



1           b. In the absence of a rear alley, the rear setback for accessory buildings, the setback shall be  
2 a minimum of ten feet.

3           4. Exceptions.

4           a. Outdoor eating areas - Where an outdoor eating area is installed, a portion of the building  
5 may be set back up to 12 feet from the frontage line, if at least 80 percent of the building facade is at  
6 the frontage line.

7           B. Façade width.

8           a. In the EE and HE Sub-Districts, the minimum façade width shall be 80 percent of the lot  
9 width.

10           b. In the IE and ET Sub-Districts, the minimum façade width shall be 60 percent of the lot  
11 width.

12           C. Building heights.

13           1. Heights do not apply to attics, parapets, belfries, clock towers, chimney flutes, water tanks,  
14 elevator bulkheads or tower.

15           2. Residential building floor to finished ceiling height must be a minimum of ten feet in HE,  
16 EE, and ET Sub-Districts, except for ground or first floor live-work uses which do not have a  
17 minimum.

18           3. For development projects in all Sub-Districts that adjoin the ET Sub-District, the maximum  
19 building height shall be 65 feet within 20 feet of the ET Sub-district.

20           D. Façade glazing and openings.

21           1. The ground floor façade of primary buildings with commercial and/or office uses shall be a  
22 minimum of 70 percent glazed area.

23           2. Ground floor openings shall have transparent glazing and provide views into work areas,  
24 display areas, sales areas, lobbies, or similar active spaces, or into window displays that are three feet  
25 deep or more.

26           3. In the EE, HE and ET Sub-Districts, a continuous plane of any building façade shall not  
27 exceed 20 feet without an opening.

28           4. Exceptions to glazing.

1 a. In the IE Sub-District, multi-level parking facilities, where permitted, are not required to  
2 meet the ground-floor transparency requirement (refer to development standard, C1 above).

3 b. If buildings are in rear layer, and not visible from the adjacent public street, the building  
4 ground-floor transparency requirement shall not be required (refer to development standard, C1  
5 above).

6 E. Windows and entryways.

7 1. All new buildings shall have windows on all perimeter walls oriented towards streets and  
8 courtyards.

9 2. All new buildings shall have clearly identifiable entry doorways on Front façades.

10 F. Loading areas.

11 1. Truck docks, loading, storage yards, and service areas are permitted within the rear layer on  
12 rear alley and lanes.

13 2. Loading, storage yards, and service areas shall be located on the side or rear of buildings  
14 and shall not face a street.

15 G. Open space.

16 1. Common ground floor open space.

17 a. Common ground floor open space is to be used for enhanced landscaping and passive/active  
18 gathering areas. Common ground floor open space does not include land occupied by streets,  
19 driveways, parking areas, service areas, required landscape areas or required front and street side  
20 yards.

21 b. Common ground floor open space may be provided in lieu of providing individual open  
22 space for each unit within the first four floors above the ground floor.

23 c. In the IE, EE and HE Sub-Districts, common ground floor open space, including, but not  
24 limited to terraces, courtyards, plazas, and patios, is required and must be directly accessible from  
25 within the primary building.

26 d. In the IE Sub-district, common ground floor open space adjacent to the public right-of-way  
27 shall be screened with decorative wall compliant with the development standards below (Section L.3).

28 e. Minimum Dimensions

1 i. Common ground floor open space shall be provided at a rate of 70 square feet per  
2 1,000 square feet of building area or a minimum of 7,000 square feet, whichever is  
3 less.

4 . ii. Each common ground floor open space area shall have a minimum dimension of 20 feet  
5 in width.

6 2. Common upper floor open space—Mixed-use buildings.

7 a. In the EE and HE Sub-Districts, common upper floor open space, including, but not limited  
8 to, balconies, decks, terraces, common open space, and rooftops, is required for every five floors above  
9 the first four floors and the on the rooftop.

10 ...

11 H. Outdoor retail sales and merchandise display.

12 1. All outdoor retail sales and merchandise displays shall be directly accessible to the primary  
13  
14 business.

15 ...

16 5. The temporary use of a parking or undeveloped area for outdoor retail sales, merchandise  
17 displays, and entertainment is permitted with a temporary use permit as defined in the Zoning Code.

