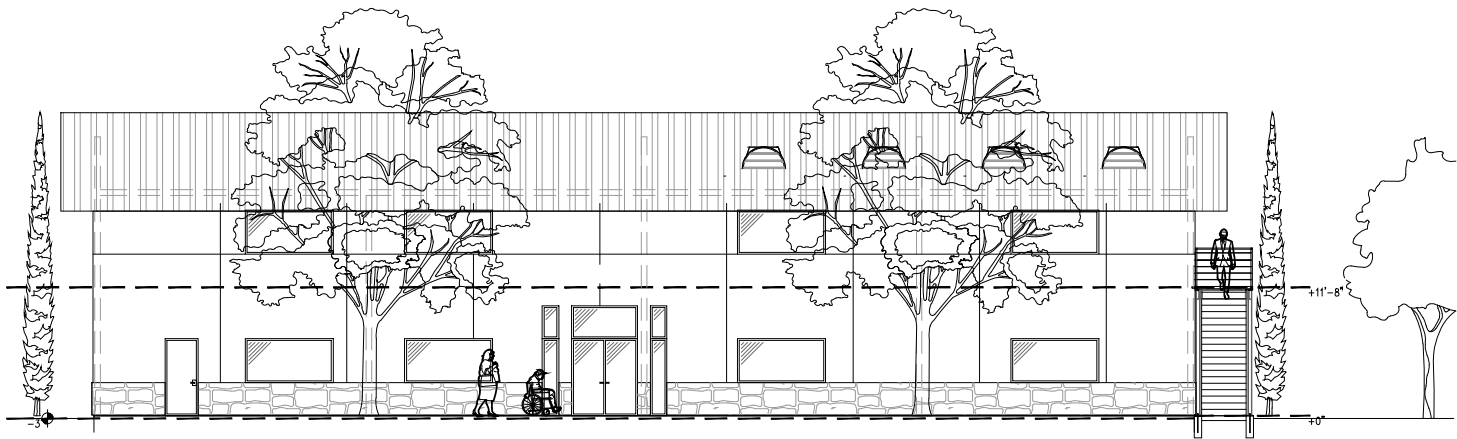


TABOR ROMANIAN

Church of Riverside

PROJECT:

10750 Cochran Ave Riverside CA. 92505
APN # 143-300-001



DESIGN REVIEW SET 12/ 15 / 23



PROFESSIONAL
DESIGN
ASSOCIATES

Landscape Architect

1793 W. Arrow Highway
Riverside, California 92506-4297
(909) 949-6159 • Fax: (909) 985-3405

TABOR ROMANIAN CHURCH
10750 COCHRAN AVENUE,
RIVERSIDE, CA 92505

PROJECT

CONTACT:
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1793 W. ARROW HIGHWAY
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FAX: (909) 985-3405

SHEET TITLE
COVER
SHEET

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NOT FOR
CONSTRUCTION

SCALE AS NOTED
DATE 12-15-2023
DRAWN BY S.D.

REVISIONS
04-25-2025

SHEET NUMBER
A-0.0

GENERAL NOTES

PROJECT DESCRIPTION

The existing Tabor Romanian Church of Riverside is proposing to expand their current campus with a new +/-6,000 square foot new multi-purpose building with fellowship room and kitchen with storage. The new building layout will also include Sunday school rooms, restroom facilities, one conference room, two administration offices to support the current congregation. A portion of the current site infrastructure will also be updated as part of this scope in order to accommodate A.D.A. parking and landscape. The new building will be primarily used for Sunday school and after church service fellowship, with the remainder of the week be subject to administrative day to day activities by the pastor, church board and staff volunteers.

In addition to the new building, a new trash enclosure and playground is being proposed.

Existing Main Sanctuary Building to remain.
Existing Restroom facilities to remain.
Existing Modular building #1 to remain.
Existing Modular building #2 to be removed from site pending new building permit.

Construction timeline to be determined at a deferred submittal.

BUSINESS OPERATIONS PLAN

- Service Schedule:
 - Sunday Morning: 10:00 AM - Worship, Sermon, and Fellowship
 - Sunday Evening: 6:00 PM - Worship, Sermon, and Fellowship
 - Wednesday: 7:00 PM - Midweek Service, Bible Study and Prayer
- Special Events: such as conferences, holiday services, and community outreach programs.
- Leadership and Roles:
 - Pastor (payroll) - Preaching, Leadership, Pastoral Care
 - Worship Team (volunteers) - Music and Worship Coordination
 - Team Coordinator (volunteers) - Organizing volunteers for different tasks (ushers, greeters, hospitality, etc.)
 - Administrative Staff: (volunteers) - Handling administrative tasks, communication, and coordination

PLANNING DATA

Assessor Parcel Number: 143-300-001
Address: 10750 Cochran Avenue
Riverside, California 92505
Neighborhood Name: Commercial - Riverside
Tract/Parcel Map: T.R.A. 009-175
Lot/Parcel: Parcel 1
Zoning: R-1
Property type: Place of Worship
Site Area: 2.48 Acres
Project Description: Multi-Purpose Facility

Overall site area: 2.48 ac - 100%
Total Project area: 0.526 ac (22,930 SF) - 21%

Project Area	S.F.	%
Total developed	22930	100
Building	6000	26
Parking	2625	11
Landscape	12416	54
Hardscape	1889	8

DRAWINGS INDEX

SHEET INDEX

SHEET	DESCRIPTION
A-0.0	COVER SHEET
A-0.1	CONCEPTUAL SITE PLAN
A-1.0	FLOOR PLANS
A-3.0	ROOF PLAN
A-4.0	ELEVATIONS
A-4.1	COLOR ELEVATIONS
C-1	CIVIL TITLE SHEET
C-2	PRECISE GRADING PLAN
C-3	EROSION CONTROL PLAN
E-0.1	PHOTOMETRIC SITE PLAN
E-0.2	PHOTOMETRIC SPEC SHEETS
L-0.1	CONCEPTUAL PLANTING COLOR PLAN
L-1.0	CONCEPTUAL PLANTING PLAN
L-2.0	WALL & FENCE PLAN

