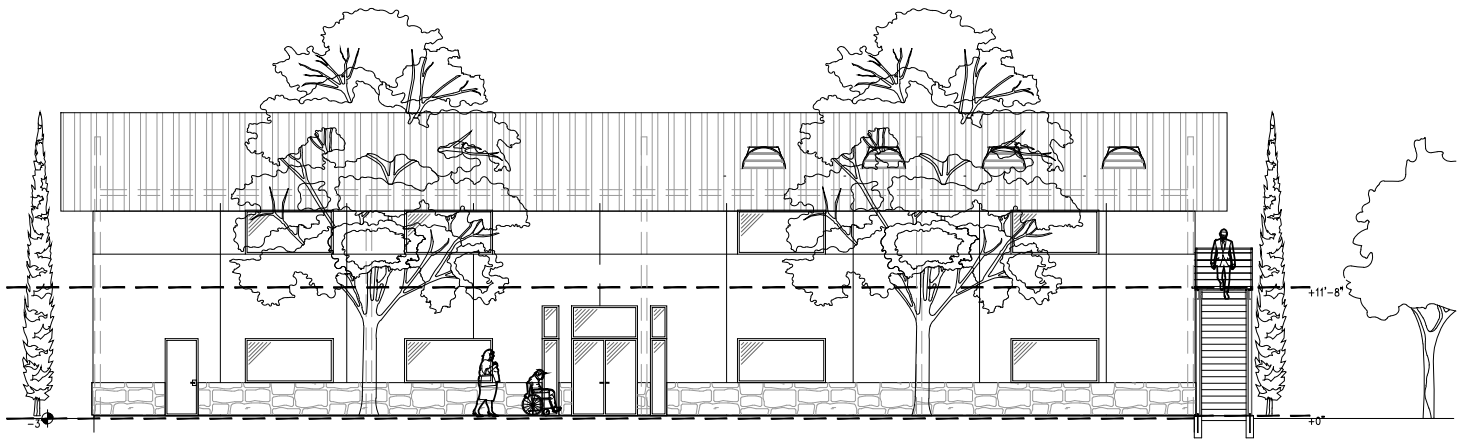


# TABOR ROMANIAN

## Church of Riverside

PROJECT:

10750 Cochran Ave Riverside CA. 92505  
APN # 143-300-001



DESIGN REVIEW SET 12/ 15 / 23



PROFESSIONAL  
DESIGN  
ASSOCIATES

Landscape Architect

1793 W. Arrow Highway  
Riverside, California 92506-4297  
(909) 949-6159 • Fax: (909) 985-3405

TABOR ROMANIAN CHURCH  
10750 COCHRAN AVENUE,  
RIVERSIDE, CA 92505

PROJECT

CONTACT:  
SERGIU CAPALNA  
1793 W. ARROW HIGHWAY  
UPLAND, CA 91786-4297  
PH: (909) 949-6159 X 212  
FAX: (909) 985-3405

SHEET TITLE  
**COVER  
SHEET**

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NOT FOR  
CONSTRUCTION

SCALE AS NOTED  
DATE 12-15-2023  
DRAWN BY S.D.

REVISIONS  
1. 04-25-2025

SHEET NUMBER  
**A-0.0**

### GENERAL NOTES

### PROJECT DESCRIPTION

The existing Tabor Romanian Church of Riverside is proposing to expand their current campus with a new +/-6,000 square foot new multi-purpose building with fellowship room and kitchen with storage. The new building layout will also include Sunday school rooms, restroom facilities, one conference room, two administration offices to support the current congregation. A portion of the current site infrastructure will also be updated as part of this scope in order to accommodate A.D.A. parking and landscape. The new building will be primarily used for Sunday school and after church service fellowship, with the remainder of the week be subject to administrative day to day activities by the pastor, church board and staff volunteers.

In addition to the new building, a new trash enclosure and playground is being proposed.

Existing Main Sanctuary Building to remain.  
Existing Restroom facilities to remain.  
Existing Modular building #1 to remain.  
Existing Modular building #2 to be removed from site pending new building permit.

Construction timeline to be determined at a deferred submittal.

### BUSINESS OPERATIONS PLAN

- Service Schedule:
  - Sunday Morning: 10:00 AM - Worship, Sermon, and Fellowship
  - Sunday Evening: 6:00 PM - Worship, Sermon, and Fellowship
  - Wednesday: 7:00 PM - Midweek Service, Bible Study and Prayer
- Special Events: such as conferences, holiday services, and community outreach programs.
- Leadership and Roles:
  - Pastor (payroll) - Preaching, Leadership, Pastoral Care
  - Worship Team (volunteers) - Music and Worship Coordination
  - Team Coordinator (volunteers) - Organizing volunteers for different tasks (ushers, greeters, hospitality, etc.)
  - Administrative Staff: (volunteers) - Handling administrative tasks, communication, and coordination

### PLANNING DATA

Assessor Parcel Number: 143-300-001  
Address: 10750 Cochran Avenue  
Riverside, California 92505  
Neighborhood Name: Commercial - Riverside  
Tract/Parcel Map: T.R.A. 009-175  
Lot/Parcel: Parcel 1  
Zoning: R-1  
Property type: Place of Worship  
Site Area: 2.48 Acres  
Project Description: Multi-Purpose Facility

Overall site area: 2.48 ac - 100%  
Total Project area: 0.526 ac (22,930 SF) - 21%

Project Area	S.F.	%
Total developed	22930	100
Building	6000	26
Parking	2625	11
Landscape	12416	54
Hardscape	1889	8