18 I. Outdoor storage.

19 For nonresidential uses, storage shall be located in the rear layer of the lot and not visible from  
20 streets.

21 2. Storage shall be located behind the rear most wall of the building, or 50 feet, whichever is  
22 less.

23 3. In the EE, HE and ET Sub-Districts, storage shall be a maximum ten percent of the gross  
24 floor area of the use or 600 square feet, whichever is less.

25 4. In the IE Sub-District, storage shall be a maximum 10 percent of the lot area.

26 J. Parking.

27 1. Screening.

28 a. For lots without a primary building, parking shall be fully screened using landscaping,  
opaque walls, or other rigid materials to screen any parking spaces located in the front layer.

- 1           b. Screening shall be a minimum 36-inches in height.
- 2           c. Screening shall be setback a minimum of two-feet from the property line.
- 3           2. Off-street parking shall be set back a minimum of 25 feet from the property line.
- 4           a.       Parking may be setback a minimum of 10 feet from the street adjacent property lines,
- 5 if a decorative wall compliant with the development standards below (Section L.3) is provided to
- 6 screen the parking.

7

8           K. Pedestrian network connectivity.

- 9           1. An internal network of pedestrian walkways shall connect: 1) all buildings on a site; 2) on-
- 10 site automobile and bicycle parking areas; 3) sidewalks; and 4) any on-site common open space or
- 11 amenity.

12       ...

- 13           4. Where a walkway is parallel and immediately adjacent to an drive aisle, clearly identifiable
- 14 markings shall be required to separate the walkway from the auto travel lane using a raised curb,
- 15 bollards, or other physical barriers.

16           L.       Edge conditions.

- 17           1. Building pads sited along Massachusetts Avenue, between Kansas and Chicago Avenues,
- 18 shall be equal to the grade of the public right-of-way.

- 19           2. All developments shall provide parkway adjacent sidewalks along Massachusetts Avenue.

- 20           3.       Fences and walls facing public rights-of-way require a minimum setback of 5-feet from
- 21 the property line.

- 22           a. Fences and walls are not permitted to be located between the building and the public
- 23 right-of-way.

- 24           b. Height of fences and walls facing public rights-of-way may be a maximum of 6-feet
- 25 in height. Provided that the bottom 2/3s of the wall is solid, and the upper 1/3 of the wall is
- 26 openwork.

- 27           c. Fences and walls facing public rights-of-way shall be constructed of a minimum of
- 28 two decorative materials.

1           4.       Site Plan shall be designed to prevent the queuing of trucks on streets or elsewhere  
2 outside of facility.

3 M.       Temporary mixed-use areas.

4           1.       A temporary use may be allowed on vacant lots in EE and/or HE Sub-Districts to  
5 activate the site if it meets the Sub-District's general intent.”

6 //

7 //

8           Section 5:     The City hereby finds that this ordinance is not subject to review under the  
9 California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines sections 15060,  
10 subdivision (c)(2) (the activity will not result in a direct or reasonably foreseeable indirect physical  
11 change in the environment) and 15061, subdivision (b)(3) (there is no possibility the activity in  
12 question may have a significant effect on the environment). In addition to the foregoing general  
13 exemptions, the City Council further finds that this ordinance is categorically exempt from review  
14 under CEQA under the Class 8 Categorical Exemption (regulatory activity to assure the protection of  
15 the environment), CEQA Guidelines section 15308.

16           Section 6:     The City Clerk shall certify to the adoption of this ordinance and cause  
17 publication once in a newspaper of general circulation in accordance with Section 414 of the Charter  
18 of the City of Riverside. This ordinance shall become effective on the 30th day after the date of its  
19 adoption.

