

# TENTATIVE TRACT MAP 39385

## RIVERSIDE, CALIFORNIA

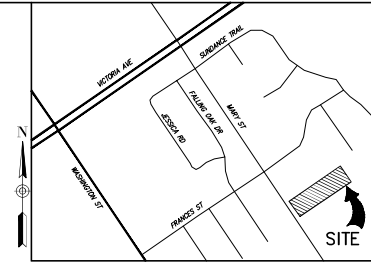
JUNE 2026

### ABBREVIATIONS

- R/W RIGHT OF WAY
- P/L PROPERTY LINE
- EXIST. EXISTING
- PROP. PROPOSED
- S.F. SQUARE FEET
- D/W DRIVEWAY
- S/W SIDEWALK
- M.H. MANHOLE
- FS FINISH SURFACE
- TO TOP OF CURB
- FL FLOW LINE
- FG FINISH GRADE
- TO TOP OF GRADE
- INV. INVERT
- S.D. STORM DRAIN
- T.B.R. TO BE REMOVED
- P.I.P. PROTECT IN PLACE
- P.P. POWER POLE
- F.H. FIRE HYDRANT
- L/S LANDSCAPE
- SB SET BACK
- S.T.L. STREET LIGHT

### LEGEND

- EXISTING PROPERTY LINE
- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE



**VICINITY MAP**  
SECTION 11, TOWNSHIP 3 SOUTH, RANGE 5 WEST  
NOT TO SCALE

<b>OWNER/APPLICANT</b> SOLUTION PROPERTY SERVICES 5108 ARLINGTON AVENUE SUITE 935 RIVERSIDE, CA 92504 PH: (714) 809-9957 CONTACT: BRENTON BURKE	<b>ENGINEER/APPLICANT</b> WOODARD GROUP 1485 SPRUCE STREET SUITE "M" RIVERSIDE, CA 92507 PH: (951) 907-5077 CONTACT: ANDREW C. WOODARD
--	---

### TOPOGRAPHY SOURCE

PERFORMED BY:  
WOODARD GROUP  
1485 SPRUCE STREET SUITE "M"  
RIVERSIDE, CA 92507  
PH: (951) 907-5077  
CONTACT: ANDREW C. WOODARD

