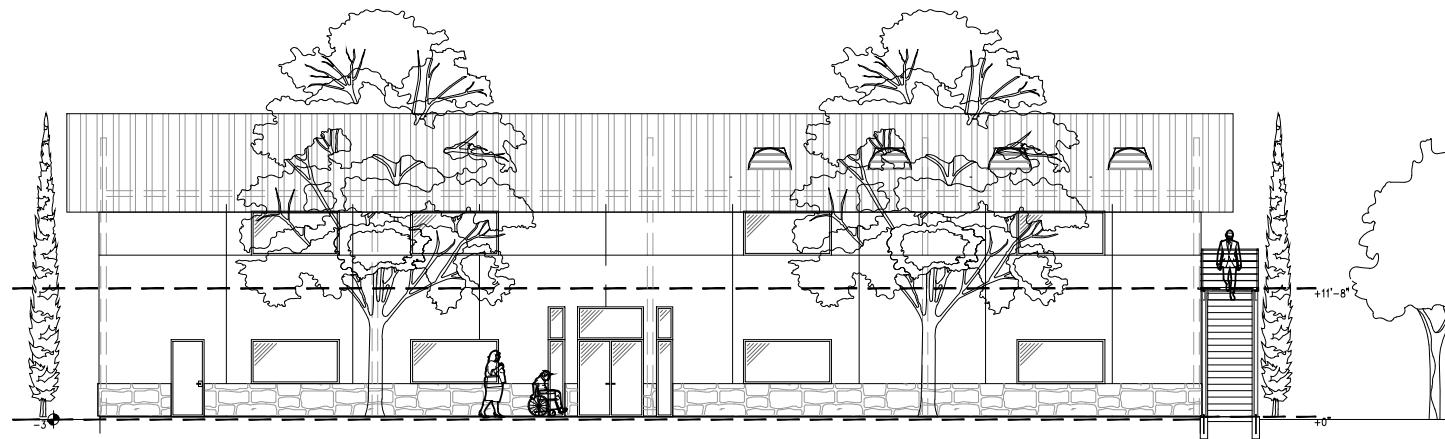


TABOR ROMANIAN

Church of Riverside

PROJECT:

10750 Cochran Ave Riverside CA. 92505
APN # 143-300-001



DESIGN REVIEW SET 12/ 15 / 23



PROFESSIONAL
DESIGN
ASSOCIATES

1793 W. Arrow Highway
Upland, California 91786-4297
(909)949-6159 / fax (909) 985-3405

TABOR ROMANIAN CHURCH
10750 COCHRAN AVENUE,
RIVERSIDE, CA 92505

PROJECT

CONTACT:
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SHEET TITLE
COVER
SHEET

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NOT FOR
CONSTRUCTION

SCALE AS NOTED
DATE 12-15-2023
DRAWN BY S.C.

REVISIONS 04-25-2025
△△△

SHEET NUMBER

A-0.0

GENERAL NOTES

PROJECT DESCRIPTION

The existing Tabor Romanian Church of Riverside is proposing to expand their current campus with a new +/- 6,000 square foot new multi-purpose building with fellowship room and kitchen with storage. The new building layout will also include Sunday school rooms, restroom facilities, one conference room, two administration offices to support the current congregation. A portion of the current site infrastructure will also be updated as part of this scope in order to accommodate A.D.A. parking and landscape. The new building will be primarily used for Sunday school and after church service fellowship, with the remainder of the week be subject to administrative day to day activities by the pastor, church board and staff volunteers.

In addition to the new building, a new trash enclosure and playground is being proposed.

Existing Main Sanctuary Building to remain.

Existing Restroom facilities to remain.

Existing Modular building #1 to remain.

Existing Modular building #2 to be removed from site pending new building permit.

Construction timeline to be determined at a deferred submittal.

PLANNING DATA

Assessor Parcel Number: 143-300-001

Address: 10750 Cochran Avenue
Riverside, California 92505

Neighborhood Name: Commercial - Riverside

Tract/Parcel Map: T.R.A. 009-175

Lot/Parcel: Parcel 1

Zoning: R-1

Property type: Place of Worship

Site Area: 2.48 Acres

Project Description: Multi-Purpose Facility

Overall site area: 2.48 ac - 100%
Total Project area: 0.526 ac (22,930 SF) - 21%

BUSINESS OPERATIONS PLAN

- Service Schedule:
 - Sunday Morning: 10:00 AM - Worship, Sermon, and Fellowship
 - Sunday Evening: 6:00 PM - Wednesday Services, Bible Study and Prayer
 - Wednesday: 7:00 PM - Midweek Service, Bible Study and Prayer
- Special Events: such as conferences, holiday services, and community outreach programs.
- Leadership and Roles:
 - Pastor (payroll)
 - Worship Team (volunteers)
 - Team Coordinator (volunteers)
 - Administrative Staff. (volunteers)
 - Preaching, Leadership, Pastoral Care
 - Music and Worship Coordination
 - Organizing volunteers for different tasks (ushers, greeters, hospitality, etc.)
 - Handling administrative tasks, communication, and coordination

DRAWINGS INDEX

SHEET INDEX

SHEET DESCRIPTION	
A-0.0	COVER SHEET
A-4.0	CONCEPTUAL SITE PLAN
A-1.0	FLOOR PLANS
A-3.0	ROOF PLANS
A-4.0	EVENTS PLANS
A-4.1	COLOR ELEVATIONS
C-1	CIVIL TITLE SHEET
C-2	PRECISE GEODETIC PLAN
C-3	ENCLOSURE CONTROL PLAN
E-0.1	PHOTOMETRIC SITE PLAN
E-0.2	PHOTOMETRIC SPEC SHEETS
L-0.1	CONCEPTUAL PLANTING COLOR PLAN
L-1.0	CONCEPTUAL PLANTING PLAN
L-2.0	WALL & FENCE PLAN

