	REVISED PHOTOMETRIC PLAN	04/15/2015	J. L. GIBSON	J. L. GIBSON
8	REVISED PHOTOMETRIC PLAN	05/15/2015	J. L. GIBSON	J. L. GIBSON
9	REVISED PHOTOMETRIC PLAN	06/15/2015	J. L. GIBSON	J. L. GIBSON
10	REVISED PHOTOMETRIC PLAN	07/15/2015	J. L. GIBSON	J. L. GIBSON
11	REVISED PHOTOMETRIC PLAN	08/15/2015	J. L. GIBSON	J. L. GIBSON
12	REVISED PHOTOMETRIC PLAN	09/15/2015	J. L. GIBSON	J. L. GIBSON
13	REVISED PHOTOMETRIC PLAN	10/15/2015	J. L. GIBSON	J. L. GIBSON
14	REVISED PHOTOMETRIC PLAN	11/15/2015	J. L. GIBSON	J. L. GIBSON
15	REVISED PHOTOMETRIC PLAN	12/15/2015	J. L. GIBSON	J. L. GIBSON
16	REVISED PHOTOMETRIC PLAN	01/15/2016	J. L. GIBSON	J. L. GIBSON
17	REVISED PHOTOMETRIC PLAN	02/15/2016	J. L. GIBSON	J. L. GIBSON
18	REVISED PHOTOMETRIC PLAN	03/15/2016	J. L. GIBSON	J. L. GIBSON
19	REVISED PHOTOMETRIC PLAN	04/15/2016	J. L. GIBSON	J. L. GIBSON
20	REVISED PHOTOMETRIC PLAN	05/15/2016	J. L. GIBSON	J. L. GIBSON
21	REVISED PHOTOMETRIC PLAN	06/15/2016	J. L. GIBSON	J. L. GIBSON
22	REVISED PHOTOMETRIC PLAN	07/15/2016	J. L. GIBSON	J. L. GIBSON
23	REVISED PHOTOMETRIC PLAN	08/15/2016	J. L. GIBSON	J. L. GIBSON
24	REVISED PHOTOMETRIC PLAN	09/15/2016	J. L. GIBSON	J. L. GIBSON
25	REVISED PHOTOMETRIC PLAN	10/15/2016	J. L. GIBSON	J. L. GIBSON
26	REVISED PHOTOMETRIC PLAN	11/15/2016	J. L. GIBSON	J. L. GIBSON
27	REVISED PHOTOMETRIC PLAN	12/15/2016	J. L. GIBSON	J. L. GIBSON
28	REVISED PHOTOMETRIC PLAN	01/15/2017	J. L. GIBSON	J. L. GIBSON
29	REVISED PHOTOMETRIC PLAN	02/15/2017	J. L. GIBSON	J. L. GIBSON
30	REVISED PHOTOMETRIC PLAN	03/15/2017	J. L. GIBSON	J. L. GIBSON
31	REVISED PHOTOMETRIC PLAN	04/15/2017	J. L. GIBSON	J. L. GIBSON
32	REVISED PHOTOMETRIC PLAN	05/15/2017	J. L. GIBSON	J. L. GIBSON
33	REVISED PHOTOMETRIC PLAN	06/15/2017	J. L. GIBSON	J. L. GIBSON
34	REVISED PHOTOMETRIC PLAN	07/15/2017	J. L. GIBSON	J. L. GIBSON
35	REVISED PHOTOMETRIC PLAN	08/15/2017	J. L. GIBSON	J. L. GIBSON
36	REVISED PHOTOMETRIC PLAN	09/15/2017	J. L. GIBSON	J. L. GIBSON
37	REVISED PHOTOMETRIC PLAN	10/15/2017	J. L. GIBSON	J. L. GIBSON
38	REVISED PHOTOMETRIC PLAN	11/15/2017	J. L. GIBSON	J. L. GIBSON
39	REVISED PHOTOMETRIC PLAN	12/15/2017	J. L. GIBSON	J. L. GIBSON
40	REVISED PHOTOMETRIC PLAN	01/15/2018	J. L. GIBSON	J. L. GIBSON
41	REVISED PHOTOMETRIC PLAN	02/15/2018	J. L. GIBSON	J. L. GIBSON
42	REVISED PHOTOMETRIC PLAN	03/15/2018	J. L. GIBSON	J. L. GIBSON
43	REVISED PHOTOMETRIC PLAN	04/15/2018	J. L. GIBSON	J. L. GIBSON
44	REVISED PHOTOMETRIC PLAN	05/15/2018	J. L. GIBSON	J. L. GIBSON
45	REVISED PHOTOMETRIC PLAN	06/15/2018	J. L. GIBSON	J. L. GIBSON
46	REVISED PHOTOMETRIC PLAN	07/15/2018	J. L. GIBSON	J. L. GIBSON
47	REVISED PHOTOMETRIC PLAN	08/15/2018	J. L. GIBSON	J. L. GIBSON
48	REVISED PHOTOMETRIC PLAN	09/15/2018	J. L. GIBSON	J. L. GIBSON
49	REVISED PHOTOMETRIC PLAN	10/15/2018	J. L. GIBSON	J. L. GIBSON
50	REVISED PHOTOMETRIC PLAN	11/15/2018	J. L. GIBSON	J. L. GIBSON
51	REVISED PHOTOMETRIC PLAN	12/15/2018	J. L. GIBSON	J. L. GIBSON
52	REVISED PHOTOMETRIC PLAN	01/15/2019	J. L. GIBSON	J. L. GIBSON
53	REVISED PHOTOMETRIC PLAN	02/15/2019	J. L. GIBSON	J. L. GIBSON