DATE: DECEMBER 2024

### LEGAL DESCRIPTION

A PORTION OF PARCEL 2 AS SHOWN PER MAP RECORDED IN BOOK 30 AT PAGE 6 THEREOF; RECORDS OF RIVERSIDE COUNTY

### ASSESSOR PARCEL NO

BOOK	PAGE	PARCELS
235	170	068

### ACREAGE

APR. 255-170-008	1.98 ACRES
GROSS	1.98 ACRES
NET	1.98 ACRES
DISTURBED AREA	1.57 ACRES

### ZONING/LAND USE/GENERAL PLAN

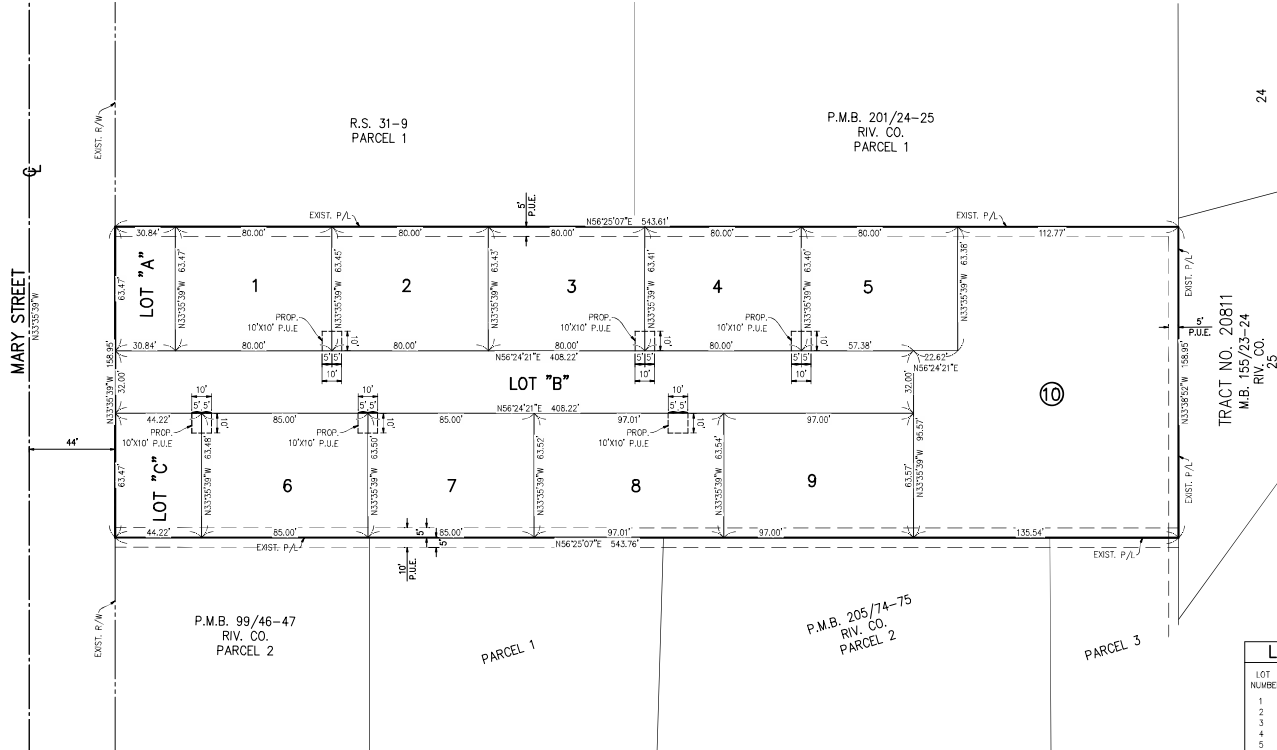
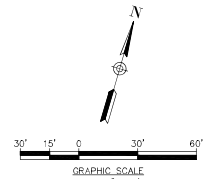
EXISTING ZONING:	R-1-13000-SINGLE FAMILY RESIDENTIAL
EXISTING LAND USE:	R-1-13000 SINGLE FAMILY RESIDENTIAL
EXISTING GENERAL PLAN:	R-1-13000 SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING:	SAME NO CHANGE
PROPOSED LAND USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED GENERAL PLAN AMENDMENT:	SAME NO CHANGE

### UTILITY PROVIDERS

WATER:	CITY OF RIVERSIDE
SEWER:	CITY OF RIVERSIDE
ELECTRICITY:	CITY OF RIVERSIDE
GAS:	THE GAS COMPANY
TELEPHONE:	VERIZON
TELEVISION:	AIR WAVES / CHARTER COMMUNICATIONS

### FEMA FLOOD ZONE DESIGNATION

ZONE X - BASE FLOOD ELEVATIONS DETERMINED.  
FLOOD INSURANCE RATE MAP  
RIVERSIDE COUNTY, CALIFORNIA AND INCORPORATED AREAS.  
MAP NUMBER 060500720G  
EFFECTIVE DATE  
AUGUST 26, 2008



### LOT SUMMARY

LOT NUMBER	LOT AREA (S.F.)	LOT WIDTH	LOT DEPTH
1	5,077	80'	93'
2	5,076	80'	63'
3	5,074	80'	63'
4	5,072	80'	63'
5	5,071	80'	63'
6	5,397	85'	64'
7	5,399	85'	64'
8	6,165	97'	64'
9	6,165	97'	64'
⑩	20,098	158'	135'
SUM	68,591		
AVERAGE	6,859	31'	64'
LOT "A"	1,958	31'	64'
LOT "B"	13,063	408'	32'
LOT "C"	2,807	44'	64'