VICINITY MAP

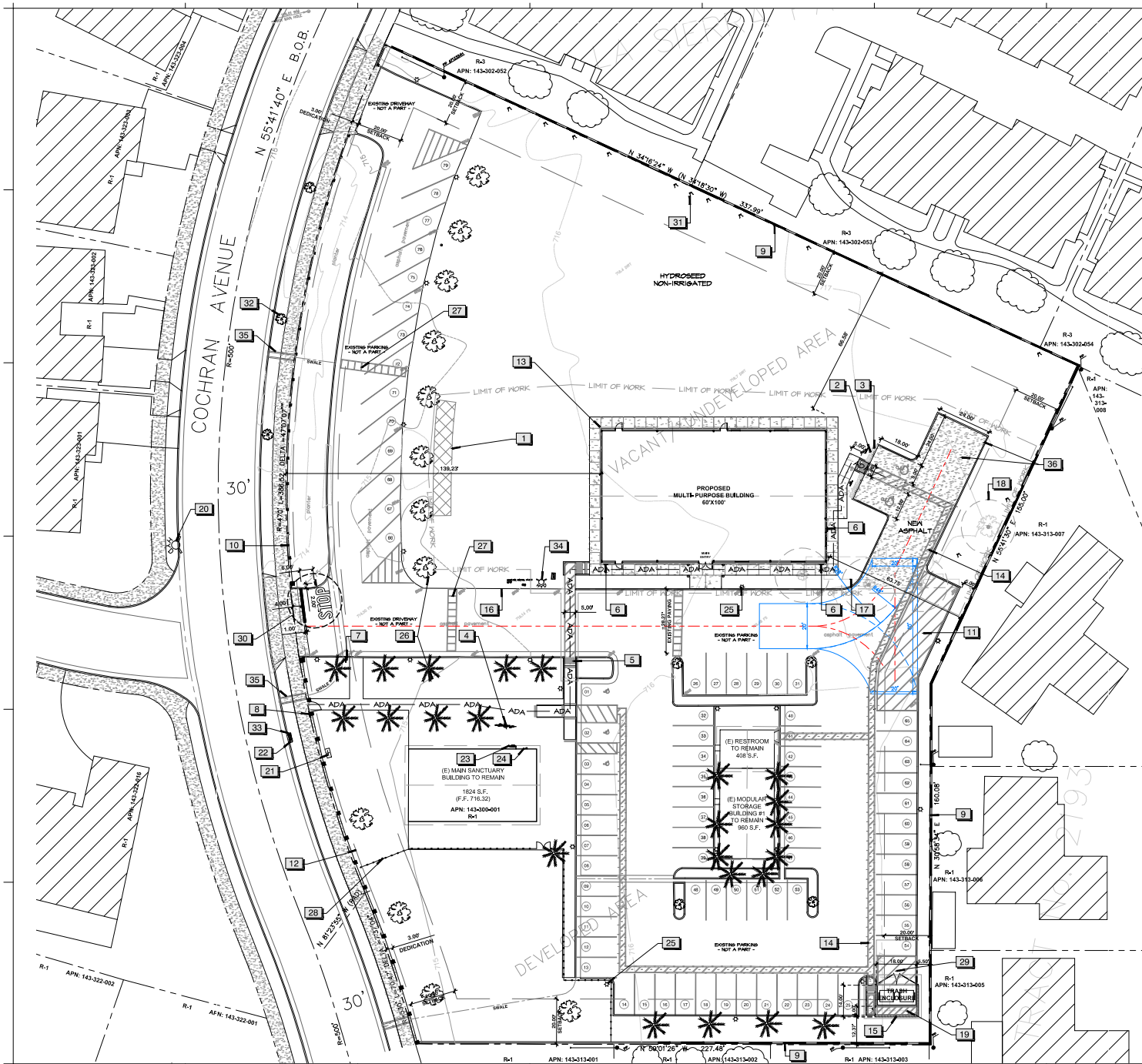


PROJECT LOCATION

BUILDING DATA

BUILDING DEPARTMENT: CITY OF RIVERSIDE
CONSTRUCTION TYPE: IIIB SPRINKLERED
(FIRE PROTECTION PLANS - DEFERRED SUBMITTAL)
NUMBER OF STORIES: 2 STORIES
OCCUPANCY CLASSIFICATION: T.B.D.

ALL WORK IS TO COMPLY WITH THE 2022 EDITIONS OF CALIFORNIA BUILDING CODE.



REFERENCE NOTES SCHEDULE

CODE DESCRIPTION

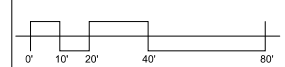
1. BIOTENTION TRENCH, SEE CIVIL PLANS.
2. LINE OF 24" CAR OVERHANG - TYPICAL.
3. PARKING OVERHANG TO BE PLANTED WITH LOW GROUNDCOVER PER CITY STANDARD. SEE LANDSCAPE.
4. 2"X4E SURFACE MOUNTED BIKE RACK (MRL REQUIRED PER CAL GREEN SEC. 5.106.4.1.1)
5. 36" DEEP MIN. DETECTABLE WARNING (DOMES) PAD, PER CBC 11B 705, TYPICAL.
6. ADA ACCESSIBILITY ROUTE SIGN.
7. ADA PARKING ENTRANCE SIGNAGE.
8. ADA PATH OF TRAVEL ENTRANCE SIGN.
9. SITE WALL - SEE WALL & FENCE PLAN.
10. SITE FENCING WITH PILASTER(S) - SEE WALL & FENCE PLAN.
11. FIRE ACCESS, NO PARKING ZONE.
12. 3FT DEDICATION EASEMENT.
13. ROOF OUTLINE.
14. ACCESSIBLE PATH OF TRAVEL.
15. DOUBLE TRASH ENCLOSURE PER CITY STANDARDS. EXISTING GRADE AND DRAINAGE PATTERN TO BE MAINTAINED.
16. (E) ASPHALT PAVING OUTLINE.
17. (E) MODULAR BLDG. 2 TO REMOVE.
18. (E) TREE TO REMOVE, TYPICAL.
19. (E) SHED TO REMOVE.
20. (E) FIRE HYDRANT.
21. (E) BACKFLOW.
22. (E) WATER METER.
23. (E) GAS METER.
24. (E) ELECTRICAL METER.
25. (E) SITE LIGHTING, TYPICAL.
26. (E) TREE OR PALM TO REMAIN, TYPICAL.
27. (E) SPEED BUMP(S) TO REMAIN, TYPICAL, TOTAL OF (3).
28. (E) METAL FENCE & GATE TO REMAIN.
29. TRASH ACCESS, NO PARKING ZONE.
30. STOP BAR, STOP LEGEND AND STOP SIGN AT EGRESS OF PROJECT DRIVEWAY.
31. (E) MORUS ALBA TREES & STUMPS TO BE REMOVED.
32. (E) HANDBRANCHES IMPETIGINOSUS (PINK TRUMPET TREE) STREET TREES TO BE PROTECTED IN PLACE.
33. WATER METER FOR LANDSCAPE IRRIGATION, FINAL LOCATION AND SIZE TO BE DETERMINED.
34. FIRE SERVICE, FINAL LOCATION TO BE DETERMINED.
35. (E) CATCH BASIN(S) AT STREET CURB, TOTAL OF (3).
36. NEW ASPHALT AND CURB PER CIVIL PLANS.

NOTES:

1. SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.
2. SITE PLAN MUST BE REVIEWED BY PLANNING, BUILDING AND FIRE DEPARTMENTS FOR CODE COMPLIANCE.
3. BASE INFORMATION PER PARCEL MAP.
4. CIVIL ENGINEER TO VERIFY ALL SETBACKS AND GRADING INFORMATION.
5. BUILDING FOOTPRINTS MAY CHANGE DUE TO THE FINAL DESIGN ELEVATION STYLE.
6. OPEN SPACE AREA IS SUBJECT TO CHANGE.
7. BUILDING SETBACKS ARE MEASURED FROM PROPERTY LINES TO BUILDING FOUNDATION LINES.