VICINITY MAP



BUILDING DATA

BUILDING DEPARTMENT: CITY OF RIVERSIDE

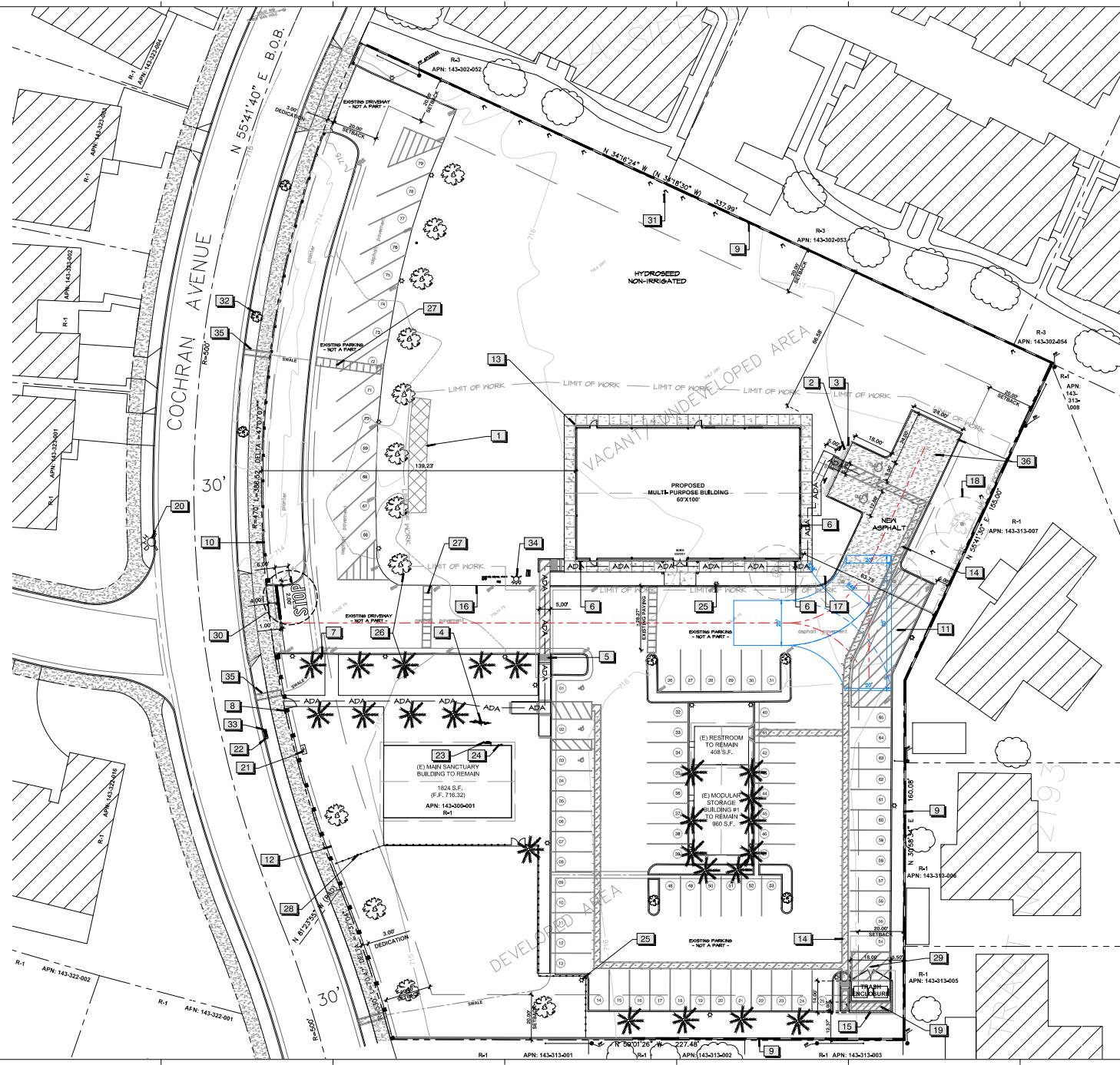
CONSTRUCTION TYPE: III(B) SPRINKLERED

ALL WORK IS TO COMPLY WITH THE 2022 EDITIONS OF CALIFORNIA BUILDING CODE.

(FIRE PROTECTION PLANS - DEFERRED SUBMITTAL)

NUMBER OF STORIES: 2 STORIES

OCCUPANCY CLASSIFICATION: T.B.D.



REFERENCE NOTES SCHEDULE

CODE DESCRIPTION

- BIORRETENTION TRENCH, SEE CIVIL PLANS.
- LINE OF 24' CAR OVERHANG - TYPICAL.
- PARKING OVERHANG TO BE PLANTED WITH LOW GROUNDCOVER PER CITY STANDARD, SEE LANDSCAPE.
- 2-BIKE SURFACE MOUNTED BIKE RACK, (MIN. REQUIRED PER CAL GREEN SEC. 5.106.4.1)
- 3' DEEP MIN. DETECTABLE WARNING (DOMES) PAD, PER CBC 11B 705, TYPICAL.
- ADA ACCESSIBILITY ROUTE SIGN.
- ADA PARKING ENTRANCE SIGNAGE.
- ADA PATH OF TRAVEL ENTRANCE SIGN.
- SITE WALL - SEE WALL & FENCE PLAN.
- SITE FENCING WITH PILASTER(S) - SEE WALL & FENCE PLAN.
- FIRE ACCESS, NO PARKING ZONE.
- 3-FT DEDICATION EASEMENT.
- ROOF OUTLINE.
- ACCESSIBLE PATH OF TRAVEL.
- DOUBLE TRASH ENCLOSURE PER CITY STANDARDS. EXISTING GRADE AND DRAINAGE PATTERN TO BE MAINTAINED.
- ASPHALT PAVING OUTLINE.
- MODULAR BLDG. 2 TO REMOVE.
- TREE TO REMOVE, TYPICAL.
- SHED TO REMOVE.
- FIRE HYDRANT.
- BACKFLOW.
- WATER METER.
- GAS METER.
- ELECTRICAL METER.
- SITE LIGHTING, TYPICAL.
- TREE OR PALM TO REMAIN, TYPICAL.
- SPEED BUMP(S) TO REMAIN, TYPICAL. TOTAL OF (3).
- METAL FENCE & GATE TO REMAIN.
- TRASH ACCESS, NO PARKING ZONE.
- STOP BAR, STOP LEGEND AND STOP SIGN AT EGRESS OF PROJECT DRIVEWAY.
- MORUS ALBA TREES & STUMPS TO BE REMOVED.
- HANDROANTHUS IMPETIGINOSUS (PINK TRUMPET TREE) STREETS TREES TO BE PROTECTED IN PLACE.
- WATER METER FOR LANDSCAPE IRRIGATION, FINAL LOCATION AND SIZE TO BE DETERMINED.
- CATCH BASIN(S) AT STREET CURB. TOTAL OF (3).
- NEW ASPHALT AND CURB PER CIVIL PLANS.
- NEW ASPHALT AND CURB PER CIVIL PLANS.

TABOR ROMANIAN CHURCH
10750 COCHRAN AVENUE,
RIVERSIDE, CA 92505

PROJECT

CONTACT:
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SHEET TITLE
CONCEPTUAL SITE PLAN

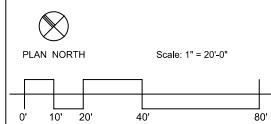
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CONSTRUCTION

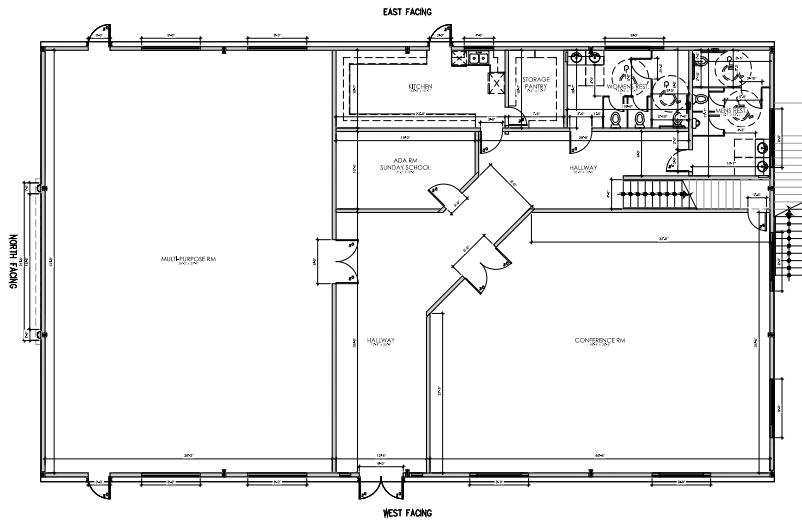
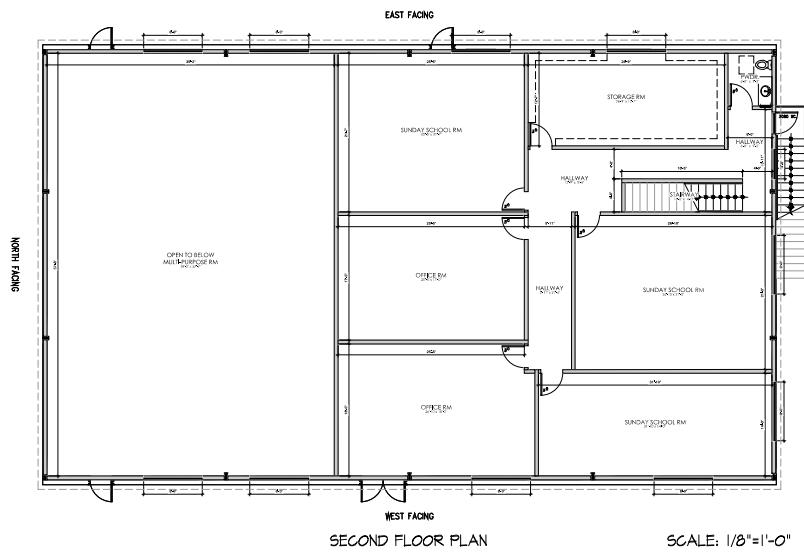
SCALE 1" = 20'-0"
DATE 12-15-2023
DRAWN BY S.C.
REVISIONS 02-25-2025

NOTES:

- SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.
- SITE PLAN MUST BE REVIEWED BY PLANNING, BUILDING AND FIRE DEPARTMENT PRIOR TO CONSTRUCTION.
- BASE INFORMATION PER PARCEL MAP.
- CIVIL ENGINEER TO VERIFY ALL SETBACKS AND GRADING INFORMATION.
- BUILDING FOOTPRINTS MAY CHANGE DUE TO THE FINAL DESIGN ELEVATION STYLE.
- OPEN SPACE AREA IS SUBJECT TO CHANGE.
- BUILDING SETBACKS ARE MEASURED FROM PROPERTY LINES TO BUILDING FOUNDATION LINES.