### DRAWINGS INDEX

SHEET	DESCRIPTION
A-0.0	COVER SHEET
A-0.1	CONCEPTUAL SITE PLAN
A-1.0	FLOOR PLANS
A-3.0	ROOF PLAN
A-4.0	ELEVATIONS
A-4.1	COLOR ELEVATIONS
C-1	CIVIL TITLE SHEET
C-2	PRECISE GRADING PLAN
C-3	EROSION CONTROL PLAN
E-0.1	PHOTOMETRIC SITE PLAN
E-0.2	PHOTOMETRIC SPEC SHEETS
L-0.1	CONCEPTUAL PLANTING COLOR PLAN
L-1.0	CONCEPTUAL PLANTING PLAN
L-2.0	WALL & FENCE PLAN

### VICINITY MAP

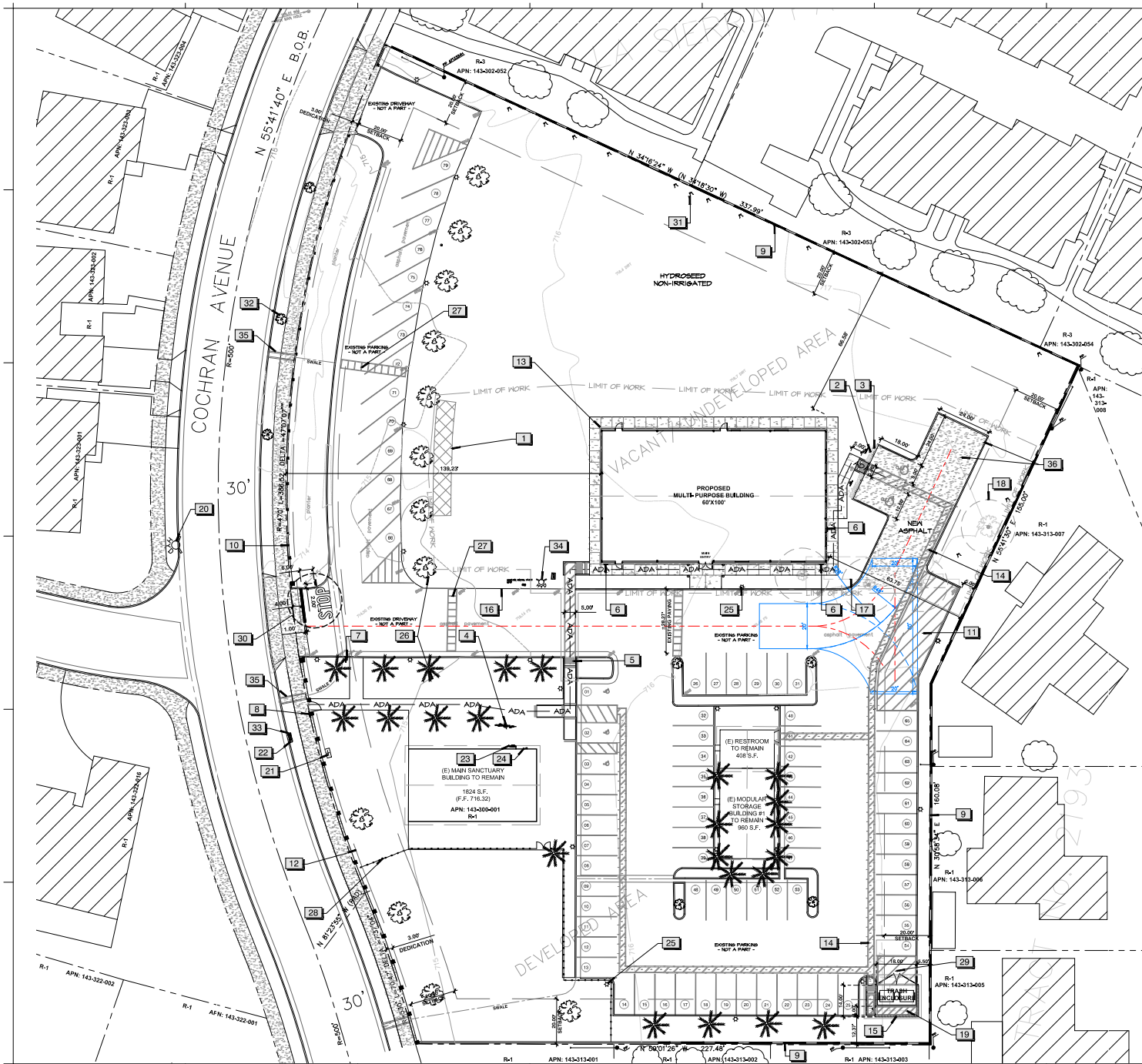


PROJECT LOCATION

### BUILDING DATA

BUILDING DEPARTMENT: CITY OF RIVERSIDE  
CONSTRUCTION TYPE: IIIB SPRINKLERED  
(FIRE PROTECTION PLANS - DEFERRED SUBMITTAL)  
NUMBER OF STORIES: 2 STORIES  
OCCUPANCY CLASSIFICATION: T.B.D.

ALL WORK IS TO COMPLY WITH THE 2022 EDITIONS OF CALIFORNIA BUILDING CODE.