Scale: 1" = 20'-0"



**PROFESSIONAL
DESIGN
ASSOCIATES**

Landscape Architect

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Upland, California 91786-4297
(909) 985-4297 Fax: (909) 985-3405

PROJECT
TABOR ROMANIAN CHURCH
10750 COCHRAN AVENUE,
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SHEET TITLE
**CONCEPTUAL
SITE PLAN**

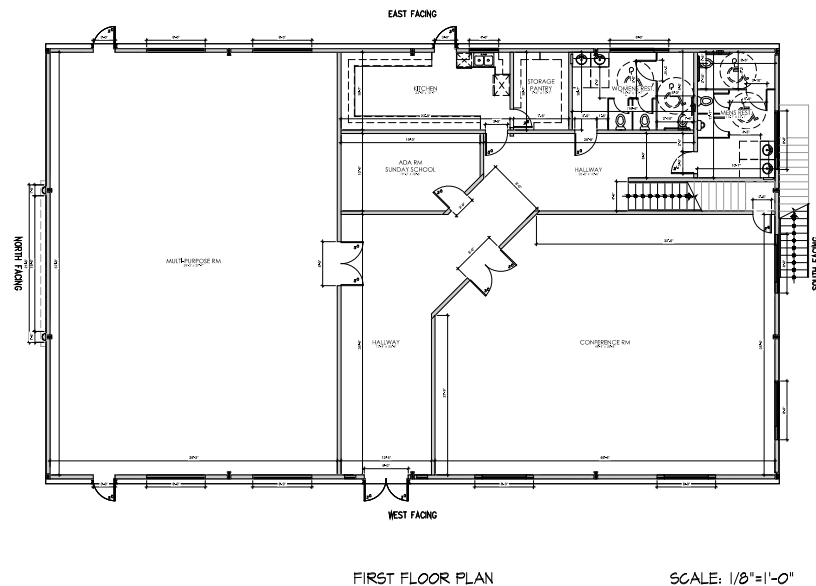
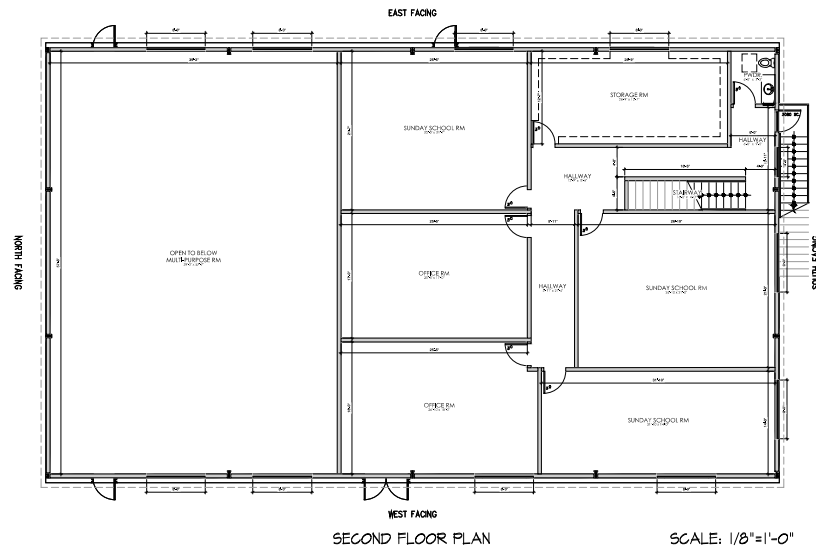
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**NOT FOR
CONSTRUCTION**

SCALE 1" = 20'-0"
DATE 12-15-2023
DRAWN BY S.S.

REVISIONS
02-25-2025

SHEET NUMBER
A-0.1



GENERAL NOTES

- A. REFER TO SHEET A-0 FOR GENERAL NOTES.
- B. FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- C. ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- D. THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- E. PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMI-GLOSS LATEX. REFER ALSO TO GENERAL NOTES FOR ADDITIONAL NOTES.
- F. PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- G. NOT USED.
- H. NOT USED.
- I. USE MOISTURE RESISTANT GYPSUM BOARD AT WET WALLS AND BEHIND PLUMBING FIXTURES.
- J. DIMENSIONS ARE TO FACE OF STUD, UNO.
- K. ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- L. CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED MIN 8" ABOVE FINISH CEILING.
- M. CONTRACTOR SHALL PROVIDE A 5" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCE.
- N. ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- O. ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- Q. EXIT DOOR IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

KEYNOTES



**PROFESSIONAL
DESIGN
ASSOCIATES**
Landscape Architect

1793 W. Arrow Highway
Upland, California 91786-4297
(909) 985-4297 • Fax: (909) 985-3405

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PROJECT

CONTACT:
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SHEET TITLE

**FLOOR
PLANS**

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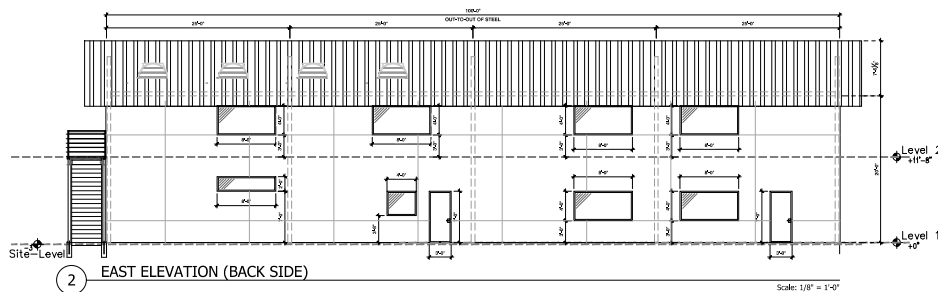
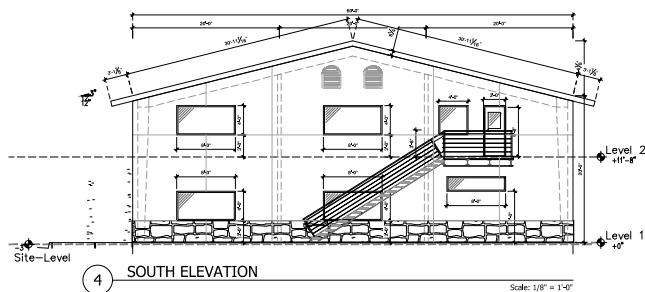
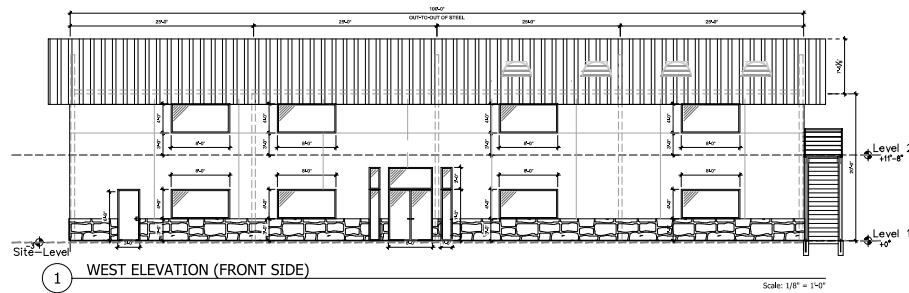
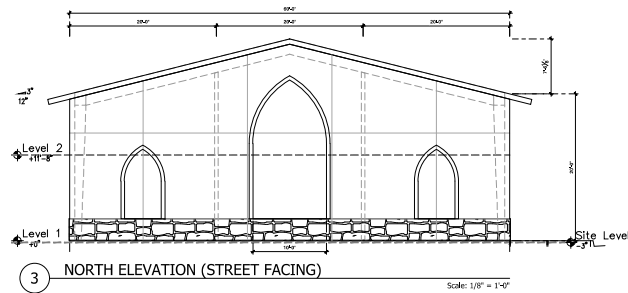
SCALE AS NOTED
DATE 12-15-2023
DRAWN BY S.D.

REVISIONS

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△

SHEET NUMBER

A-1.0



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KEYNOTES



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ASSOCIATES

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SHEET TITLE

ELEVATIONS

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CONSTRUCTION

SCALE AS NOTED
DATE 12-15-2023
DRAWN BY S.C.