SHEET NUMBER **A-0.1**



GENERAL NOTES

A. REFER TO SECTION A.0 FOR GENERAL NOTES.
 B. CONTRACTOR SHALL NOTIFY OWNER AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
 C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIL, STATE, AND/OR FEDERAL LAW.
 D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
 E. PROVIDE 1/2" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMIGLOSS.
 F. REFER TO SECTION A.0 FOR ADDITIONAL NOTES FOR ADDITIONAL NOTES.
 G. PROVIDE 3 1/2" SOUND BATT, INSULATION IN ALL NEW CONSTRUCTION.
 H. NOT USED.
 I. USE MOISTURE RESISTANT GYPSUM BOARD AT INTERIOR WALLS AND CEILINGS AS SHOWN.
 J. DIMENSIONS ARE TO FACE OF STUD, UNO.
 K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON AN ANGLE IRON BRACE.
 L. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTITUTES ARE IN GOOD CONDITION AND REPAIRABLE.
 M. CONTRACTOR SHALL PROVIDE A 5" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCE.
 N. EXTERIOR DOOR LANDINGS GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. RISE FOR ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
 O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
 P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
 Q. PROVIDE DOORS IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.



PROFESSIONAL
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ASSOCIATES

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PROJECT
Tabor Romanian Church
10750 Cochran Avenue,
Riverside, CA 92505

KEYNOTES

CONTACT:
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 UPLAND, CA 91786-4297
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SHEET TITLE
FLOOR
PLANS

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 and/or engineer for the preparation of plans
 and specifications for the project and to
 have the contractor's plans and specifications
 reviewed by the architect and/or engineer
 before proceeding with the construction of
 the project. P.D.A. shall not be liable for any
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 of these plans and specifications for the
 project of which portion hereof.

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DATE 12-15-2023

DRAWN BY S.C.

REVISIONS

SHEET NUMBER

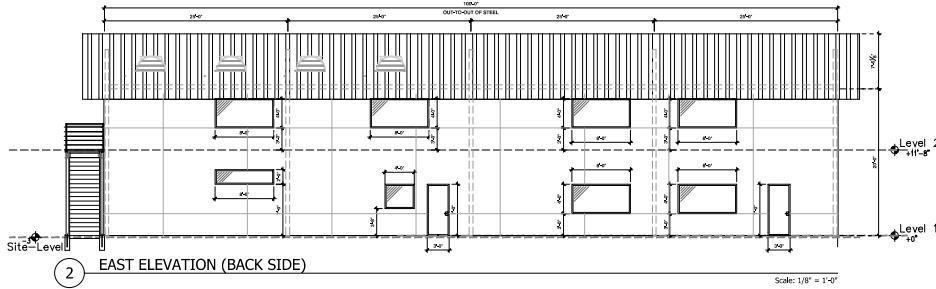
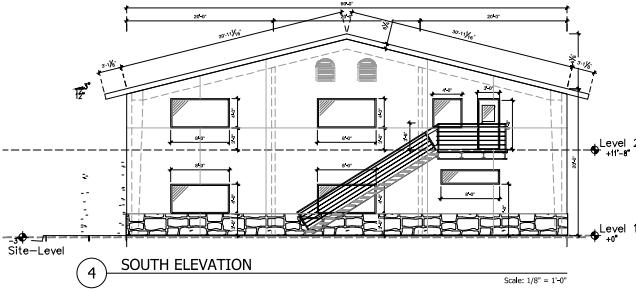
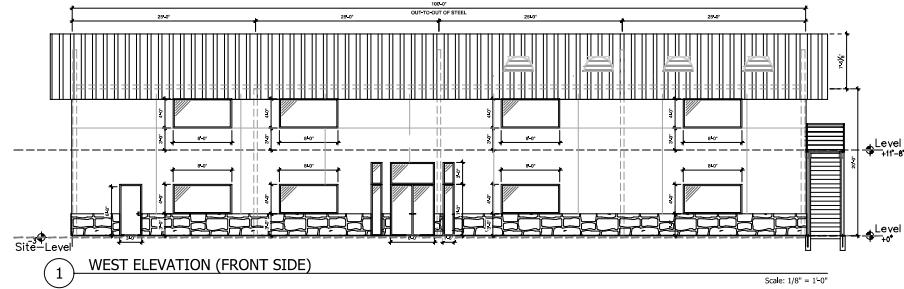
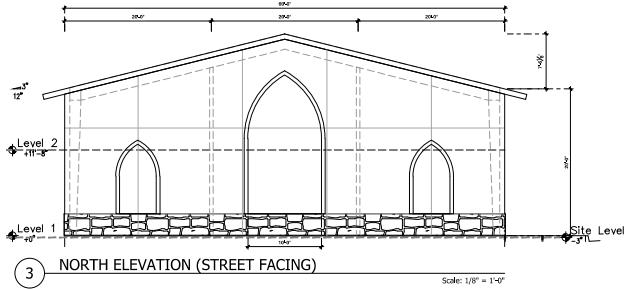
A-1.0



PROFESSIONAL
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Landscape Architect
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(909) 949-6129 / fax (909) 985-3405

TABOR ROMANIAN CHURCH
10750 COCHRAN AVENUE,
RIVERSIDE, CA 92505



GENERAL NOTES

- A. REFER TO SHEET A-0 FOR GENERAL NOTES.
- B. FIELD CHECK ALL DIMENSIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CMIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 1/2" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMIGLOSS. LISTED NOTES REFER TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT INSULATION IN ALL NEW CONSTRUCTION.
- G. NOT USED.
- H. NOT USED.
- I. USE MOISTURE RESISTANT GYPSUM BOARD AT INLET WALLS AND IN CONCRETE CAVITY SPACES.
- J. DIMENSIONS ARE TO FACE OF STUD, UNO.
- K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL SIDES.
- L. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED IN A DRY AND FLAT STATE.
- M. CONTRACTOR SHALL PROVIDE A 5" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCES.
- N. ALL EXTERIOR DOOR LANDINGS GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE FOR ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- Q. DOORS IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

KEYNOTES

PROJECT

CONTACT:
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SHEET TITLE

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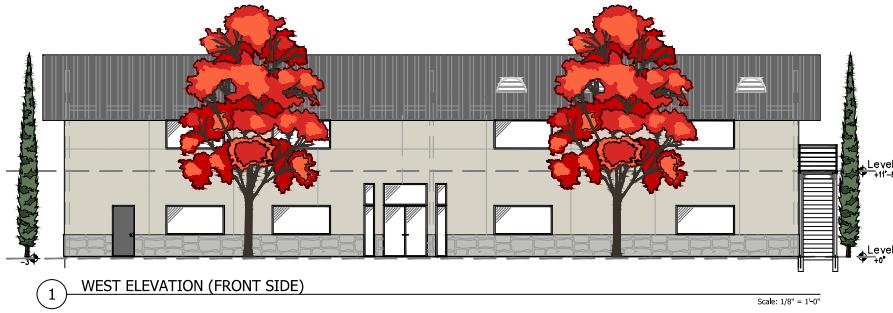
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DATE 12-15-2023
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REVISIONS 05-06-2024
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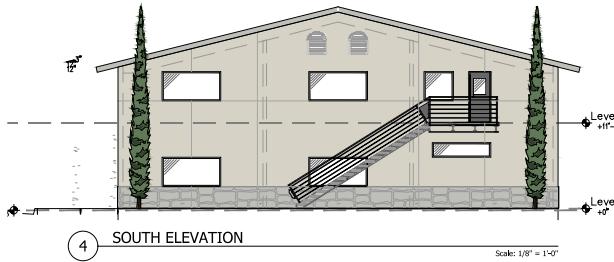
SHEET NUMBER