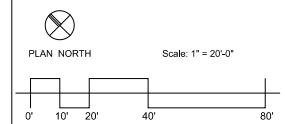


# REFERENCE NOTES SCHEDULE

- | CODE | DESCRIPTION  |
|------|--|
| 1    | BIORETENTION TRENCH, SEE CIVIL PLANS.  |
| 2    | LINE OF 24" CAR OVERHANG - TYPICAL.  |
| 3    | PARKING OVERHANG TO BE PLANTED WITH LOW GROUNDCOVER PER CITY STANDARD. SEE LANDSCAPE.            |
| 4    | 2-INCH SURFACE MOUNTED BIKE RACK. (MRL REQUIRED PER CAL GREEN SEC. 5.106.4.1.1)                  |
| 5    | 36" DEEP MIN. DETECTABLE WARNING (DOMES) PAD, PER CBC 11B 705, TYPICAL.                          |
| 6    | ADA ACCESSIBILITY ROUTE SIGN.  |
| 7    | ADA PARKING ENTRANCE SIGNAGE.  |
| 8    | ADA PATH OF TRAVEL ENTRANCE SIGN.  |
| 9    | SITE WALL - SEE WALL & FENCE PLAN.   |
| 10   | SITE FENCING WITH PILASTER(S) - SEE WALL & FENCE PLAN.   |
| 11   | FIRE ACCESS, NO PARKING ZONE.  |
| 12   | 3FT DEDICATION EASEMENT.   |
| 13   | ROOF OUTLINE.  |
| 14   | ACCESSIBLE PATH OF TRAVEL.   |
| 15   | DOUBLE TRASH ENCLOSURE PER CITY STANDARDS. EXISTING GRADE AND DRAINAGE PATTERN TO BE MAINTAINED. |
| 16   | (E) ASPHALT PAVING OUTLINE.  |
| 17   | (E) MODULAR BLDG. 2 TO REMOVE.   |
| 18   | (E) TREE TO REMOVE, TYPICAL.   |
| 19   | (E) SHED TO REMOVE.  |
| 20   | (E) FIRE HYDRANT.  |
| 21   | (E) BACKFLOW.  |
| 22   | (E) WATER METER.   |
| 23   | (E) GAS METER.   |
| 24   | (E) ELECTRICAL METER.  |
| 25   | (E) SITE LIGHTING, TYPICAL.  |
| 26   | (E) TREE OR PALM TO REMAIN, TYPICAL.   |
| 27   | (E) SPEED BUMP(S) TO REMAIN, TYPICAL, TOTAL OF (3).  |
| 28   | (E) METAL FENCE & GATE TO REMAIN.  |
| 29   | TRASH ACCESS, NO PARKING ZONE.   |
| 30   | STOP BAR, STOP LEGEND AND STOP SIGN AT EGRESS OF PROJECT DRIVEWAY.                               |
| 31   | (E) MORUS ALBA TREES & STUMPS TO BE REMOVED.   |
| 32   | (E) HANDBRANCHES IMPETIGINOSUS (PINK TRUMPET TREE) STREET TREES TO BE PROTECTED IN PLACE.        |
| 33   | WATER METER FOR LANDSCAPE IRRIGATION, FINAL LOCATION AND SIZE TO BE DETERMINED.                  |
| 34   | FIRE SERVICE, FINAL LOCATION TO BE DETERMINED.   |
| 35   | (E) CATCH BASIN(S) AT STREET CURB, TOTAL OF (3).   |
| 36   | NEW ASPHALT AND CURB PER CIVIL PLANS.  |

## NOTES:

- SITE PLAN IS FOR CONCEPTUAL PURPOSES ONLY.
- SITE PLAN MUST BE REVIEWED BY PLANNING, BUILDING AND FIRE DEPARTMENTS FOR CODE COMPLIANCE.
- BASIC INFORMATION PER PARCEL MAP.
- CIVIL ENGINEER TO VERIFY ALL SETBACKS AND GRADING INFORMATION.
- BUILDING FOOTPRINTS MAY CHANGE DUE TO THE FINAL DESIGN ELEVATION STYLE.
- OPEN SPACE AREA IS SUBJECT TO CHANGE.
- BUILDING SETBACKS ARE MEASURED FROM PROPERTY LINES TO BUILDING FOUNDATION LINES.



**PROFESSIONAL  
DESIGN  
ASSOCIATES**

Landscape Architect

1793 W. Arrow Highway  
Upland, California 91786-4297  
(909) 985-4297 Fax: (909) 985-3405

**PROJECT**

**TABOR ROMANIAN CHURCH**  
10750 COCHRAN AVENUE,  
RIVERSIDE, CA 92505

**CONTACT:**  
SERGIU CAPALANA  
1793 W. ARROW HIGHWAY  
UPLAND, CA 91786-4297  
PH: (909) 949-6159 X 212  
FAX: (909) 985-3405