# CONCEPTUAL GRADING PLAN

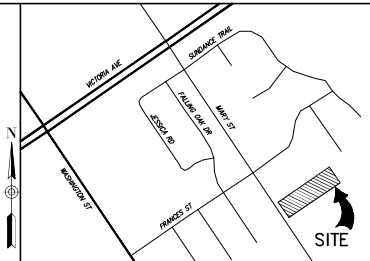
## TENTATIVE TRACT MAP 39385

### RIVERSIDE, CALIFORNIA

JUNE 2026

#### ABBREVIATIONS

- R/W RIGHT OF WAY
- P/L PROPERTY LINE
- EXST. EXISTING
- PROSP. PROPOSED
- S.F. SQUARE FEET
- D/W DRIVEWAY
- S/W SIDEWALK
- M.H. MANHOLE
- FS FINISH SURFACE
- TO TOP OF CURB
- FL FLOW LINE
- FL FINISH GRADE
- TO TOP OF GRADE
- INV. INVERT
- S.D. STORM DRAIN
- T.B.R. TO BE REMOVED
- P.I.P. POWER POLE
- F.H. FIRE HYDRANT
- L/S LANDSCAPE
- SB SET BACK
- S.T.L. STREET LIGHT



**VICINITY MAP**  
SECTION 11, TOWNSHIP 3 SOUTH, RANGE 5 WEST  
NOT TO SCALE

#### LEGEND

- EXISTING PROPERTY LINE
- EXISTING RIGHT OF WAY
- EXISTING CENTERLINE
- PROPOSED CURB
- EXISTING CURB
- PROPOSED SIDEWALK
- EXISTING SIDEWALK
- EXISTING DIRT ROAD
- PROPOSED PARKING STRIPE
- EXISTING CONTOUR
- EXISTING CONTOUR MINOR
- EXISTING FENCE
- EXISTING BUILDING
- EXISTING UNDERGROUND UTILITY
- PROPOSED UNDERGROUND UTILITY
- EXISTING EDGE OF PAVEMENT
- PROPOSED EDGE OF PAVEMENT
- EXISTING CONTOUR ELEVATION

#### OWNER/APPLICANT

SOLUTION PROPERTY SERVICES  
5198 ARLINGTON AVENUE SUITE 935  
RIVERSIDE, CA 92504  
PH: (714) 808-8957  
CONTACT: BRENTON BURKE

#### ENGINEER/APPLICANT

WOODARD GROUP  
1485 SPRUCE STREET SUITE "M"  
RIVERSIDE, CA 92507  
PH: (951) 907-5077  
CONTACT: ANDREW C. WOODARD

#### TOPOGRAPHY SOURCE

PERFORMED BY:  
WOODARD GROUP  
1485 SPRUCE STREET SUITE "M"  
RIVERSIDE, CA 92507  
PH: (951) 907-5077  
CONTACT: ANDREW C. WOODARD  
DATE: DECEMBER 2024

#### LEGAL DESCRIPTION

A PORTION OF PARCEL 2 AS SHOWN PER MAP RECORDED IN BOOK 30 AT PAGE 6 THEREOF; RECORDS OF RIVERSIDE COUNTY.

#### ASSESSOR PARCEL NO

BOOK	PAGE	PARCELS
235	170	008

#### ACREAGE

APN: 235-170-008	1.98 ACRES
GROSS	1.98 ACRES
NET	1.98 ACRES
DISTURBED AREA	1.57 ACRES

#### ZONING/LAND USE/GENERAL PLAN

EXISTING ZONING:	R-1-13000 SINGLE FAMILY RESIDENTIAL
EXISTING LAND USE:	R-1-13000 SINGLE FAMILY RESIDENTIAL
EXISTING GENERAL PLAN:	R-1-13000 SINGLE FAMILY RESIDENTIAL
PROPOSED ZONING:	SAME NO CHANGE
PROPOSED LAND USE:	SINGLE FAMILY RESIDENTIAL
PROPOSED GENERAL PLAN AMENDMENT:	SAME NO CHANGE