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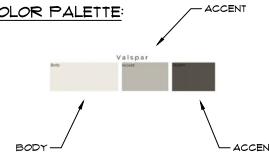


MATERIAL PALETTE:

- EXTERIOR WALLS: STUCCO FINISH.
- WINDOWS: METAL FRAME
- DOORS: METAL SOLID & W/ GLASS
- WAINGSCOTING: STONE VENEER
- ROOF SHEETING: METAL, 26 GAUGE, ASH GRAY COLOR FINISH



COLOR PALETTE:



GENERAL NOTES

- A. REFER TO SHEET A-0 FOR GENERAL NOTES.
- B. FIELD CHECK ALL DIMENSIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE WITH CMC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 1/2" OSB GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMIGLOSS. LIST REFERENCE TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3/12 SOUND BATT, INSULATION IN ALL NEW CONSTRUCTION.
- G. NOT USED
- H. NOT USED
- I. USE MOISTURE RESISTANT GYPSUM BOARD AT INLET WALLS, BATH, KITCHEN, AND PANTRY.
- J. DIMENSIONS ARE TO FACE OF STUD, UNO.
- K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL SIDES.
- L. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED IN A DRY AND FLAT STATE.
- M. CONTRACTOR SHALL PROVIDE A 5" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCES.
- N. ALL EXTERIOR DOOR LANDINGS GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE FOR ALL LANDINGS, RAMPs, OR WALKS WILL BE 2%.
- O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING ON ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- Q. DOORS IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

KEYNOTES

PROJECT

CONTACT:
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FAX: (909) 985-3405

SHEET TITLE
COLOR
ELEVATIONS

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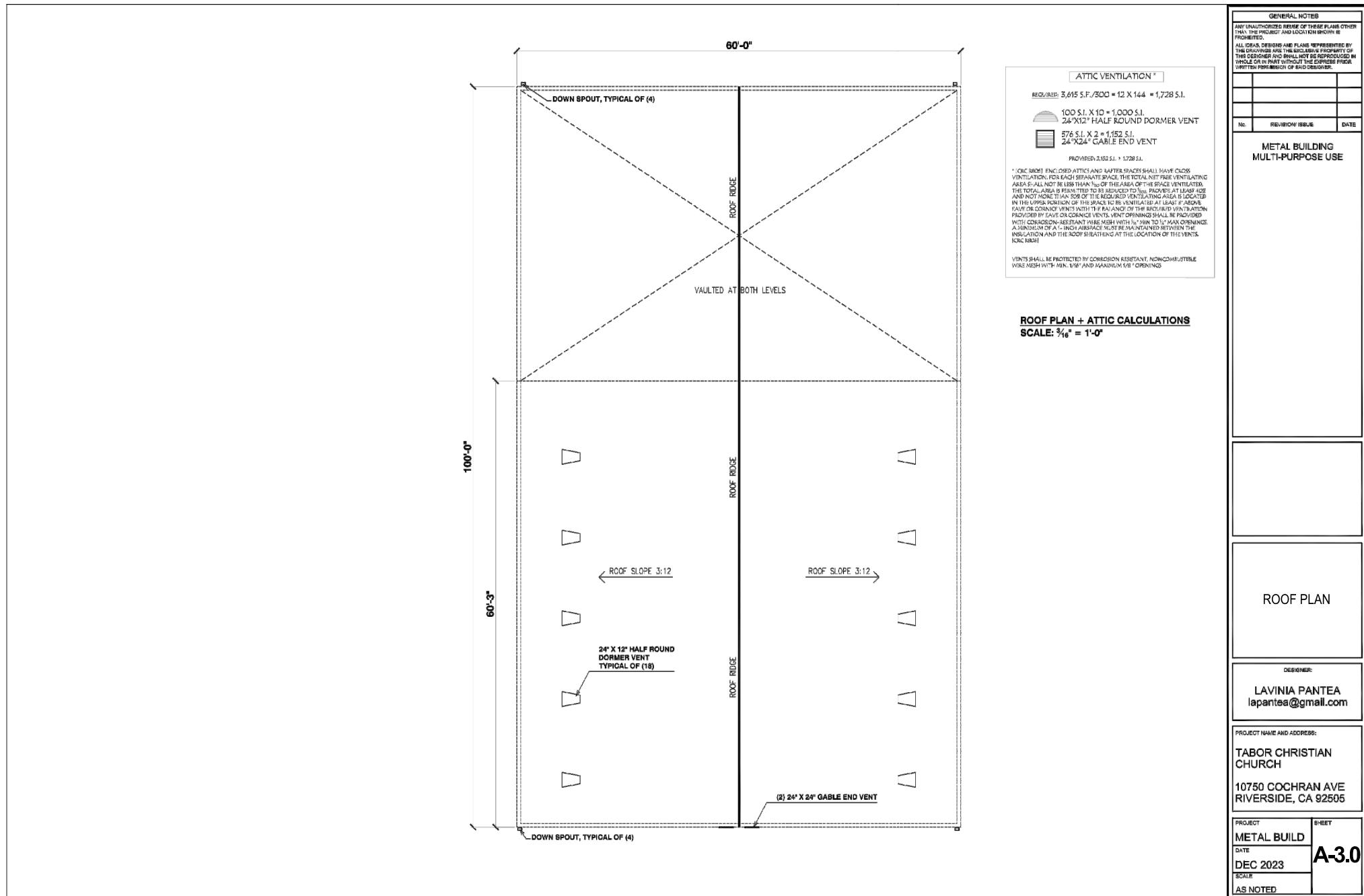
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REVISIONS 05-06-2024
DRAFTED BY
CHECKED BY
APPROVED BY

SHEET NUMBER

A-4.1



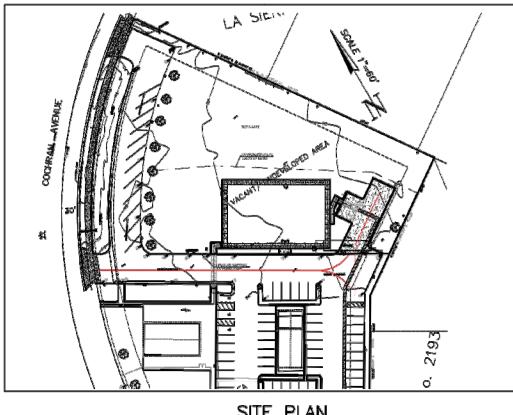
CONCEPTUAL GRADING PLAN

GRADING NOTES:

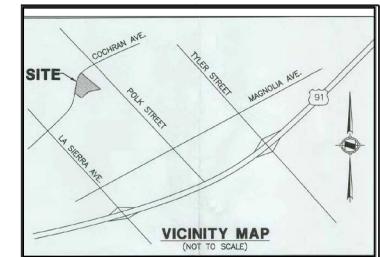
1. ALL GRADING SHALL CONFORM TO THE RIVERSIDE MUNICIPAL CODE, TITLE 17 AND THE CURRENT CITY-ADOTTED EDITION OF THE CALIFORNIA BUILDING CODE.
2. ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY S & T GEOTECHNICAL ENGINEERING, INC. DATE DECEMBER 5, 2018 SHALL BE COMPLIED WITH DURING GRADING OPERATIONS. CITY BUSINESS TAX CERTIF. NO. _____, EXP. DATE _____.
3. THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTION OR FOR OFF-SITE IMPROVEMENTS. PERMIT OF PERIODIC REVIEW OF THIS PLAN DOES NOT CONSTITUTE APPROVAL OF OFF-SITE IMPROVEMENTS. SITE, PARKING LOT, STRUCTURAL SECTIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, OFF-SITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE GRADE LINE ARE NOT APPROVED. CONSTRUCTION OF THESE ITEMS MUST BE COMPLETED FROM APPROVED BUILDING PERMIT PLANS. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM PLANS APPROVED FOR THAT PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
4. CERTIFICATION FROM THE REGISTERED (CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT) STATING THAT THE GRADING HAS BEEN COMPLETED FOR THE APPROVED PLAN, AND A COMPACT REPORT FROM THE SOILS ENGINEER FOR FILL AREAS ARE REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED.
5. CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
 - a. ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING ROUGH GRAVING OPERATIONS AND THEREAFTER, UNTIL INSTALLATION OF FINAL GROUNDCOVER. (SEE LANDSCAPE PLANS FOR FINAL GROUNDCOVER).
 - b. ALL SLOPE PROTECTION SWALES TO BE CONSTRUCTED AT THE SAME TIME AS BANKS ARE GRADED.
6. THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SWPPP AND ALSO TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, GRAVEL-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS DUE TO EROSION AND FOR THE PROTECTION OF DIRT, DIRT OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR OTHER ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO ADDITIONAL EROSION CONTROL MEASURES NOTED ABOVE DURING THE PERIOD OCTOBER 1 TO MAY 31.
7. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND HEDGES. ALL SILT AND DEBRIS MUST BE REMOVED FROM PUBLIC PROPERTY AREAS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THIS PROJECT.
8. ANY ON-SITE RETAINING WALLS SHOWN IN THE PLAN THAT ARE UNDER 3 FEET IN HEIGHT AND SUPPORT A SURCHARGE OR THAT ARE OVER 3 FEET IN HEIGHT REQUIRE SEPARATE REVIEW, APPROVAL AND A BUILDING PERMIT FROM THE BUILDING AND SAFETY DIVISION, COMMUNITY DEVELOPMENT DEPARTMENT. ANY EXISTING RETAINING WALLS ON THE PERIMETER OF THE SITE SHALL BE MAINTAINED AND APPROVED BY THE BUILDING INSPECTOR AS PART OF THE GRADED PERMIT. APPROVED SEQUENCED GRADING WITH 1:12:1 MAXIMUM SLOPES TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR ISSUANCE OF A GRADED PERMIT PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS. (IF NO RETAINING WALLS ARE SHOWN ON THE PLAN, DO NOT PUT THIS NOTE ON PLAN).
9. ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
10. ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED. GRAVING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
11. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
12. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRAVING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.
13. IT IS THE SOILS ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRAVING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PADS AND ON ALL FILL SLOPES.
14. EARTHWORK QUANTITIES ARE SHOWN FOR GRAVING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE FOR THEIR ACCURACY.
15. FOR GRADING OF AREAS OF 1 ACRE OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF RIVERSIDE.
16. GRAVING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. ON WEEKDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRAVING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7.35.010, ORDINANCE NO. 6273)

THE ABOVE ITEMS ARE THE MINIMUM INFORMATION REQUIRED FOR SUBMITTING A GRAVING PLAN FOR REVIEW. THEREFORE, AFTER REVIEW, ADDITIONAL INFORMATION MAY STILL BE REQUIRED. IN SOME CASES, THE GRAVING PLAN WILL BE SUBJECT TO ENVIRONMENTAL REVIEW PURSUANT TO THE CITY OF RIVERSIDE'S QUALITY ACT. THE PLANNING DIVISION, COMMUNITY DEVELOPMENT DEPARTMENT WILL PERFORM THE ENVIRONMENTAL REVIEW AND WILL INFORM THE APPLICANT IF ADDITIONAL INFORMATION WILL BE REQUIRED.

10750 COCHRAN AVENUE CITY OF RIVERSIDE, CA 92503



SITE PLAN



VICINITY MAP

N.T.S.

CONSTRUCTION NOTES:

ON-SITE GRADING

1. CONSTRUCT 8" PCC CURB PER SWPPP STD. PLAN 121-2.
2. CONSTRUCT CURB OPENING PER DETAIL HEREON.
3. CONSTRUCT PAVEMENT SECTION PER SOILS ENGINEER RECOMMENDATION.

OWNER INFORMATION

NAME: TABOR ROMANIAN CHURCH OF RIVERSIDE
ADDRESS: 10750 COCHRAN AVE.
CITY OF RIVERSIDE, CA
PHONE NUMBER: 909-373-3364
EMAIL ADDRESS: GALACOTA@GMAIL.COM

SITE INFORMATION

ADDRESS: 10750 COCHRAN AVE.,
CITY OF RIVERSIDE, CA
APN: 143-300-001
LINE DESCRIPTION:
2.45 ACRES FOR LOT 1 BLK 54 MB 01/042 LA SIERRA GARDENS AND FOR LOT 4 BLK 51 MB 011/042 LA SIERRA GARDENS
SITE ACREAGE: 0.526

CIVIL ENGINEER

IT & ASSOCIATES, INC.
JEFF TSALYUK
ADDRESS: 11278 LOS ALAMITOS BLVD., #354
LOS ALAMITOS, CA 90720
PHONE NUMBER: 949-468-9640
EMAIL ADDRESS: jeff@it-and-associtcs.com
BUSINESS TAX ID: 2326262
EXPIRATION DATE: 12/31/2024

SOILS ENGINEER

COMPANY NAME: S&T GEOTECHNICAL ENGINEERING, INC.
OWNER/ENGINEER: A. WAHAB NOON
ADDRESS: 15437 PROCTOR AVE.
CITY OF INDUSTRY, CA 91745
PHONE NUMBER: 626-981-4534
EMAIL ADDRESS: mookud.rohman@s-t-engineering.com
BUSINESS TAX ID: _____
EXPIRATION DATE: _____

CASE NUMBERS

PLANNING CASE:
WQMP:
STREET IMPROVEMENTS:
STORM DRAIN IMPROVEMENTS: N/A
SEWER IMPROVEMENTS:

SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	PRECISE GRADING EROSION CONTROL