**SHEET TITLE**

**CONCEPTUAL  
SITE PLAN**

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**NOT FOR  
CONSTRUCTION**

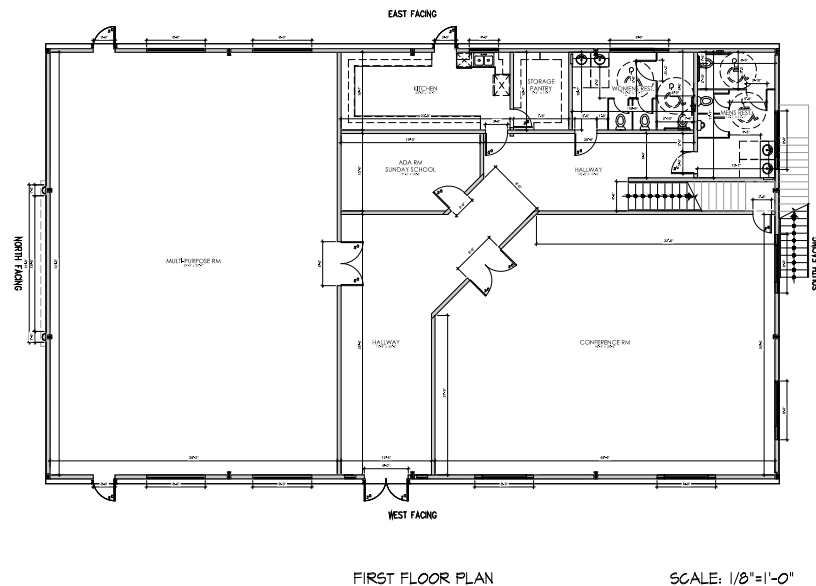
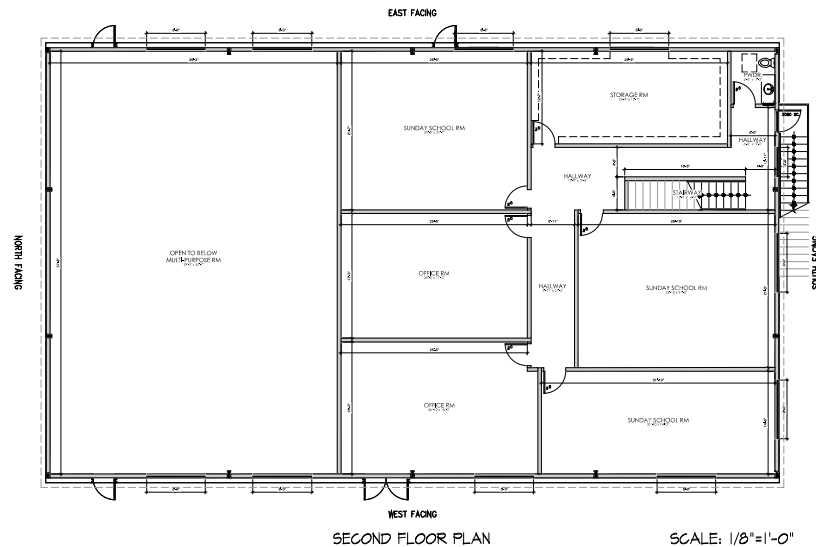
**SCALE** 1" = 20'-0"  
**DATE** 12-15-2023  
**DRAWN BY** S.S.

**REVISIONS**

02-25-2025

**SHEET NUMBER**

**A-0.1**



## GENERAL NOTES

- REFER TO SHEET A-0 FOR GENERAL NOTES.
- FIELD VERIFY ALL CONDITIONS AND NOTIFY CONSULTANT OF ANY DISCREPANCIES.
- ALL AND ANY DEMOLITION SHALL BE IN ACCORDANCE TO CIVIC, STATE, AND/OR FEDERAL LAWS.
- THE CONTRACTOR SHALL PROPERLY COORDINATE WITH THE TENANT.
- PROVIDE 5/8" THICK GYPSUM BOARD SHEATHING AND FINISH SURFACE W/ (1) COAT PRIMER AND (2) COATS SEMI-GLOSS LATEX. REFER ALSO TO GENERAL NOTES FOR ADDITIONAL NOTES.
- PROVIDE 3 1/2" SOUND BATT. INSULATION IN ALL NEW CONSTRUCTION.
- NOT USED.
- USE MOISTURE RESISTANT GYPSUM BOARD AT WET WALLS AND BEHIND PLUMBING FIXTURES.
- DIMENSIONS ARE TO FACE OF STUD, UNO.
- ALL GLAZING SHALL BE FIRMLY SUPPORTED ON ALL FOUR EDGES.
- CONTRACTOR TO VERIFY ALL EXISTING OR LANDLORD PROVIDED WALL SUBSTRATE IS INSTALLED MIN 8" ABOVE FINISH CEILING.
- CONTRACTOR SHALL PROVIDE A 5" BY 5" SYMBOL OF ACCESSIBILITY AT PRIMARY ENTRANCE.
- ALL EXTERIOR DOOR LANDING GRADES SHALL HAVE A SMOOTH TRANSITION TO THE ADJACENT PAVED SURFACES AND THE MAX. CROSS SLOPE OF ALL LANDINGS, RAMPS, OR WALKS WILL BE 2%.
- ALL ANGLES AT 45° OR 90° UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE BACKING / BLOCKING AT ALL WALL MOUNTED EQUIPMENT OR ACCESSORIES.
- EXIT DOOR IN ENTIRE SPACE TO BE EQUIPPED WITH PANIC HARDWARE.

## KEYNOTES



**PROFESSIONAL  
DESIGN  
ASSOCIATES**  
Landscape Architect

1793 W. Arrow Highway  
Upland, California 91786-4297  
(909) 985-4305 • Fax: (909) 985-3405

**TABOR ROMANIAN CHURCH**  
10750 COCHRAN AVENUE,  
RIVERSIDE, CA 92505

PROJECT

CONTACT:  
SERGIU CAPALNA  
1793 W. ARROW HIGHWAY  
UPLAND, CA 91786-4297  
PH: (909) 949-6159 X 212  
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SHEET TITLE