#### UTILITY PROVIDERS

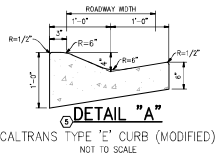
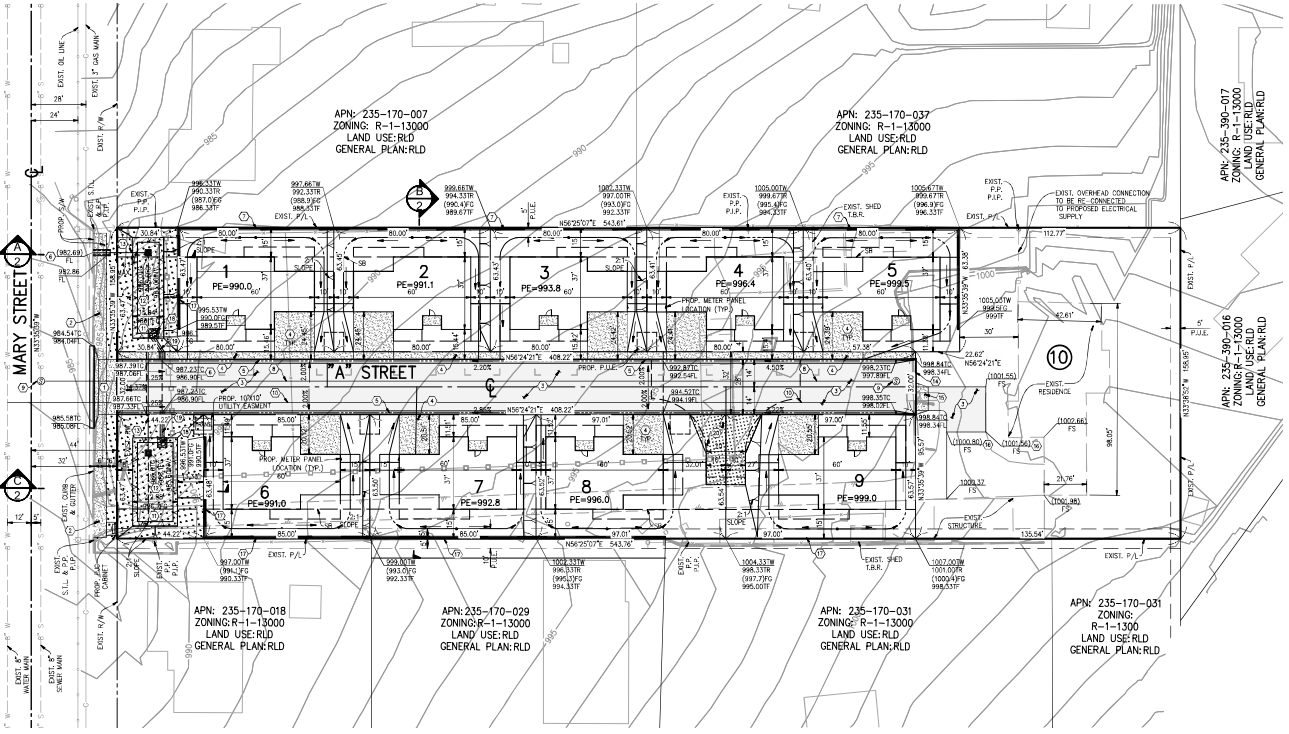
WATER: CITY OF RIVERSIDE  
SEWER: CITY OF RIVERSIDE  
ELECTRICITY: CITY OF RIVERSIDE  
GAS: THE GAS COMPANY  
TELEPHONE: VERIZON  
TELEVISION: AIR WAVES / CHARTER COMMUNICATIONS

#### FEMA FLOOD ZONE DESIGNATION

ZONE 1 - BASE FLOOD ELEVATIONS DETERMINED.  
FLOOD INSURANCE RATE MAP  
RIVERSIDE COUNTY, CALIFORNIA AND INCORPORATED AREAS.  
PANEL 720 OF 3805  
MAP NUMBER 0605050720C  
EFFECTIVE DATE  
AUGUST 28, 2008

#### SCHOOL DISTRICT

RIVERSIDE UNIFIED SCHOOL DISTRICT



#### AVERAGE NATURAL SLOPE

$S = (0.002296 \times I \times L)$   
S = AVERAGE NATURAL SLOPE IN PERCENT  
I = NATURAL CONTOUR INTERVAL IN FEET  
L = LENGTH OF NATURAL CONTOURS IN FEET  
A = ACRES OF PROPERTY  
0.002296 = CONSTANT WHICH CONVERTS SQUARE FEET INTO ACRES AND EXPRESSES SLOPE IN PERCENT.