REVISIONS
05-06-2024

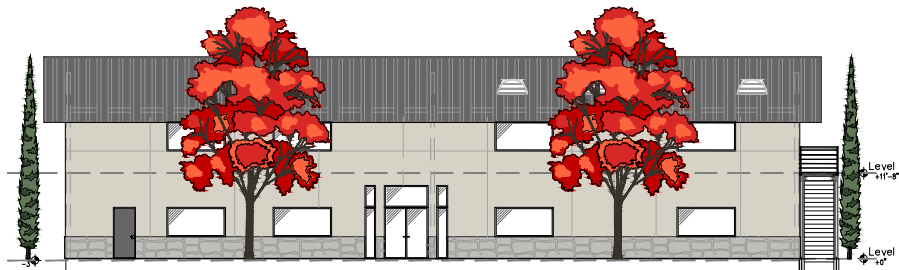
SHEET NUMBER

A-4.0



3 NORTH ELEVATION (STREET FACING)

Scale: 1/8" = 1'-0"



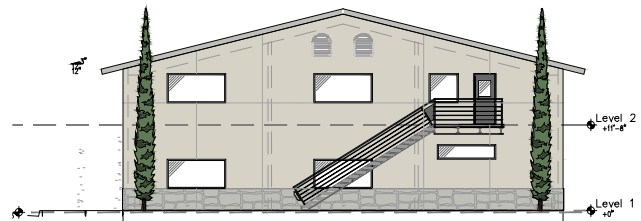
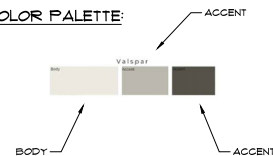
1 WEST ELEVATION (FRONT SIDE)

Scale: 1/8" = 1'-0"

MATERIAL PALETTE:

- EXTERIOR WALLS: STUCCO FINISH.
- WINDOWS: METAL FRAME
- DOORS: METAL SOLID & W/ GLASS
- WAINSCOTING: STONE VENEER
- ROOF SHEETING: METAL, 26 GAUGE, ASH GRAY COLOR FINISH

COLOR PALETTE:



4 SOUTH ELEVATION

Scale: 1/8" = 1'-0"



2 EAST ELEVATION (BACK SIDE)

Scale: 1/8" = 1'-0"

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KEYNOTES



PROFESSIONAL
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ASSOCIATES

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PH: (909) 949-6159 X 212
FAX: (909) 985-3405

SHEET TITLE
**COLOR
ELEVATIONS**

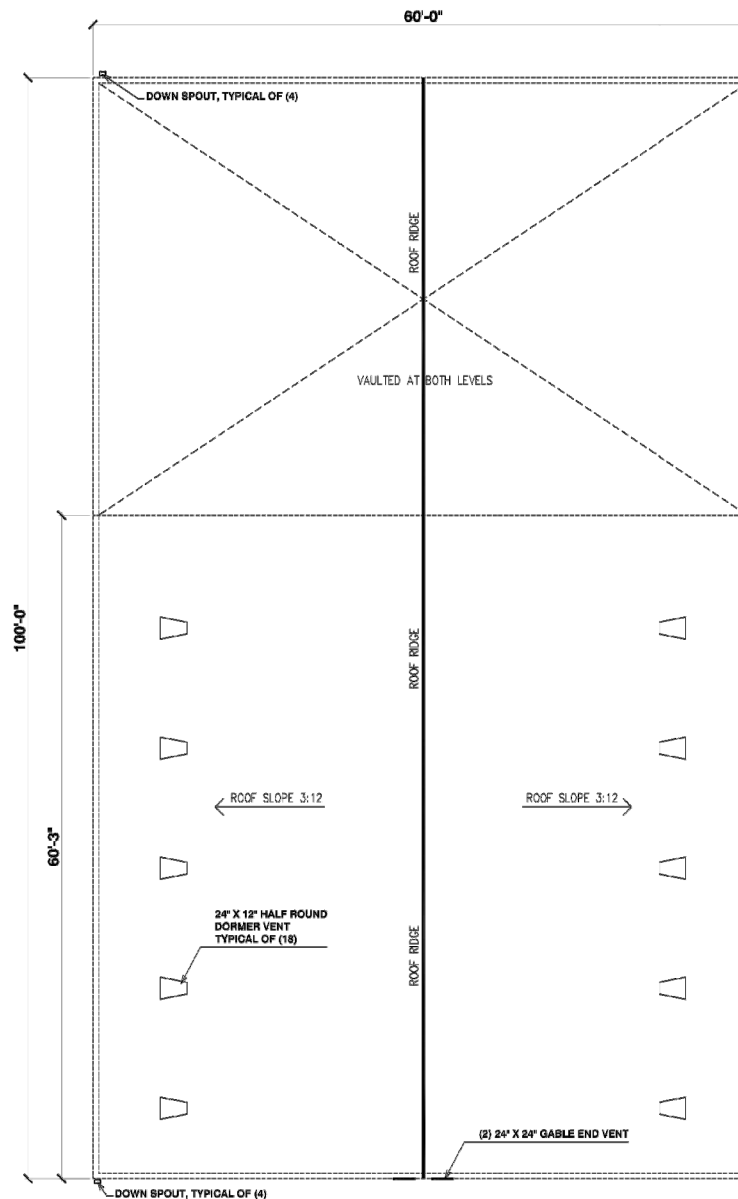
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NOT FOR
CONSTRUCTION

SCALE AS NOTED
DATE 12-15-2023
DRAWN BY S.C.

REVISIONS
1 05-06-2024

SHEET NUMBER
A-4.1



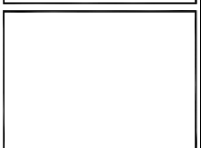
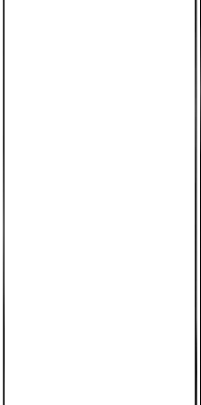
GENERAL NOTES

ANY UNAUTHORIZED REUSE OF THESE PLANS OTHER THAN THE PROJECT AND LOCATION SHOWN IS PROHIBITED.

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NO.	REVISION/ISSUE	DATE

METAL BUILDING
MULTI-PURPOSE USE



ROOF PLAN

DESIGNER:
LAVINIA PANTEA
lapantea@gmail.com

PROJECT NAME AND ADDRESS:
TABOR CHRISTIAN CHURCH
10750 COCHRAN AVE
RIVERSIDE, CA 92505

PROJECT METAL BUILD	SHEET A-3.0
DATE DEC 2023	
SCALE AS NOTED	

GRADING NOTES:

1. ALL GRADING SHALL CONFORM TO THE RIVERSIDE MUNICIPAL CODE, TITLE 17 AND THE CURRENT CITY ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE.
2. ALL PROVISIONS OF THE PRELIMINARY SOIL REPORT PREPARED BY S. & L. GEOTECHNICAL ENGINEERING, INC., DATED DECEMBER 5, 2018 SHALL BE COMPLIED WITH DURING GRADING OPERATIONS. CITY PROJECTS TAX CODE NO. 69-100, C.P.D. DATE:
3. THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ON SITE OR OFF-SITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRAINAGE LOCATIONS OR SIZES, PARKING LOT STRUCTURAL CONDITIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBING, OFF-SITE REMEDIATION FACILITIES OR OTHER ITEMS NOT RELATED TO GRADING. ANY SUCH IMPROVEMENTS MUST BE DESIGNED AND PERMITTED SEPARATELY FROM APPROVED BUILDING PERMIT PLANS. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
4. CERTIFICATION FROM THE REGISTERED (CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT) STATING THAT THE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN, AND A COMPACTOR REPORT FOR EACH GRADE ENGINEER FOR WHICH THE BUILDING OR ROADWAY SURFACES BEING ISSUED.
5. CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
 - a. ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING ROUGH GRADING OPERATIONS AND THEREAFTER, UNTIL INSULATION OF FINAL GROUND COVER. (SEE GRADING PLANS FOR FINAL GROUNDCOVER).
 - b. ALL SLOPE PROTECTION SHALES TO BE CONSTRUCTED AT THE SAME TIME AS BANKS ARE GRADED.
6. THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SWPPP COMPLIANCE TO PROVIDE ACCESS TO ADJACENT PROPERTIES. EROSION CONTROL MEASURES (E.G. HYDROSEEDING, MULCHED OF STRAW, GRAVEL-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF DIRT, SEDIMENT OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO ADDITIONAL EROSION CONTROL MEASURES NOTED ABOVE DURING THE PERIOD OCTOBER 1 - 31.
7. AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND CHECK DAMS. SILT AND DEBRIS SHALL BE REMOVED FROM CITY OF RIVERSIDE STREETS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THIS PROJECT.
8. ANY ON-SITE RETAINING WALLS SHOWN ON THIS PLAN THAT ARE UNDER 3 FEET IN HEIGHT AND SUPPORT A BURCHASE ON THAT ARE OVER 3 FEET IN HEIGHT REQUIRE SEPARATE REVIEW, APPROVAL AND A BUILDING PERMIT FROM THE BUILDING AND SAFETY DIVISION, COMMUNITY DEVELOPMENT DEPARTMENT. ANY NECESSARY RETAINING WALLS ON THE PERMETER OF THIS SITE SHALL BE IN PLACE PRIOR TO GRADING. THE PERMETER RETAINING WALLS (BURNING OF THE GRADING PERMIT, APPROVED SEQUENCED GRADING WITH 1 1/2-INCH MAXIMUM SLOPES TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR ISSUANCE OF A GRADING PERMIT PRIOR TO THE APPROVED BY THE BUILDING INSPECTOR PRIOR TO ISSUANCE OF THE GRADING PERMIT. DO NOT PUT THIS NOTE ON PLAN).
9. ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
10. ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. THE GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
11. THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH UTILITIES.
12. IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTATION HAS BEEN OBTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PAD(S) AND ON ALL FILL SLOPES.
13. IT IS THE SOIL ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRADING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PAD(S) AND ON ALL FILL SLOPES.
14. EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE IS NOT RESPONSIBLE FOR THEIR ACCURACY.
15. FOR GRADINGS OF AREAS OF 1 ACRES OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB), SANTA ANA REGION AND/OR THE CITY OF RIVERSIDE.
16. GRADING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. ON WEEKDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRADING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, § 38.010, ORDINANCE NO. 8273)

THE ABOVE ITEMS ARE THE MINIMUM INFORMATION REQUIRED FOR SUBMITTING A GRADING PLAN FOR REVIEW. THEREFORE, AFTER REVIEW, ADDITIONAL INFORMATION MAY STILL BE REQUIRED. IN SOME CASES, THE GRADING PLAN WILL BE SUBJECTED TO ENVIRONMENTAL REVIEW PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. THE PLANNING DIVISION, COMMUNITY DEVELOPMENT DEPARTMENT WILL PERFORM THE ENVIRONMENTAL REVIEW AND WILL INFORM THE APPLICANT IF ADDITIONAL INFORMATION WILL BE REQUIRED.

VICINITY MAP
(NOT TO SCALE)

N.T.S.

OWNER INFORMATION

NAME: TABOR ROMANIAN CHURCH OF RIVERSIDE
ADDRESS: 10750 COCHRAN AVE.
CITY OF RIVERSIDE, CA
PHONE NUMBER: 802-373-3364
EMAIL ADDRESS: GALACOTA@GMAIL.COM

SITE INFORMATION

ADDRESS: 10750 COCHRAN AVE.
CITY OF RIVERSIDE, CA
APN: 143-300-001
LEGAL DESCRIPTION:
2.48 ACRES IN POR LOT 1 BLK 54 MB 011/042 LA
SIERRA GARDENS AND FOR LOT 4 BLK 51 MB 011/042
LA SIERRA GARDENS
SITE ACREAGE: 0.526

CIVIL ENGINEER

ITF & ASSOCIATES, INC.
JEFF TSALYUK
ADDRESS: 11278 LOS ALAMITOS BLVD., #354
LOS ALAMITOS, CA 90720
PHONE NUMBER: 949-468-9840
EMAIL ADDRESS: jeff@itf-associates.com
BUSINESS TAX ID: 12362682
EXPIRATION DATE: 12/31/2024

SOILS ENGINEER

COMPANY NAME: S&T GEOTECHNICAL ENGINEERING, INC
OWNER/ENGINEER: A. WAHAB NOON
ADDRESS: 18437 PROCTOR AVE.
CITY OF INDUSTRY, CA 91745
PHONE NUMBER: 626-961-4834
EMAIL ADDRESS: moekud.rahman@s-t-engineering.com
BUSINESS TAX ID:
EXPIRATION DATE:

CONSTRUCTION NOTES:

- ON-SITE GRADING
- ① CONSTRUCT 6" PCC CURB PER SPPWC STD. PLAN 121-2.
 - ② CONSTRUCT CURB OPENING PER DETAIL HEREON.
 - ③ CONSTRUCT PAVEMENT SECTION PER SOILS ENGINEER RECOMMENDATION.

PRIVATE ENGINEER'S NOTES:

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

SHEET INDEX

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
1	TITLE SHEET
2	PRECISE GRADING
3	EROSION CONTROL

CASE NUMBERS

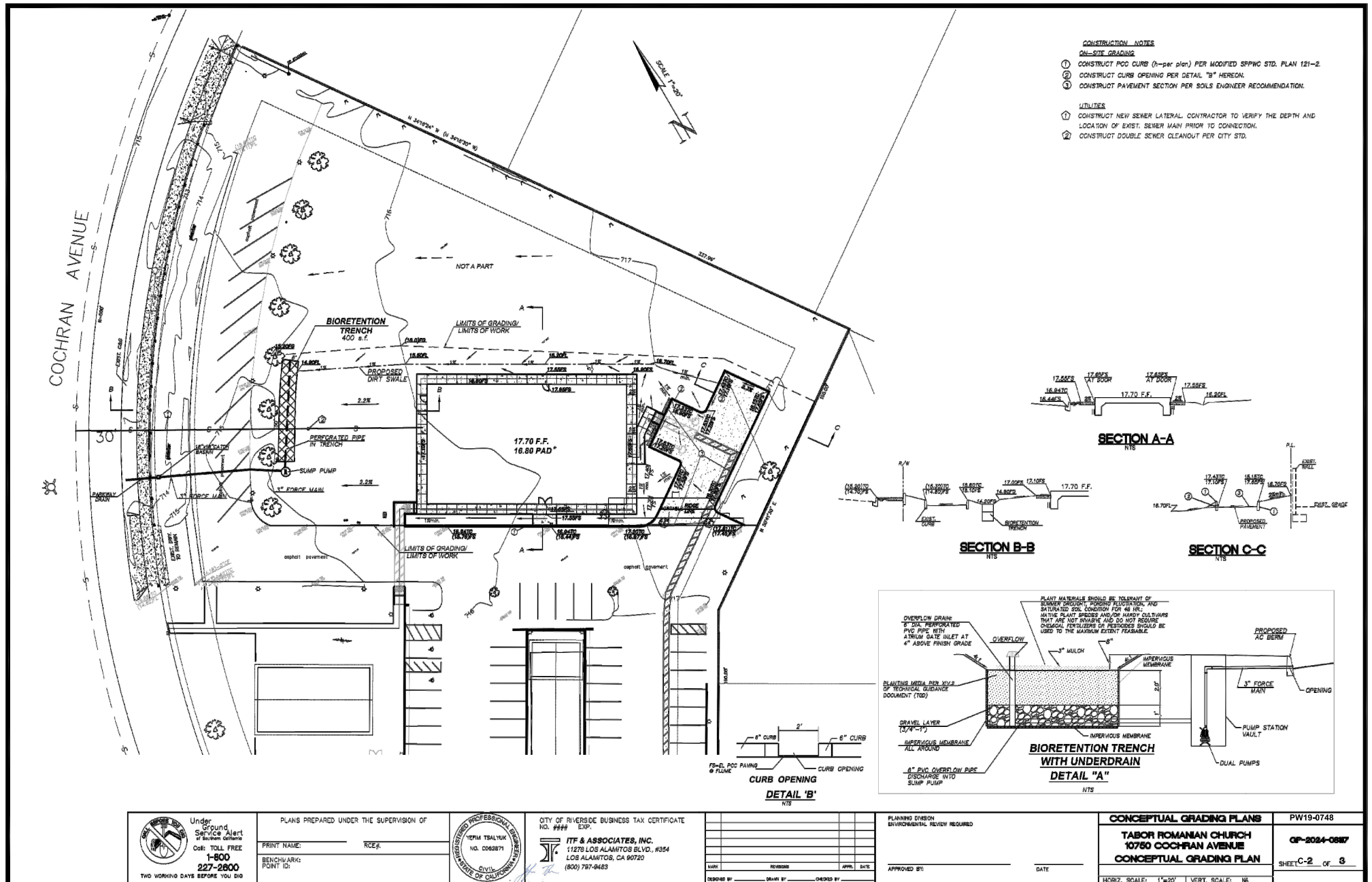
PLANNING CASE:
WOMP:
STREET IMPROVEMENTS:
STORM DRAIN IMPROVEMENTS: N/A
SEWER IMPROVEMENTS:

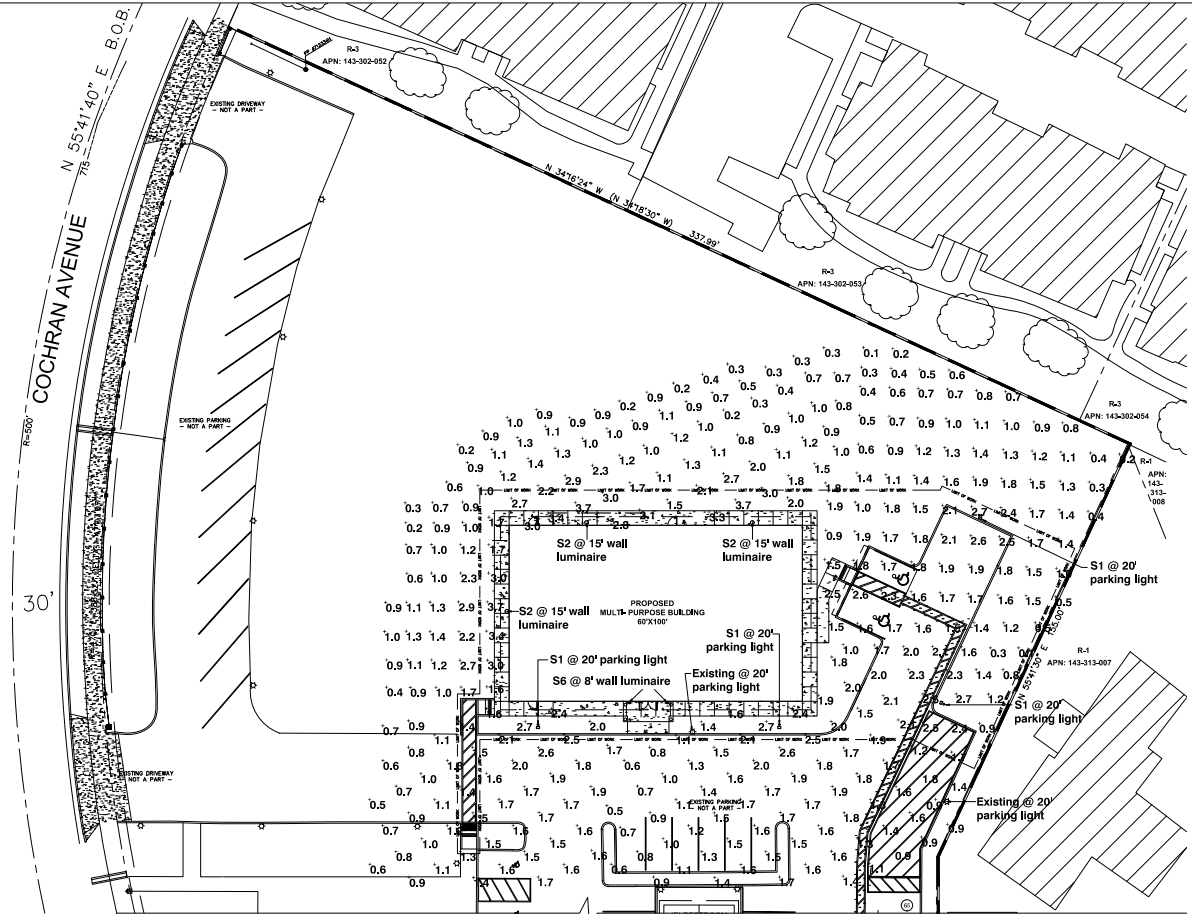
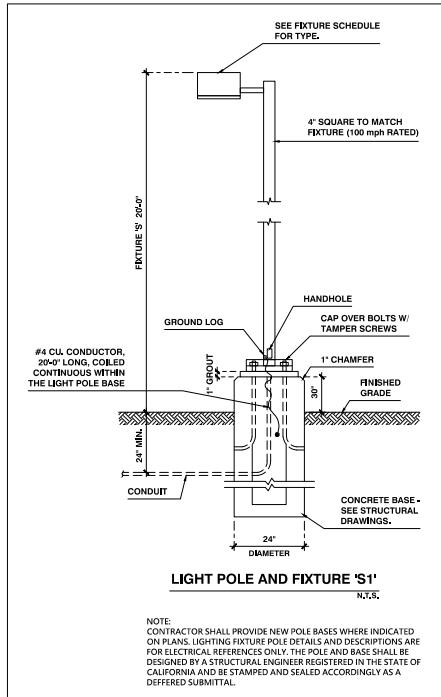
EARTHWORK QUANTITIES

CUT (RAW)	5 CY
FILL (RAW)	50 CY
GROSS AREA	22,930 SF
DISTURBED AREA	22,930 SF

WDID: ___N/A___

	Under Ground Service Alert of Southern California Call: TOLL FREE 1-800-227-2800 TWO WORKING DAYS BEFORE YOU DIG	PLANS PREPARED UNDER THE SUPERVISION OF PRINT NAME: RCEJ SIGNATURE: [Signature] LICENSE NO. 0082871 CIVIL ENGINEER STATE OF CALIFORNIA	CITY OF RIVERSIDE BUSINESS TAX CERTIFICATE NO. 0000 EXP. I/F & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., #354 LOS ALAMITOS, CA 90720 (800) 797-0483	PLANNING DIVISION ENVIRONMENTAL REVIEW REQUIRED APPROVED BY: [Signature] DATE:	CONCEPTUAL GRADING PLANS Tabor Romanian Church 10760 COCH-RAN AVENUE TITLE SHEET SHEET C-1 OF 3
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1 PHOTOMETRIC SITE PLAN
SCALE: 1" = 20'-0"