20           ADOPTED by the City Council this \_\_\_\_ day of \_\_\_\_\_, 2026.

21  
22           \_\_\_\_\_  
23           PATRICIA LOCK DAWSON  
24           Mayor of the City of Riverside

25           Attest:

26           \_\_\_\_\_  
27           DONESIA GAUSE  
28           City Clerk of the City of Riverside

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I, Donesia Gause, City Clerk of the City of Riverside, California, hereby certify that the foregoing ordinance was duly and regularly introduced at a meeting of the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2026, and that thereafter the said ordinance was duly and regularly adopted at a meeting of the City Council on the \_\_\_\_\_ day of \_\_\_\_\_, 2026, by the following vote, to wit:

Ayes:

Noes:

Absent:

Abstain:

IN WITNESS WHEREOF, I have hereunto set my hand and affixed the official seal of the City of Riverside, California, this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
DONESIA GAUSE  
City Clerk of the City of Riverside

**EXHIBIT “A”**

<b>Table 19.170.040 - Permitted Uses</b>					
This table identifies permitted uses and uses requiring approval of other permits by zoning designation.					
<b>District</b>	<b>IE</b>	<b>EE</b>	<b>HE</b>	<b>ET</b>	<b>CS</b>
<b>Civic Facilities</b>					
Community Center and Services	X	P	P	P	P
Emergency Shelters	MC	MC	MC	X	P
Outdoor Auditorium and Performances	X	MC	MC	X	P
Public Parking Areas and Structured Garages	P	P	MC	MC	P
Transit Mobility Services and Stations	P	P	P	P	P
<b>Commercial Functions</b>					
Alcohol Sales - On-Premises	P	P	P	MC	P
Assemblies of People - Entertainment (<500 people)	X	MC	MC	MC	MC
Assemblies of People - Non-Entertainment (<500 people)	X	MC	MC	MC	MC
Clean Energy Use	P	P	P	X	X
Day Care (child and senior)	MC	P	P	P	P
Education and Training Facilities	X	P	P	MC	MC
Home Occupations	X	P	P	P	X
Personal Services	P	P	P	P	X
Retail Sales	P	P	P	P	P
Restaurant (Full Service, Limit-Service, Small Shop, excluding drive-thru)	P	P	P	P	P
Shopkeeper Units (predominately work within a living space)	X	P	MC	P	
Vehicle Repair (indoor only)	P	MC	X	X	X
Veterinarian/Small Animal Clinic	P	P	P	MC	X
<b>Hospitality Functions</b>					
Convention Services	X	P	P	X	P
Hotel	X	P	P	X	X
<b>Industrial Functions</b>					
Clean Energy Use	P	P	P	X	X
Heavy-Industries	MC	MC	X	X	X
Light-Industries	P	P	MC	X	X
Outdoor Storage	P	MC	X	X	X
Research Laboratories (wet laboratories/OSHA regulated)	P	P	MC	MC	X
Transportation Facilities	P	MC	X	X	X
Warehousing and Distribution Facilities	P	X	X	X	X
<b>Office Functions</b>					
Administrative and Professional Facilities	P	P	P	MC	X
Medical Facilities	P	P	MC	MC	X
Research Laboratories (non-OSHA regulated)	P	P	MC	X	X
<b>Residential Types</b>					
Attached Multiple-Family Dwelling	X	P	P	P	X
Detached Single and Multiple Family Dwelling	X	X	X	P	X

Live/Work Units (predominately living within a workspace)	X	MC	P	MC	X
Single-Room Occupancy Unit (Co-Living)	X	P	P	MC	X
<p>C = Subject to the granting of a conditional use permit (CUP), Chapter 19.760  SP = Site Plan Review Permit, Chapter 19.770  MC = Subject to the granting of Minor Conditional Use Permit (MCUP), Chapter 19.730  sq. ft. = Square Feet  P = Permitted</p>					