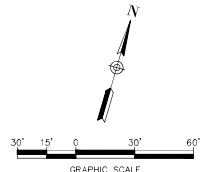
APN: 235-170-008  
A: (0.002296 X 1 X L)  
S: 1.984  
A: 10.235  
S: 1.984  
S: 1.519

#### EARTHWORK QUANTITIES

CUT (RAW)	1,400 CY
FILL (RAW)	2,000 CY
IMPORT	600 CY

#### CONSTRUCTION NOTES

1. PROPOSED DRIVEWAY APPROACH PER CITY OF RIVERSIDE STD. NO. 302, TYPE CURB-I.
2. PROPOSED SIDEWALK PER CITY OF RIVERSIDE STD. NO. 322.
3. PROPOSED ON-SITE A/C PAVING.
4. PROPOSED CONCRETE HANDICAP.
5. PROPOSED 4" ROLLED CURB ONLY DETAIL "A", SEE SHEET 1.
6. PROPOSED PARKWAY DRAIN.
7. PROPOSED COMBINATION WALL 3.0' MAX RET. OVER IT'S MAX FREE STANDING.
8. PROPOSED SEWER LINE / SEWER SERVICE.
9. PROPOSED WATER LINE / WATER SERVICE.
10. PROPOSED BIO-RETENTION.
11. PROPOSED 24"x24" CATCH BASIN.
12. PROPOSED STORM DRAIN PIPE.
13. PROPOSED 4" DMS ONLY.
14. PROPOSED DRIVEWAY APPROACH PER CITY OF RIVERSIDE STD. NO. 302, TYPE CURB-III.
15. JOIN TO EXISTING.
16. PROPOSED 6" FREE STANDING WALL.
17. PROPOSED 5'x5' RIP-RAP PAD.
18. PROPOSED 27" WIDE CONCRETE CHANNEL.
19. PROPOSED ALL WEATHER DRIVING SURFACE, TURF BLOCK OR APPROVED EQUAL.



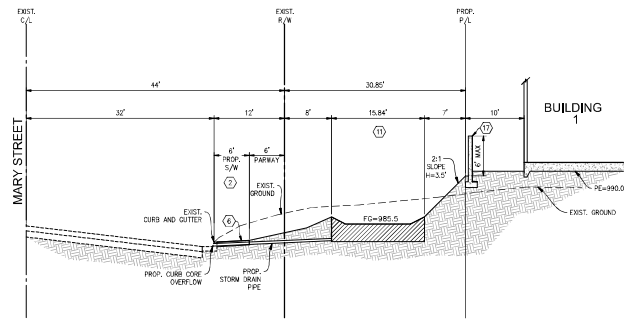
REVISIONS	DATE	BY

**CITY OF RIVERSIDE**  
**CONCEPTUAL GRADING PLAN**  
2443 MARY STREET

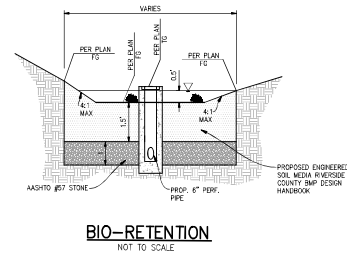
FOR: BRENTON BURKE  
SCALE: 1"=30'  
DATE: 06/20/26  
DESIGNED: PR  
CHECKED: AW

**woodard group**

W.D. SHEET 1  
OF 2 SHEETS  
D.W.S. NO. 1322



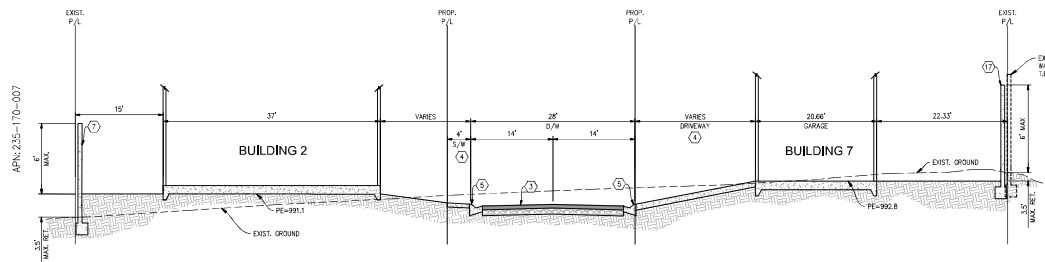
**SECTION "A-A"**  
 HORIZ: 1"=10'  
 VERT: 1"=2'