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE FC AFG	+	1.4 fc	15.3 fc	0.0 fc	N/A	N/A

SCHEDULE								
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
	S1	4	Lithonia Lighting	DSX0 LED P6 40K T5W MVOLT	DSX0 LED P6 40K T5W MVOLT	16466	0.91	134
	S2	3	Lithonia Lighting	DSXW1 LED 20C 1000 40K T2M MVOLT	DSXW1 LED (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 1000 mA	7373	0.91	73.2
	S6	2	Lithonia Lighting	LDN6 40/10 LO6AR LSS WL FCM	6IN LDN, 4000K, 1000LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR CEILING MOUNT WET LOCATION	1054	0.91	12.75

GENERAL NOTES
ANY UNAUTHORIZED REUSE OF THESE PLANS OTHER THAN THE PROJECT AND LOCATION SHOWN IS PROHIBITED.
ALL IDEAS, DESIGNS AND PLANS REPRESENTED BY THE DRAWINGS ARE THE EXCLUSIVE PROPERTY OF THE DESIGNER AND SHALL NOT BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE EXPRESS PRIOR WRITTEN PERMISSION OF SAID DESIGNER.

No.	REVISION/ISSUE	DATE
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**METAL BUILDING
MULTI-PURPOSE USE**

**PHOTOMETRIC
SITE PLAN**

DESIGNER:
LAVINIA PANTEA
lapantea@gmail.com

PROJECT NAME AND ADDRESS:
TABOR CHRISTIAN CHURCH
10750 COCHRAN AVE
RIVERSIDE, CA 92505

PROJECT	SHEET
METAL BUILD	E0.1
DATE DEC 2023	
SCALE AS NOTED	

**D-Series Size 0
LED Area Luminaire**

S1

Specifications

SPH: 0.64 ft (195 mm)

Length: 26.18" (665 mm)

Width: 4.08" (104 mm)

Height H1: 2.24" (57 mm)

Height H2: 7.68" (195 mm)

Weight: 22 lbs (10 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: D6X1 LED P4 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DOBIB

Item	Item Description	Item Description	Item Description	Item Description	Item Description
D6X1 LED	6" Dia. LED Luminaire	P4	40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DOBIB		

**D-Series Size 1
LED Area Luminaire**

S2

Specifications

SPH: 0.68 ft (206 mm)

Length: 32.71" (833 mm)

Width: 4.24" (108 mm)

Height H1: 2.24" (57 mm)

Height H2: 7.68" (195 mm)

Weight: 22 lbs (10 kg)

Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: D6X1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DOBIB

Item	Item Description	Item Description	Item Description	Item Description	Item Description
D6X1 LED	6" Dia. LED Luminaire	P7	40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DOBIB		

LITHONIA LIGHTING

FEATURES & SPECIFICATIONS

LED LUMINAIRE — High performance LED luminaire, conforms to most photometric standards.

LED LUMINAIRE — High performance LED luminaire, conforms to most photometric standards.

LED LUMINAIRE — High performance LED luminaire, conforms to most photometric standards.

Ordering Information

EXAMPLE: D6X1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DOBIB

Item	Item Description	Item Description	Item Description	Item Description	Item Description
D6X1 LED	6" Dia. LED Luminaire	P7	40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DOBIB		

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METAL BUILDING MULTI-PURPOSE USE

REVISION/ISSUE DATE

PHOTOMETRIC SPEC SHEETS

DESIGNER:

LAVINIA PANTEA
lapantea@gmail.com

PROJECT NAME AND ADDRESS:

TABOR CHRISTIAN CHURCH
10750 COCHRAN AVE
RIVERSIDE, CA 92505

PROJECT

METAL BUILD

DATE

DEC 2023

SCALE

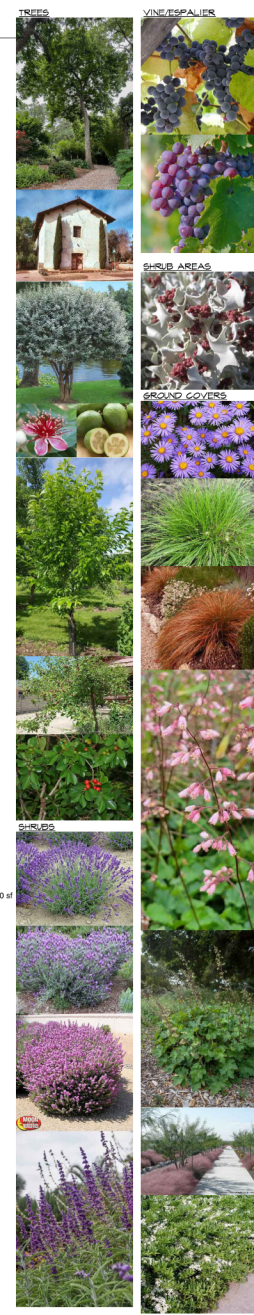
AS NOTED

SHEET

E0.2



PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	IN COLS	SPACING	QTY
TREES						
AR	AR	Arecastrum romanzoffianum Queen Palm	—	—	—	23
CI	CI	Carya illinoensis Pecan Tree	75H x 40W	IV, M	—	7
CT	CT	Cupressus sempervirens 'Monshel' Tiny Tower Italian Cypress	20-30 H X 3 W	IV, L	—	6
FV	FV	Felipa sellowiana Pineapple Guava	5 gal.	IV, M	—	5
PA	PA	Platanus x acerifolia London Plane Tree	—	—	—	7
PB	PB	Prunus salicina 'Burgundy' Burgundy Plum	10-15H & W	IV, M	—	2
PS	PS	Prunus salicina 'Santa Rosa' Santa Rosa Plum	25-40H	IV, M	—	2
PC	PC	Paidum cattleianum Strawberry Guava	12-25H x 10-25W (Maint. at 12)	IV, M	—	4
SHRUBS						
E	E	Lavandula angustifolia 'Royal Velvet' Royal Velvet English Lavender	1 gal.	IV, L	48" o.c.	38
L	L	Lavandula stoechas Spanish Lavender	2 gal.	IV, L	48" o.c.	26
T	T	Leucophyllum frutescens Texas Sage	3 gal. X 4-6W	IV, L	48" o.c.	59
S	S	Salvia leucantha Mexican Bush Sage	3 gal. X 3-4W	IV, L	48" o.c.	22
VINE/ESPALIER						
VC	VC	Vitis latifolia Wild Grape	3 gal.	IV, M	96" o.c.	12
VV	VV	Vitis vinifera Grape	3 gal.	IV, M	96" o.c.	12
SHRUB AREAS						
AH	AH	Atriplex hymenelytra Desert Holly Saltbush	2-3H X 2-3W	IV, VL	36" o.c.	47
GROUND COVERS						
AG	AG	Aster alpinus 'Kohleri' Colt's Alpine Aster	4" flat	IV, L	24" o.c.	47
CA	CA	Carex albicans White-tipped Sedge	4" flat	IV, M	36" o.c.	14
CB	CB	Carex comans 'Bronze' Bronze Hair Sedge	4" flat	IV, M	36" o.c.	16
HH	HH	Heuchera hirsutissima 'Santa Rosa' Coral Bells	4" flat	IV, L	36" o.c.	59
HM	HM	Heuchera maxima Island Alum Root	4" flat	IV, L	36" o.c.	15
TH	TH	Hydrocotyle Drought Tolerant Blend	seed	IV, L	—	18,730 sf
MP	MP	Myoporum parvifolium 'Pink' Pink Trailing Myoporum	4" flat	IV, L	24" o.c.	424



PROFESSIONAL DESIGN ASSOCIATES
Landscape Architect
1733 W. Arrow Highway
Upland, California 91786-4297
(909) 985-4297 Fax (909) 985-3405

PROJECT

TABOR ROMANIAN CHURCH
10750 COCHRAN AVENUE,
RIVERSIDE, CA 92505

CONTACT:
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1733 W. ARROW HIGHWAY
UPLAND, CA 91786-4297
PH: (909) 949-6159 X 212
FAX: (909) 985-3405

SHEET TITLE

CONCEPTUAL PLANTING COLOR PLAN

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NOT FOR CONSTRUCTION

SCALE 1" = 20'-0"

DATE 12-15-2023

DRAWN BY S.C.