**FLOOR  
PLANS**

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DATE 12-15-2023

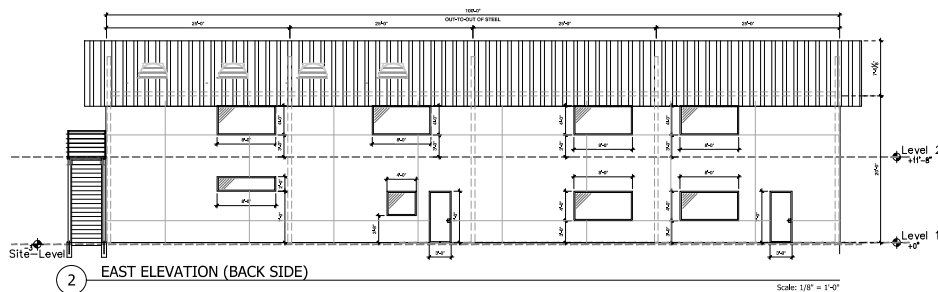
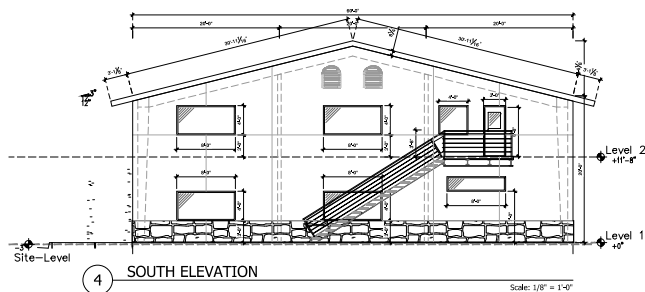
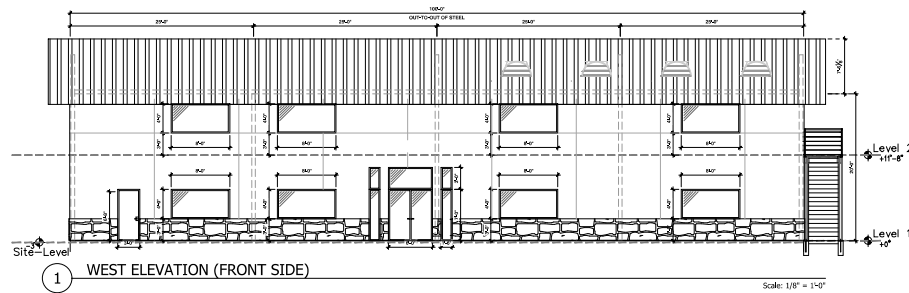
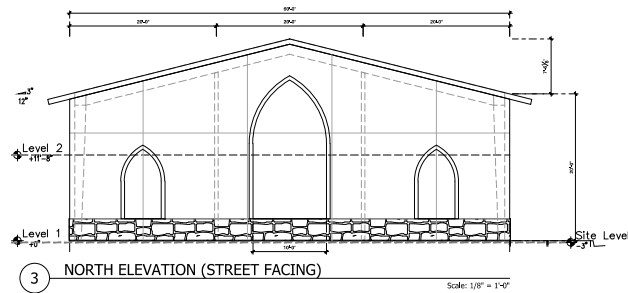
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REVISIONS

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SHEET NUMBER

**A-1.0**



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DESIGN  
ASSOCIATES

Landscape Architect

1793 W. Arrow Highway  
Upland, California 91786-4297  
(909) 949-6159 Fax: (909) 985-3405

PROJECT  
**TABOR ROMANIAN CHURCH**  
10750 COCHRAN AVENUE,  
RIVERSIDE, CA 92505

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1793 W. ARROW HIGHWAY  
UPLAND, CA 91786-4297  
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SHEET TITLE

ELEVATIONS

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REVISIONS  
05-06-2024

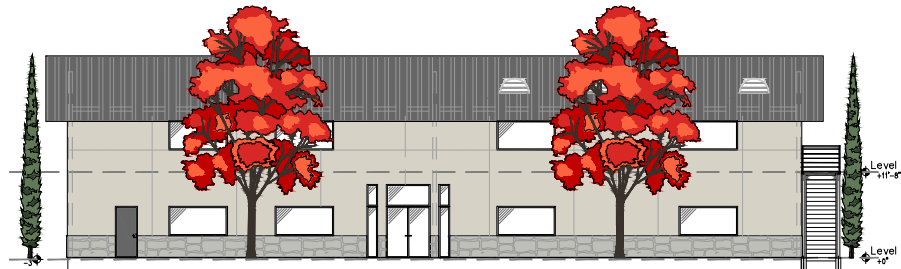
SHEET NUMBER  
**A-4.0**





3 NORTH ELEVATION (STREET FACING)

Scale: 1/8" = 1'-0"



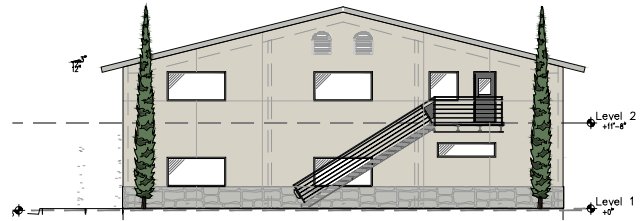
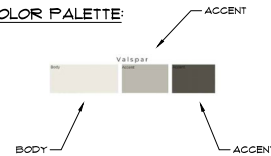
1 WEST ELEVATION (FRONT SIDE)

Scale: 1/8" = 1'-0"