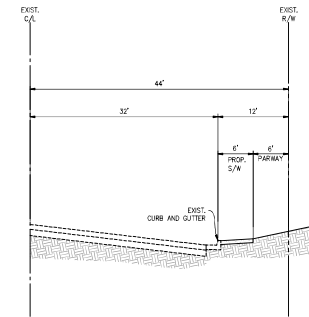
**BIO-RETENTION**  
 NOT TO SCALE

**CONSTRUCTION NOTES**

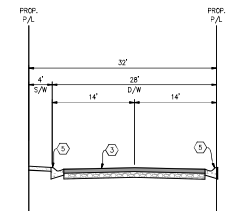
- ① PROPOSED DRIVEWAY APPROACH PER CITY OF RIVERSIDE STD. NO. 302, TYPE CURB-I.
- ② PROPOSED SIDEWALK PER CITY OF RIVERSIDE STD. NO. 315.
- ③ PROPOSED ON-SITE A.D. PAVING.
- ④ PROPOSED CONCRETE HARDSCAPE.
- ⑤ PROPOSED 4" ROLLED CURB ONLY DETAIL "A", SEE SHEET 1.
- ⑥ PROPOSED PARKWAY DRAIN.
- ⑦ PROPOSED CONCRETE WALL, 3.5' MAX RET. OVER 6" MAX FREE STANDING.
- ⑧ PROPOSED SEWER LINE / SEWER SERVICE.
- ⑨ PROPOSED MANHOLE.
- ⑩ PROPOSED WATER LINE / WATER SERVICE.
- ⑪ PROPOSED BIO-RETENTION.
- ⑫ PROPOSED 24"x32" CATCH BASIN.
- ⑬ PROPOSED STORM DRAIN PIPE.
- ⑭ PROPOSED 6" CURB ONLY.
- ⑮ PROPOSED DRIVEWAY APPROACH PER CITY OF RIVERSIDE STD. NO. 302, TYPE CURB-II.
- ⑯ JOIN TO EXISTING.
- ⑰ PROPOSED 6" FREE STANDING WALL.
- ⑱ PROPOSED 5"x5" 60# REBAR PAD.
- ⑲ PROPOSED 2" WIDE CONCRETE CHANNEL.
- ⑳ PROPOSED ALL WEATHER DRIVING SURFACE, TURF BLOCK OR APPROVED EQUAL.



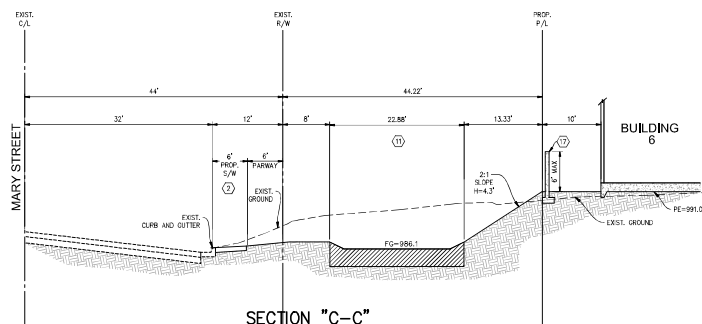
**SECTION "B-B"**  
 HORIZ: 1"=10'  
 VERT: 1"=2'



**MARY STREET**  
 NOT TO SCALE



**"A" STREET**  
 HORIZ: 1"=10'  
 VERT: 1"=2'



**SECTION "C-C"**  
 HORIZ: 1"=10'  
 VERT: 1"=2'

REVISIONS		DATE	BY

**CITY OF RIVERSIDE**  
**CONCEPTUAL GRADING PLAN**  
 TENTATIVE TRACT MAP 39385

FOR: BRENTON BURKE

SCALE:	AS SHOWN	W.D.	SHEET 2
DATE:	06/20/2024	DESIGNED:	PR
CHECKED:	AW	D.W.S. NO.	1322

**woodard group**