54	REVISED PHOTOMETRIC PLAN	03/15/2019	J. L. GIBSON	J. L. GIBSON
55	REVISED PHOTOMETRIC PLAN	04/15/2019	J. L. GIBSON	J. L. GIBSON
56	REVISED PHOTOMETRIC PLAN	05/15/2019	J. L. GIBSON	J. L. GIBSON
57	REVISED PHOTOMETRIC PLAN	06/15/2019	J. L. GIBSON	J. L. GIBSON
58	REVISED PHOTOMETRIC PLAN	07/15/2019	J. L. GIBSON	J. L. GIBSON
59	REVISED PHOTOMETRIC PLAN	08/15/2019	J. L. GIBSON	J. L. GIBSON
60	REVISED PHOTOMETRIC PLAN	09/15/2019	J. L. GIBSON	J. L. GIBSON
61	REVISED PHOTOMETRIC PLAN	10/15/2019	J. L. GIBSON	J. L. GIBSON
62	REVISED PHOTOMETRIC PLAN	11/15/2019	J. L. GIBSON	J. L. GIBSON
63	REVISED PHOTOMETRIC PLAN	12/15/2019	J. L. GIBSON	J. L. GIBSON
64	REVISED PHOTOMETRIC PLAN	01/15/2020	J. L. GIBSON	J. L. GIBSON
65	REVISED PHOTOMETRIC PLAN	02/15/2020	J. L. GIBSON	J. L. GIBSON
66	REVISED PHOTOMETRIC PLAN	03/15/2020	J. L. GIBSON	J. L. GIBSON
67	REVISED PHOTOMETRIC PLAN	04/15/2020	J. L. GIBSON	J. L. GIBSON
68	REVISED PHOTOMETRIC PLAN	05/15/2020	J. L. GIBSON	J. L. GIBSON
69	REVISED PHOTOMETRIC PLAN	06/15/2020	J. L. GIBSON	J. L. GIBSON
70	REVISED PHOTOMETRIC PLAN	07/15/2020	J. L. GIBSON	J. L. GIBSON
71	REVISED PHOTOMETRIC PLAN	08/15/2020	J. L. GIBSON	J. L. GIBSON
72	REVISED PHOTOMETRIC PLAN	09/15/2020	J. L. GIBSON	J. L. GIBSON
73	REVISED PHOTOMETRIC PLAN	10/15/2020	J. L. GIBSON	J. L. GIBSON
74	REVISED PHOTOMETRIC PLAN	11/15/2020	J. L. GIBSON	J. L. GIBSON
75	REVISED PHOTOMETRIC PLAN	12/15/2020	J. L. GIBSON	J. L. GIBSON
76	REVISED PHOTOMETRIC PLAN	01/15/2021	J. L. GIBSON	J. L. GIBSON
77	REVISED PHOTOMETRIC PLAN	02/15/2021	J. L. GIBSON	J. L. GIBSON
78	REVISED PHOTOMETRIC PLAN	03/15/2021	J. L. GIBSON	J. L. GIBSON
79	REVISED PHOTOMETRIC PLAN	04/15/2021	J. L. GIBSON	J. L. GIBSON
80	REVISED PHOTOMETRIC PLAN	05/15/2021	J. L. GIBSON	J. L. GIBSON
81	REVISED PHOTOMETRIC PLAN	06/15/2021	J. L. GIBSON	J. L. GIBSON
82	REVISED PHOTOMETRIC PLAN	07/15/2021	J. L. GIBSON	J. L. GIBSON
83	REVISED PHOTOMETRIC PLAN	08/15/2021	J. L. GIBSON	J. L. GIBSON
84	REVISED PHOTOMETRIC PLAN	09/15/2021	J. L. GIBSON	J. L. GIBSON
85	REVISED PHOTOMETRIC PLAN	10/15/2021	J. L. GIBSON	J. L. GIBSON
86	REVISED PHOTOMETRIC PLAN	11/15/2021	J. L. GIBSON	J. L. GIBSON
87	REVISED PHOTOMETRIC PLAN	12/15/2021	J. L. GIBSON	J. L. GIBSON
88	REVISED PHOTOMETRIC PLAN	01/15/2022	J. L. GIBSON	J. L. GIBSON
89	REVISED PHOTOMETRIC PLAN	02/15/2022	J. L. GIBSON	J. L. GIBSON
90	REVISED PHOTOMETRIC PLAN	03/15/2022	J. L. GIBSON	J. L. GIBSON
91	REVISED PHOTOMETRIC PLAN	04/15/2022	J. L. GIBSON	J. L. GIBSON
92	REVISED PHOTOMETRIC PLAN	05/15/2022	J. L. GIBSON	J. L. GIBSON
93	REVISED PHOTOMETRIC PLAN	06/15/2022	J. L. GIBSON	J. L. GIBSON
94	REVISED PHOTOMETRIC PLAN	07/15/2022	J. L. GIBSON	J. L. GIBSON
95	REVISED PHOTOMETRIC PLAN	08/15/2022	J. L. GIBSON	J. L. GIBSON
96	REVISED PHOTOMETRIC PLAN	09/15/2022	J. L. GIBSON	J. L. GIBSON
97	REVISED PHOTOMETRIC PLAN	10/15/2022	J. L. GIBSON	J. L. GIBSON
98	REVISED PHOTOMETRIC PLAN	11/15/2022	J. L. GIBSON	J. L. GIBSON
99	REVISED PHOTOMETRIC PLAN	12/15/2022	J. L. GIBSON	J. L. GIBSON
100	REVISED PHOTOMETRIC PLAN	01/15/2023	J. L. GIBSON	J. L. GIBSON