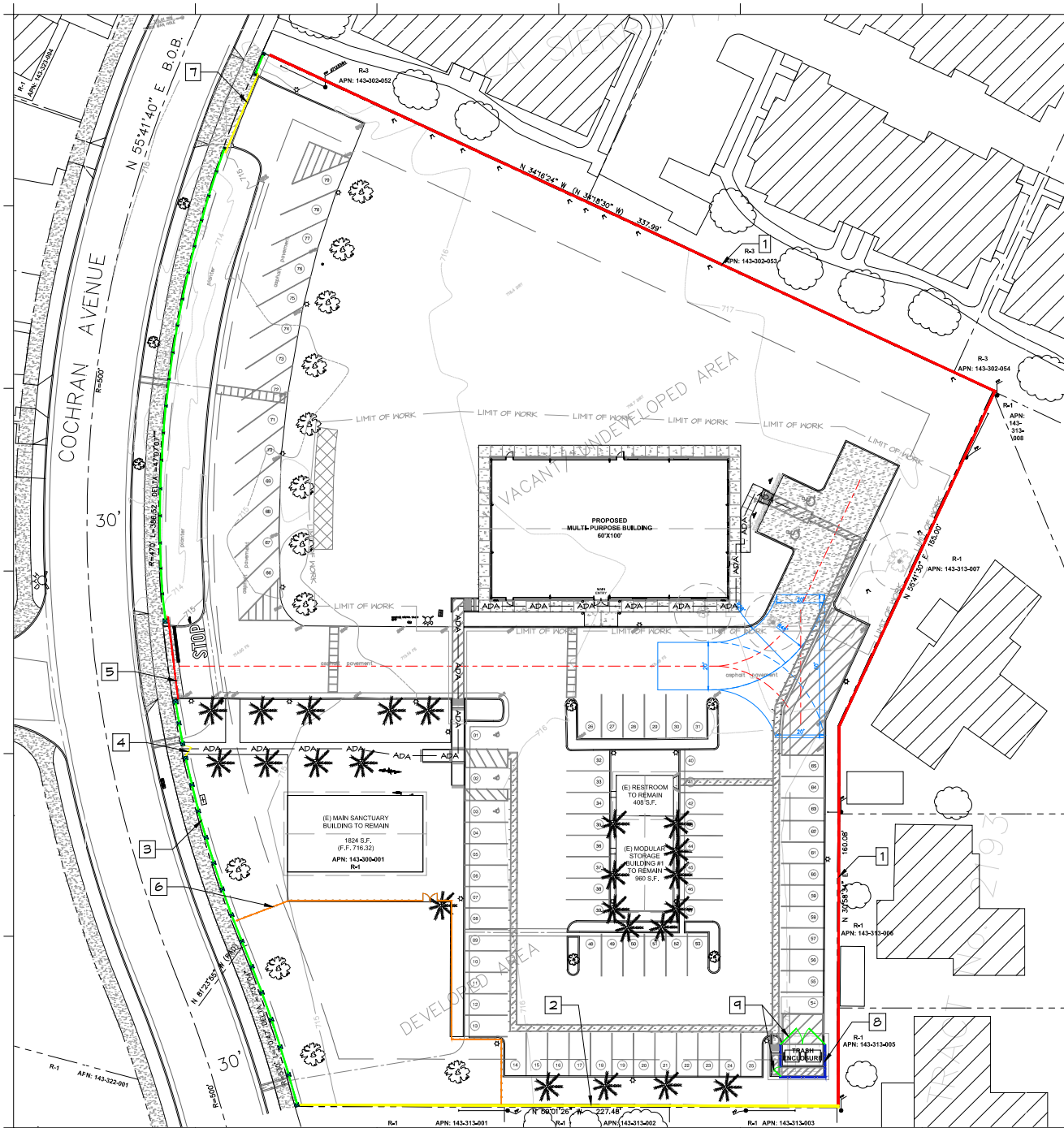
REVISIONS

1	06-25-2025

SHEET NUMBER

L-0.1

PR-2021-000950 (CUP, DR)
Exhibit 7 - Project Plans



WALL & FENCE LEGEND

NUMBER	SYMBOL	DESCRIPTION
1		EXISTING 6'-0" HIGH FREESTANDING OFF-SITE PROPERTY LINE PERIMETER BLOCK WALL TO REMAIN IN PLACE AS IS.
2		EXISTING 6'-0" HIGH FREESTANDING ON-SITE PROPERTY LINE PERIMETER BLOCK WALL TO REMAIN IN PLACE AS IS.
3		EXISTING 6'-0" HIGH FREESTANDING ON-SITE PROPERTY LINE PERIMETER LOW BLOCK WALL (SPLIT FACE) WITH PLASTERS AND WROUGHT IRON FENCE ON TOP TO REMAIN IN PLACE AS IS.
4		EXISTING 6'-0" HIGH & 5'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON PEDESTRIAN GATE TO REMAIN IN PLACE AS IS.
5		EXISTING 6'-0" & 5'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON VEHICULAR GATE TO REMAIN IN PLACE AS IS.
6		EXISTING 5'-0" HIGH IRON FENCE AND 7'-0" WIDE DOUBLE GATE TO REMAIN.
7		EXISTING 6'-0" & 5'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON VEHICULAR EMERGENCY ONLY GATE, NORMALLY CLOSED, TO REMAIN.
8		NEW 55' HIGH TRASH ENCLOSURE SPLIT FACE BLOCK WALL TO MATCH FRONT WALL/PLASTER.
9		NEW 4' WIDE ACCESS IRON GATE TO MATCH EXISTING IRON FENCE/GATE ON PROPERTY, COLOR TO MATCH EXISTING FRONT WROUGHT IRON FENCE. 15' WIDE TRASH ACCESS DOUBLE GATE, COLOR TO MATCH EXISTING FRONT WROUGHT IRON FENCE.



**PROFESSIONAL
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ASSOCIATES**
Landscape Architect

1753 W. Arrow Highway
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(909) 949-6159 Fax: (909) 985-3405

PROJECT
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10750 COCHRAN AVENUE,
RIVERSIDE, CA 92505

CONTACT:
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1793 W. ARROW HIGHWAY
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PH: (909) 949-6159 X 212
FAX: (909) 985-3405

SHEET TITLE
**CONCEPTUAL
WALL & FENCE
PLAN**

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**NOT FOR
CONSTRUCTION**

SCALE 1" = 20'-0"
DATE 12-15-2023
DRAWN BY S.C.

REVISIONS

1
2
3

SHEET NUMBER

L-2.0