#### MATERIAL PALETTE:

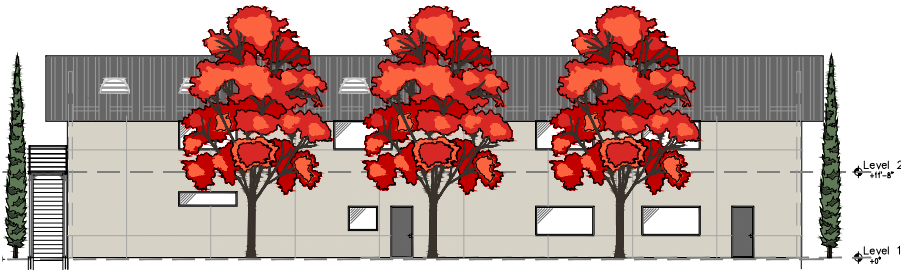
- EXTERIOR WALLS: STUCCO FINISH.
- WINDOWS: METAL FRAME
- DOORS: METAL SOLID & W/ GLASS
- WAINSCOTING: STONE VENEER
- ROOF SHEETING: METAL, 26 GAUGE, ASH GRAY COLOR FINISH

#### COLOR PALETTE:



4 SOUTH ELEVATION

Scale: 1/8" = 1'-0"



2 EAST ELEVATION (BACK SIDE)

Scale: 1/8" = 1'-0"

#### GENERAL NOTES

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#### KEYNOTES



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DESIGN  
ASSOCIATES

Landscape Architect

1793 W. Arrow Highway  
Upland, California 91786-4297  
(909) 949-6159 / (909) 985-3405

TABOR ROMANIAN CHURCH  
10750 COCHRAN AVENUE,  
RIVERSIDE, CA 92505

PROJECT

CONTACT:  
SERGIU CAPALNA  
1793 W. ARROW HIGHWAY  
UPLAND, CA 91786-4297  
PH: (909) 949-6159 X 212  
FAX: (909) 985-3405

SHEET TITLE

COLOR  
ELEVATIONS

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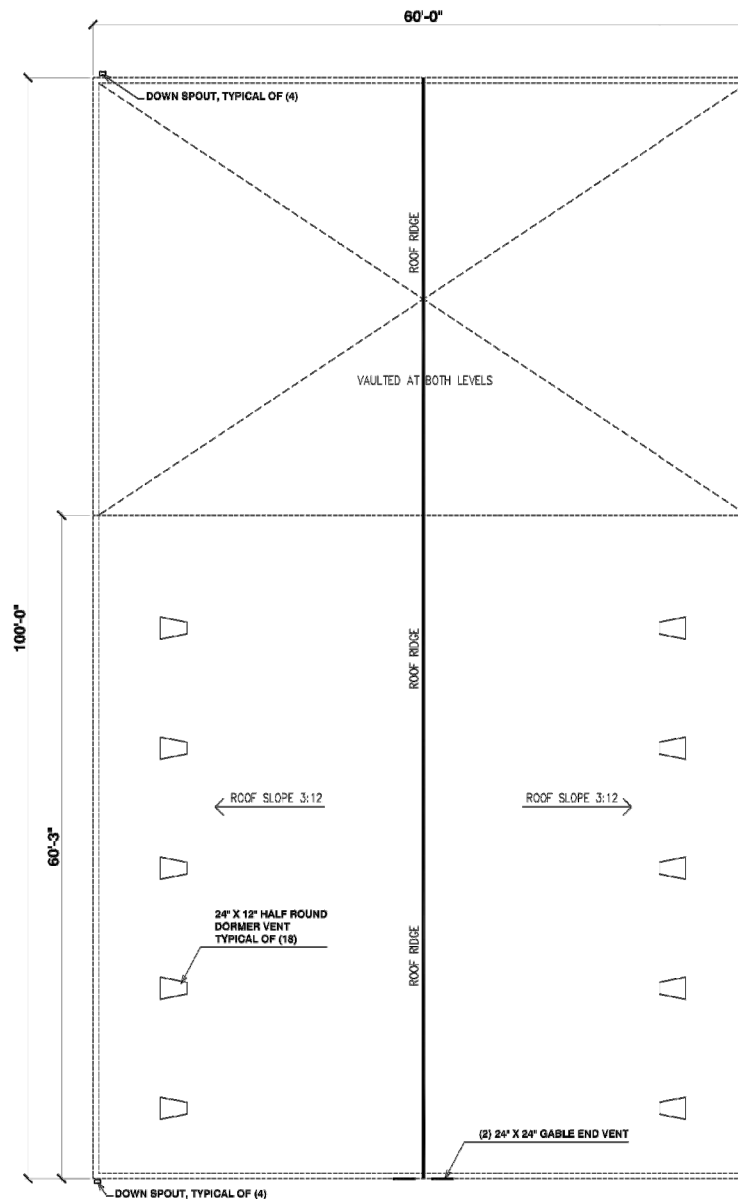
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REVISIONS

05-06-2024

SHEET NUMBER

A-4.1



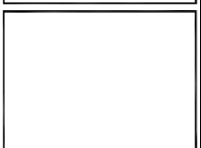
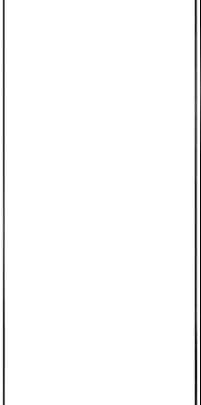
GENERAL NOTES

ANY UNAUTHORIZED REUSE OF THESE PLANS OTHER THAN THE PROJECT AND LOCATION SHOWN IS PROHIBITED.