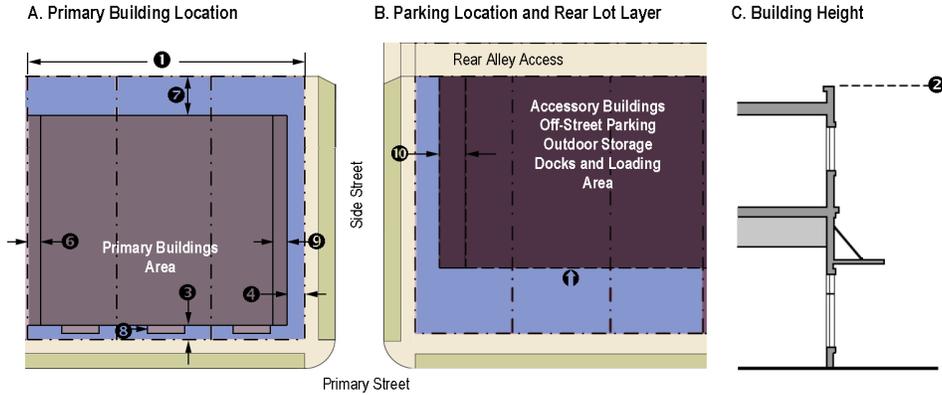
**EXHIBIT “B”**

<b>Table 19.170.060 - Building Intensity and Location</b>				
This table coordinates specific Building Functions, Intensities, and Location within each Zoning Sub-District.				
<b>Sub-District Function</b>	<b>IE</b>	<b>EE</b>	<b>HE</b>	<b>ET</b>
Civic	Civic space edges shall be completely or predominately bounded by buildings mid-block or at street corners.	Civic spaces may be hybrids and directly with public streetscape elements located mid-block and/or at corners.	Civic space edges shall be completely or partially bounded by buildings and/or located mid-block and street corners.	Civic space edges may be partially bounded by buildings and shall be directly accessible to 3rd Street walkways.
Commercial	1st floor of the primary building on corner lots may be commercial.	Up to 60% of the primary and accessory buildings may be commercial.	Up to 40% of the primary and/or accessory buildings may be commercial.	On corner lots up to 20% of the primary buildings 1st floor shall be commercial.
Hospitality	Not allowed.	Up to 60% of the primary and/or accessory buildings may be hospitality uses.	Up to 80% of the primary buildings may be hotel uses.	Not allowed.
Industrial	Primary and accessory buildings may be industrial.	Up to 60% of the primary buildings may be light industrial and/or clean and green industry. Only 1st floors of accessory buildings may be light industrial and/or clean and green industries.	Only 1st floors of accessory buildings may be light industrial and/or clean and green industries.	Not allowed.
Office	Up to 40% of the primary and accessory buildings may be office.	Up to 100% of the primary buildings may be office.	Up to 40% of the area of the primary and accessory buildings may be office. Only floors 1-2 in the accessory buildings may be office	Floors 1 - 2 of the primary buildings may be office. Up to 100% of accessory buildings may be office.
Residential	Not allowed.	Up to 40% of the primary and/or accessory buildings shall be residential.	Up to 100% of the primary buildings may be residential. Units are allowed to	Up to 100% of the primary and accessory buildings may be residential,

		Units are allowed to average >400 square feet.	average >600 square feet	except corner lots. Units are allowed to average >800 square feet
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## EXHIBIT "C"

**Table 19.170.070 IE - Industrial Emphasis (IE) Sub-District Development Standards**



IE Development Standards		Minimum	Maximum	#
<b>Lot and Density</b>				
Lot Width (ft.)		25	-	①
Floor Area Ratio (FAR)	Sites under 5 acres	1.0	2.0	
	Sites over 5 acres	0.40	N/A	
Residential Density (Lots - Dwelling Units per Acre)		N/A	N/A	
<b>Building Form and Location</b>				
Building Height - Primary Building		N/A	75-feet	②
Building Height - Accessory Building (Floors)		-	3 floors	
<b>Build-to Lines and Setbacks (ft.)</b>				
Front (Principal Building) <sup>1</sup>	Kansas, Massachusetts, and Chicago Avenues	5	10 <sup>2</sup>	③
	All Other Frontages	Same as I – General Industrial Zone	N/A	
Interior Side		5	-	⑥
Rear		10	-	⑦
Architectural Feature Projection Encroachment		-	5 feet	⑧
Rear Lot Layer Setback from Primary Frontage Line		25	-	↑
<b>Parking</b>				
Off-Street Parking		1 space per 500 sq ft or per Zoning Code, whichever is less	5 spaces per 1000 sq ft	
<p>"#" in the table corresponds with the numbers on the graphic</p> <p><sup>1</sup> Common ground floor open space may encroach into the setback area</p> <p><sup>2</sup> Eighty percent or more of the building façade shall comply.</p>				