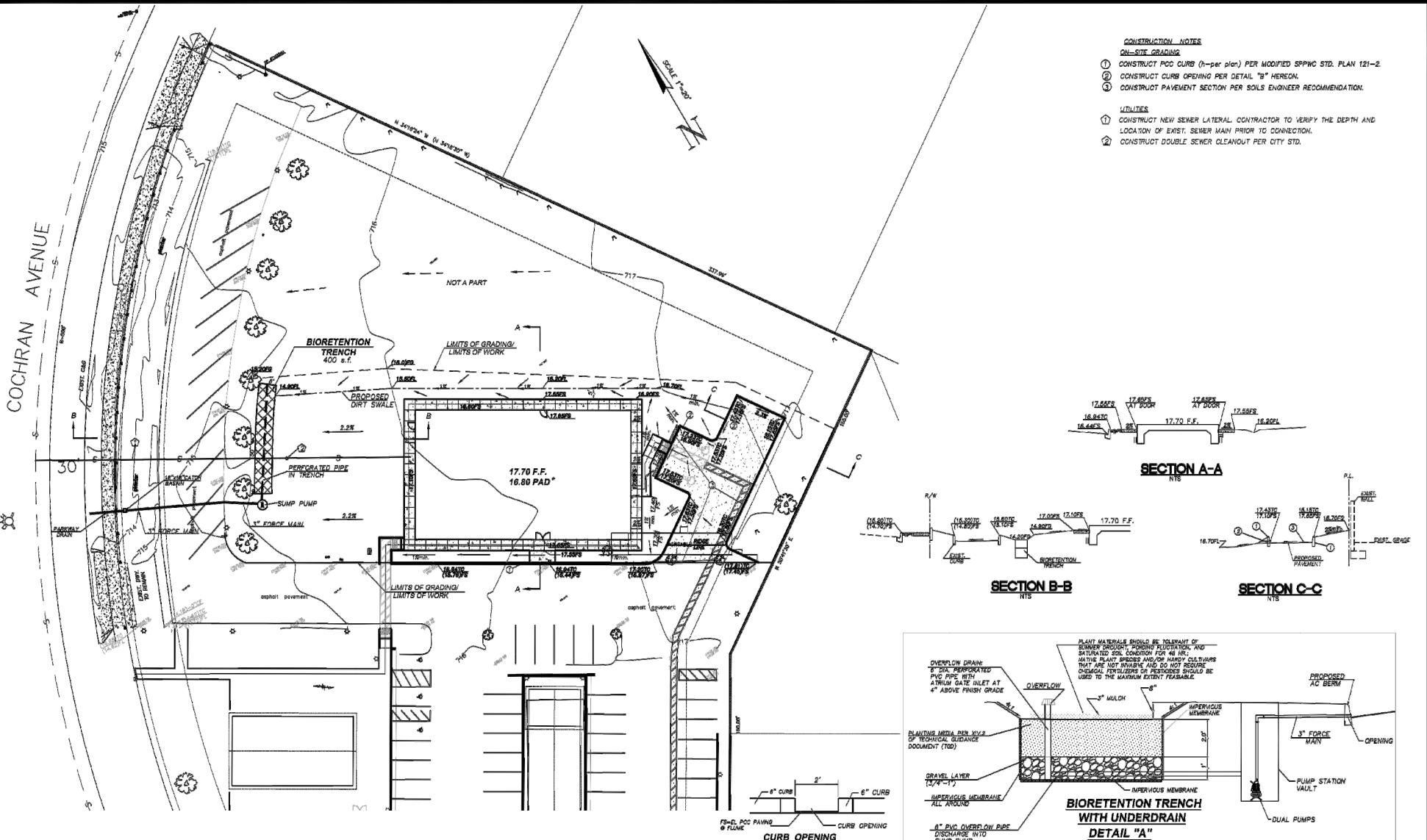
EARTHWORK QUANTITIES

CUT (RAW)	5 CY
FILL (RAW)	50 CY
GROSS AREA	22,930 SF
DISTURBED AREA	22,930 SF

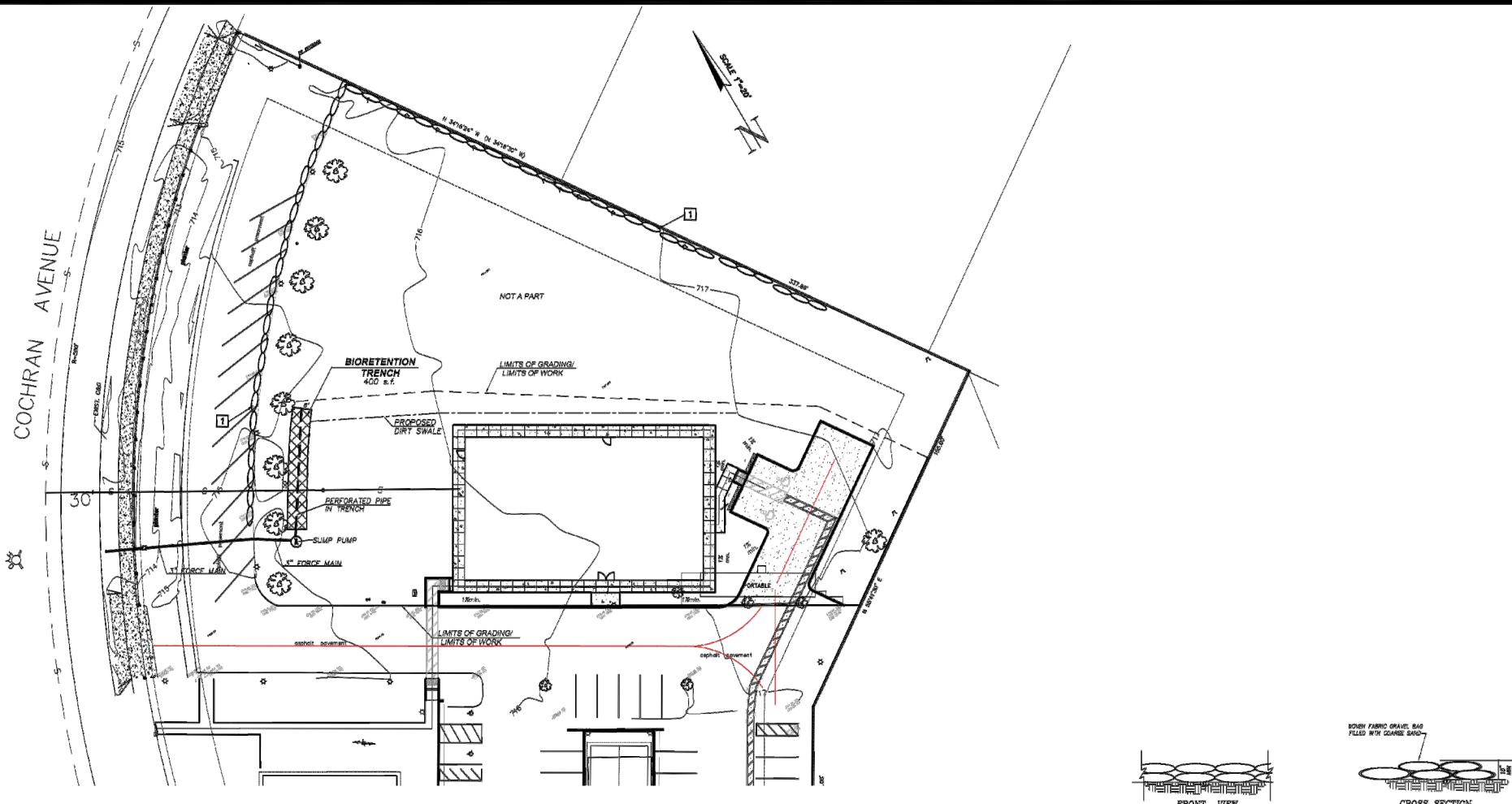
WDID: _____ N/A _____

CONCEPTUAL GRADING PLANS		PW19-0748
TABOR ROMANIAN CHURCH 10750 COCHRAN AVENUE	OF-2024-00817	
TITLE SHEET		SHEET C-1 OF 3

	Under Ground Service Alert System California	PLANS PREPARED UNDER THE SUPERVISION OF		
Call TOLL FREE 1-800 227-2800	PRINT NAME: RCEJ.	NO. C062671	IT & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., #354 LOS ALAMITOS, CA 90720 (800) 797-9643	
Two working days before you dig	BENCHMARK POINT ID:	MARK	REVISIONS	APPR. DATE
		DESIGNED BY	DRAWN BY	CHECKED BY