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NO.	REVISION/ISSUE	DATE

METAL BUILDING  
MULTI-PURPOSE USE



ROOF PLAN

DESIGNER:  
LAVINIA PANTEA  
lapantea@gmail.com

PROJECT NAME AND ADDRESS:  
TABOR CHRISTIAN CHURCH  
10750 COCHRAN AVE  
RIVERSIDE, CA 92505

PROJECT METAL BUILD	SHEET A-3.0
DATE DEC 2023	
SCALE AS NOTED	

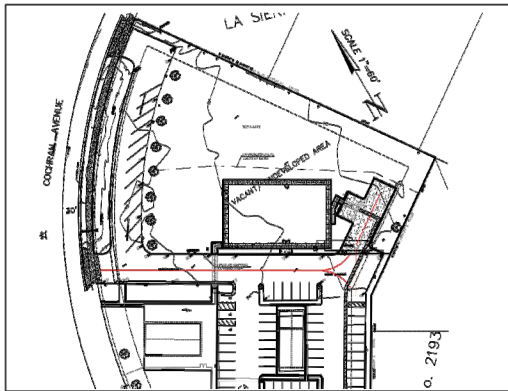
# CONCEPTUAL GRADING PLAN

## GRADING NOTES:

- ALL GRADING SHALL CONFORM TO THE RIVERSIDE MUNICIPAL CODE, TITLE 17 AND THE CURRENT CITY ADOPTED EDITION OF THE CALIFORNIA BUILDING CODE.
- ALL PROVISIONS OF THE PRELIMINARY SOILS REPORT PREPARED BY S & T GEOTECHNICAL ENGINEERING, INC., DATED DECEMBER 5, 2018 SHALL BE COMPLIED WITH DURING GRADING OPERATIONS. CITY BUSINESS TAX CERTIF. NO. \_\_\_\_\_ EXP. DATE \_\_\_\_\_
- THIS PLAN IS FOR GRADING PURPOSES ONLY AND IS NOT TO BE USED FOR THE PURPOSE OF CONSTRUCTING ON SITE OR OFF-SITE IMPROVEMENTS. ISSUANCE OF A PERMIT BASED ON THIS PLAN DOES NOT CONSTITUTE APPROVAL OF DRIVEWAY LOCATIONS OR SIZES, PARKING LOT STRUCTURAL SECTIONS OR LAYOUT, ADA-RELATED REQUIREMENTS, BUILDING LOCATIONS OR FOUNDATIONS, WALLS, CURBS, OFF-SITE DRAINAGE FACILITIES OR OTHER ITEMS NOT RELATED DIRECTLY TO THE BASIC GRADING OPERATION. ON-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM APPROVED BUILDING PERMIT PLANS. OFF-SITE IMPROVEMENTS SHALL BE CONSTRUCTED FROM PLANS APPROVED FOR THIS PURPOSE BY THE PUBLIC WORKS DEPARTMENT.
- CERTIFICATION FROM THE REGISTERED (CIVIL ENGINEER/ARCHITECT/LANDSCAPE ARCHITECT) STATING THAT THE GRADING HAS BEEN COMPLETED PER THE APPROVED PLAN AND A COMPACTION REPORT FROM THE SOIL ENGINEER FOR FILL AREAS ARE REQUIRED PRIOR TO BUILDING PERMITS BEING ISSUED.
- CONTRACTOR IS RESPONSIBLE FOR EROSION, DUST AND TEMPORARY DRAINAGE CONTROL DURING GRADING OPERATIONS.
  - ALL MANUFACTURED SLOPES IN EXCESS OF 5 FEET IN VERTICAL HEIGHT ARE TO BE PROTECTED FROM EROSION DURING ROUGH GRADING OPERATIONS AND, THEREAFTER, UNTIL INSTALLATION OF FINAL GROUND COVER. (SEE LANDSCAPE PLANS FOR FINAL GROUND COVER).
  - ALL SLOPE PROTECTION SHALES TO BE CONSTRUCTED AT THE SAME TIME AS BANKS ARE GRADED.
  - THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE EROSION CONTROL MEASURES SHOWN ON THIS PLAN AND SWPPP AND ALSO TO PROVIDE ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, GROVE-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF DIRT, MUD OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS. SPECIAL ATTENTION SHALL BE GIVEN TO ADDITIONAL EROSION CONTROL MEASURES NOTED ABOVE DURING THE PERIOD OCTOBER 1 TO MAY 31.
  - AFTER A RAINSTORM, ALL SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS AND CHECK DAMS. SILT AND DEBRIS SHALL BE REMOVED FROM CITY OF RIVERSIDE STREETS. THIS REQUIREMENT SHALL REMAIN IN EFFECT UNTIL CITY ACCEPTANCE OF THIS PROJECT.
- ANY ON-SITE RETAINING WALLS SHOWN ON THIS PLAN THAT ARE UNDER 3 FEET IN HEIGHT AND SUPPORT A BURCHARGE OR THAT ARE OVER 3 FEET IN HEIGHT REQUIRE SEPARATE REVIEW, APPROVAL AND A BUILDING PERMIT FROM THE BUILDING AND SAFETY DIVISION, COMMUNITY DEVELOPMENT DEPARTMENT. ANY NECESSARY RETAINING WALLS ON THE PERIMETER OF THIS SITE SHALL BE IN PLACE AND APPROVED BY THE BUILDING INSPECTOR PRIOR TO ISSUANCE OF THE GRADING PERMIT. APPROVED SEQUENCED GRADING WITH 1 1/2" MAXIMUM SLOPES TO WITHIN 2 FEET OF THE ADJACENT PROPERTY LINE MAY BE ACCEPTABLE TO ALLOW FOR ISSUANCE OF A GRADING PERMIT PRIOR TO COMPLETION OF ANY NECESSARY PERIMETER RETAINING WALLS. (IF NO RETAINING WALLS ARE SHOWN ON THE PLAN, DO NOT PUT THIS NOTE ON PLAN.)
- ANY IMPROVEMENTS CONSTRUCTED IN THE PUBLIC RIGHT-OF-WAY WILL REQUIRE A SEPARATE CONSTRUCTION PERMIT AND INSPECTION FROM THE PUBLIC WORKS DEPARTMENT.
- ANY WALLS, FENCES, STRUCTURES AND/OR APPURTENANCES ADJACENT TO THIS PROJECT ARE TO BE PROTECTED IN PLACE. IF GRADING OPERATIONS DAMAGE OR ADVERSELY AFFECT SAID ITEMS IN ANY WAY, THE CONTRACTOR AND/OR DEVELOPER IS RESPONSIBLE FOR WORKING OUT AN ACCEPTABLE SOLUTION TO THE SATISFACTION OF THE AFFECTED PROPERTY OWNER(S).
- THE CONTRACTOR/DEVELOPER IS RESPONSIBLE FOR ENSURING THAT RETAINING WALLS DO NOT INTERFERE WITH PROVISION OF UTILITIES.
- IT IS THE GRADING CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ADEQUATE COMPACTION HAS BEEN ATTAINED ON THE ENTIRE GRADING SITE, INCLUDING FILL AREAS OUTSIDE THE BUILDING PAD AND ON ALL FILL SLOPES.
- IT IS THE SOIL ENGINEER'S RESPONSIBILITY TO OBSERVE AND PERFORM COMPACTION TESTS DURING THE GRADING TO EVALUATE THE PREPARATION OF THE NATURAL GROUND SURFACE TO RECEIVE THE FILL AND THE COMPACTION ATTAINED IN THE FILL, INCLUDING FILL AREAS OUTSIDE THE BUILDING PAD AND ON ALL FILL SLOPES.
- EARTHWORK QUANTITIES ARE SHOWN FOR GRADING PERMIT PURPOSES ONLY, AND THE CITY OF RIVERSIDE IS NOT RESPONSIBLE FOR THEIR ACCURACY.
- FOR GRADING OF AREAS OF 1 ACRE OR MORE, A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF RIVERSIDE.
- GRADING OPERATIONS SHALL BE LIMITED TO BETWEEN THE HOURS OF 7 A.M. AND 7 P.M. ON WEEKDAYS AND BETWEEN 8 A.M. AND 5 P.M. ON SATURDAYS. NO GRADING WILL BE PERMITTED ON SUNDAY OR FEDERAL HOLIDAYS. (RIVERSIDE MUNICIPAL CODE, 7-35.010, ORDINANCE NO. 8273)