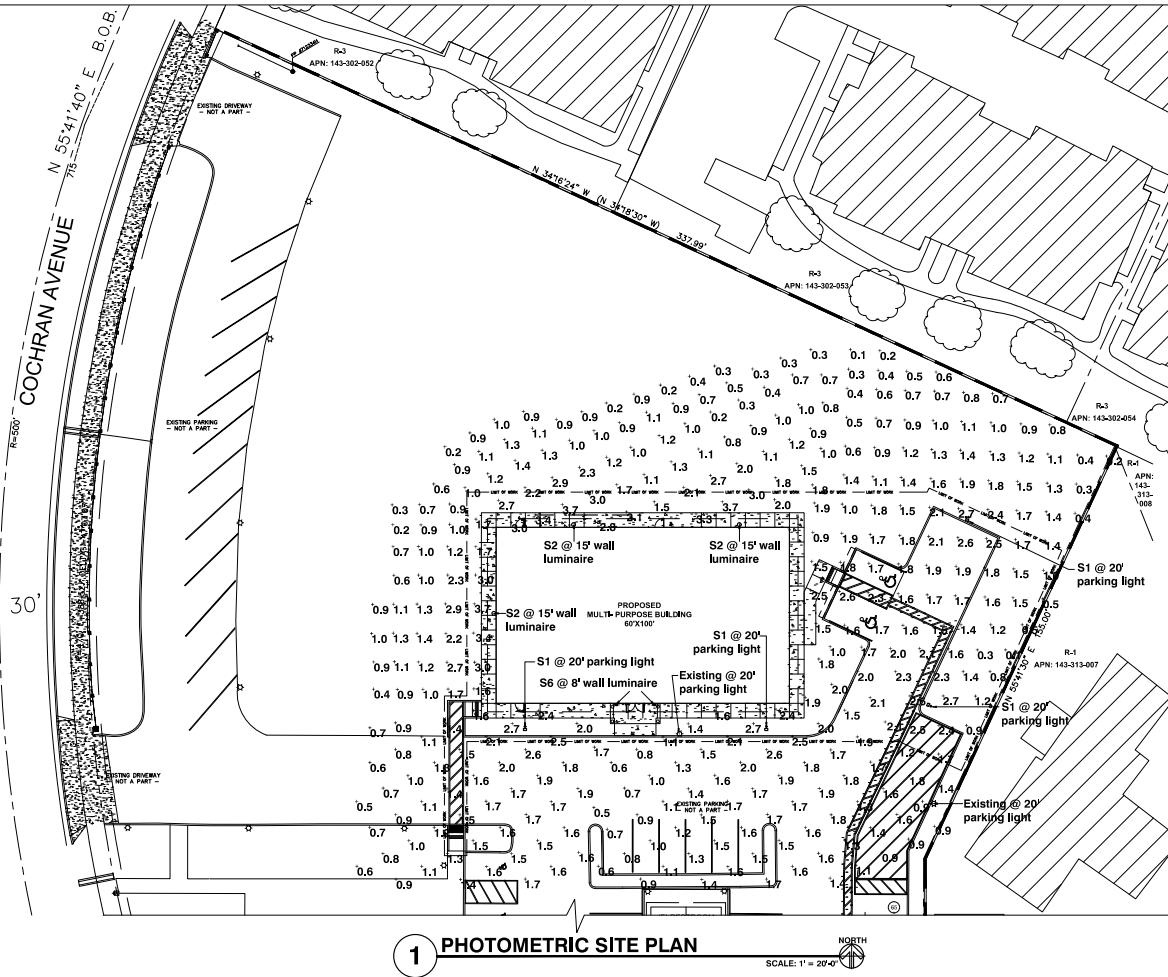
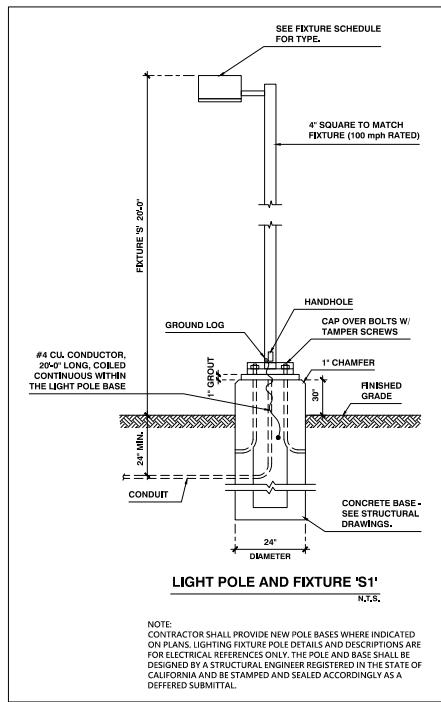
	Under Ground Service Alert Call: 1-800 227-2800 TWO WORKING DAYS BEFORE YOU DIG	PLANS PREPARED UNDER THE SUPERVISION OF PRINT NAME: RCEA	PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA REGISTRATION NO. 0562671	CITY OF RIVERSIDE BUSINESS TAX CERTIFICATE NO. #### EXP. ITF & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., #354 LOS ALAMITOS, CA 90720 (800) 797-9483	PLANNING DIVISION ENVIRONMENTAL REVIEW REQUIRED	CONCEPTUAL GRADING PLANS TABOR ROMANIAN CHURCH 10750 COCHRAN AVENUE CONCEPTUAL GRADING PLAN	PW19-0748 GP-2024-0887 C-2 OF 3
BENCHMARK POINT ID: <i>[Signature]</i>		MARK: <i>[Signature]</i>		REMARKS: <i>[Signature]</i>	APPROV. DATE: <i>[Signature]</i>	APPROVED BY: <i>[Signature]</i>	DATE: <i>[Signature]</i>
DEPOSED BY: <i>[Signature]</i>		DRAWN BY: <i>[Signature]</i>		CHANGED BY: <i>[Signature]</i>			



1 GRAVEL BAGS BERM
SE-6 BMP

EROSION CONTROL NOTES:
 CONSTRUCT GRAVEL BAGS PER DETAILS HEREON.

Under Ground Service Alert Call: 1-800 227-2800 TWO WORKING DAYS BEFORE YOU DIG	PLANS PREPARED UNDER THE SUPERVISION OF PRINT NAME: RCEA BENCHMARK POINT ID: <i>[Signature]</i>	PROFESSIONAL ENGINEER REGISTRATION NO. 058271 CIVIL ENGINEER STATE OF CALIFORNIA	CITY OF RIVERSIDE BUSINESS TAX CERTIFICATE NO. # # # EXP. ITF & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., #354 LOS ALAMITOS, CA 90720 (800) 797-9483	PLANNING DIVISION ENVIRONMENTAL REVIEW REQUIRED APPROVED BY: _____ DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____	EROSION CONTROL PLAN TABOR ROMANIAN CHURCH 10750 COCHRAN AVENUE EROSION CONTROL PLAN SHEET C-8 OF 3 HORIZ. SCALE: 1' to 20' VERT. SCALE: NA	PW19-0748 GP-2024-0897
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STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE FC AFG	+	1.4 fc	15.3 fc	0.0 fc	N/A	N/A

SCHEDULE								
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
	S1	4	Lithonia Lighting	DSX0 LED P6 40K T5W MVOLT	DSX0 LED P6 40K T5W MVOLT	16466	0.91	134
	S2	3	Lithonia Lighting	DSXW1 LED 20C 1000 40K T2M MVOLT	DSXW1 LED (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 1000 mA	7373	0.91	73.2
	S6	2	Lithonia Lighting	LDN6 40/10 LO6AR LSS WL FCM	6IN LDN, 4000K, 1000LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR CEILING MOUNT WET LOCATION	1054	0.91	12.75

GENERAL NOTES

ANY UNAUTHORIZED REUSE OF THESE PLANS OTHER THAN THE PROJECT AND LOCATION SHOWN IS PROHIBITED.

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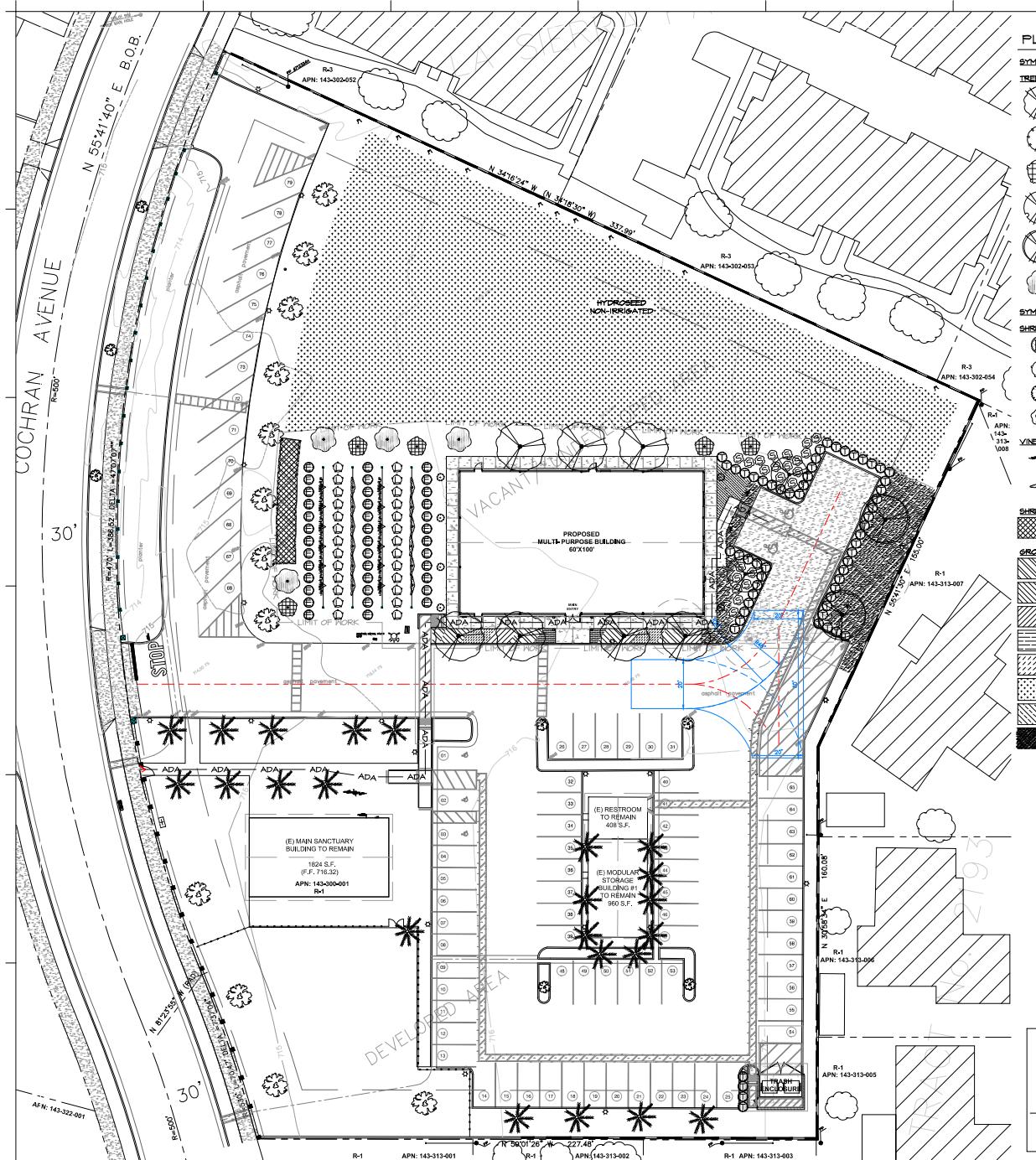
**METAL BUILDING
MULTI-PURPOSE USE**

PHOTOMETRIC SITE PLAN

DESIGNER:
LAVINIA PANTEA
lavantea@gmail.com

PROJECT NAME AND ADDRESS:
**TABOR CHRISTIAN
CHURCH**
**10750 COCHRAN AVE
RIVERSIDE, CA 92505**

PROJECT	SHEET
METAL BUILD	
DATE	E0.1
DEC 2023	
SCALE	
AS NOTED	



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	IN COLS	QTY
TREES	CI	<i>Carya illinoinensis</i> Pecan Tree	70'x 42W	10 gal.	IV, M
	CT	<i>Cupressus sempervirens</i> 'Monshel'	10 gal. 10'x 3' W	10 gal.	IV, L
	FV	<i>Feijoa sellowiana</i> Pineapple Guava	5 gal.	IV, M	5
	PB	<i>Prunus salicina</i> 'Burgundy' Burgundy Plum	10-15'H x W	7 gal.	IV, M
	PS	<i>Prunus salicina</i> 'Santa Rosa' Santa Rosa Plum	25-40'H	10 gal.	IV, M
	PC	<i>Paidia cattleanum</i> Strawberry Guava	12-20'H x 10-20'W (Maint. at 12')	5 gal.	IV, M
SHRUBS					
	E	<i>Lavandula angustifolia</i> 'Royal Velvet'	1 gal.	IV, L	48" o.c.
	L	<i>Lavandula stoechas</i> Spanish Lavender	2 gal.	IV, L	48" o.c.
	T	<i>Leucophyllum frutescens</i> Texas Sage 5-8'H x 4-6'W	3 gal.	IV, L	48" o.c.
	S	<i>Santolina chamaecyparissus</i> Mexican Bush Sage 3-8'H x 3-8'W	2 gal.	IV, L	48" o.c.
VINE/ESPALIER					
	VC	<i>Vitis labrusca</i> Wild Grape	3 gal.	IV, M	96" o.c.
	VV	<i>Vitis vinifera</i> Grape	3 gal.	IV, M	96" o.c.
SHRUB AREAS					
	AH	<i>Atriplex hystericula</i> Drought Tolerant Saltbush 2-3'H x 3-9'W	3 gal.	IV, VL	36" o.c.
GROUND COVERS					
	AG	<i>Aster alpinus</i> 'Gelbheim' Golden Alpine Aster	4' flat	IV, L	24" o.c.
	CA	<i>Carex albicans</i> White-tinged Sedge	4' flat	IV, M	36" o.c.
	CB	<i>Carex comans</i> 'Bronze'	4' flat	IV, M	36" o.c.
	HH	<i>Hedera helix</i> 'Santa Rosa' Coral Bells	4' flat	IV, L	36" o.c.
	HM	<i>Hedera maxima</i> Island Leaf Hedera Root	4' flat	IV, L	36" o.c.
	TH	Drought Tolerant Blend Non-irrigated	seed	IV, L	18,730 sf
	ML	<i>Muhlenbergia capillaris</i> 'Lumca'	4' flat	IV, M	30" o.c.
	MP	<i>Myosoton aquaticum</i> 'Pink'	4' flat	IV, L	24" o.c.



PROFESSIONAL
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(909) 949-6159 / fax (909) 949-3405

TABOR ROMANIAN CHURCH
10750 COCHRAN AVENUE,
RIVERSIDE, CA 92505

PROJECT

CONTACT:
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FAX: (909) 949-3405

SHEET TITLE
CONCEPTUAL
PLANTING
PLAN

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NOT FOR
CONSTRUCTION

SCALE 1" = 20'-0"
DATE 12-6-2023

DRAWN BY S.C.

REVISIONS

SHEET NUMBER

L-1.0



PROFESSIONAL
DESIGN
ASSOCIATES

Landscape Architect

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(909) 949-6129 / fax (909) 585-3405

TABOR ROMANIAN CHURCH
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PROJECT

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SHEET TITLE
CONCEPTUAL
WALL & FENCE
PLAN

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NOT FOR
CONSTRUCTION

SCALE 1" = 20'-0"
DATE 12-15-2023
DRAWN BY S.C.

REVISIONS

SHEET NUMBER

L-2.0

WALL & FENCE LEGEND

NUMBER	SYMBOL	DESCRIPTION
1		EXISTING 6'-0" HIGH FREESTANDING OFF-SITE PROPERTY LINE PERIMETER BLOCK WALL TO REMAIN IN PLACE AS IS.
2		EXISTING 6'-0" HIGH FREESTANDING ON-SITE PROPERTY LINE PERIMETER BLOCK WALL TO REMAIN IN PLACE AS IS.
3		EXISTING 6'-0" HIGH FREESTANDING ON-SITE PROPERTY LINE PERIMETER LOW BLOCK WALL (SPLIT FACE) WITH PLASTER AND WROUGHT IRON FENCE ON TOP TO REMAIN IN PLACE AS IS.
4		EXISTING 6'-0" HIGH & 3'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON PEDESTRIAN GATE TO REMAIN IN PLACE AS IS.
5		EXISTING 6'-0" & 3'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON VEHICULAR GATE TO REMAIN AS IS.
6		EXISTING 5'-0" HIGH IRON FENCE AND 7'-0" WIDE DOUBLE GATE TO REMAIN.
7		EXISTING 6'-0" & 3'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON VEHICULAR EMERGENCY ONLY GATE, NORMALLY CLOSED, TO REMAIN.
8		NEW 5'-0" HIGH TRASH ENCLOSURE SPLIT FACE BLOCK WALL TO MATCH FRONT WALL/PILASTER.
9		NEW 4'-0" WIDE ACCESS IRON GATE TO MATCH EXISTING IRON FENCE/GATE ON PROPERTY, COLOR TO MATCH EXISTING FRONT WROUGHT IRON FENCE. 15'-0" WIDE TRASH ACCESS DOUBLE GATE, COLOR TO MATCH EXISTING FRONT WROUGHT IRON FENCE.