THE ABOVE ITEMS ARE THE MINIMUM INFORMATION REQUIRED FOR SUBMITTING A GRADING PLAN FOR REVIEW. THEREFORE, AFTER REVIEW, ADDITIONAL INFORMATION MAY STILL BE REQUIRED. IN SOME CASES, THE GRADING PLAN WILL BE SUBJECTED TO ENVIRONMENTAL REVIEW PURSUANT TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT. THE PLANNING DIVISION, COMMUNITY DEVELOPMENT DEPARTMENT WILL PERFORM THE ENVIRONMENTAL REVIEW AND WILL INFORM THE APPLICANT IF ADDITIONAL INFORMATION WILL BE REQUIRED.

## 10750 COCHRAN AVENUE CITY OF RIVERSIDE, CA 92503



SITE PLAN

## OWNER INFORMATION

NAME: TABOR ROMANIAN CHURCH OF RIVERSIDE  
ADDRESS: 10750 COCHRAN AVE.  
CITY OF RIVERSIDE, CA  
PHONE NUMBER: 952-373-3344  
EMAIL ADDRESS: GALACOT@GMAIL.COM

## SITE INFORMATION

ADDRESS: 10750 COCHRAN AVE.  
CITY OF RIVERSIDE, CA  
APN: 143-300-001  
LEGAL DESCRIPTION:  
2.48 ACRES IN POR LOT 1 BLK 54 MB 01/042 LA  
SIERRA GARDENS AND POR LOT 4 BLK 51 MB 01/042  
LA SIERRA GARDENS  
SITE ACREAGE: 0.528

## CIVIL ENGINEER

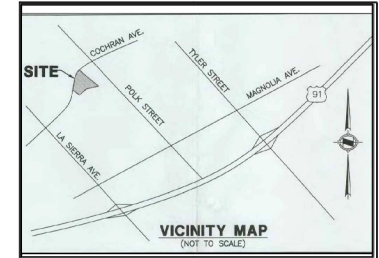
ITF & ASSOCIATES, INC.  
JEFF TSALYUK  
ADDRESS: 11278 LOS ALAMITOS BLVD., #354  
LOS ALAMITOS, CA 90720  
PHONE NUMBER: 949-468-9840  
EMAIL ADDRESS: jeff@itf-engineers.com  
BUSINESS TAX ID: 12362862  
EXPIRATION DATE: 12/31/2024

## SOILS ENGINEER

COMPANY NAME: S&T GEOTECHNICAL ENGINEERING, INC.  
OWNER/ENGINEER: A. WAHAB NOON  
ADDRESS: 18457 PROCTOR AVE.  
CITY OF INDUSTRY, CA 91745  
PHONE NUMBER: 828-961-4834  
EMAIL ADDRESS: moskud.rahman@se-t-engineering.com  
BUSINESS TAX ID:  
EXPIRATION DATE:

## CASE NUMBERS

PLANNING CASE:  
WQMP:  
STREET IMPROVEMENTS:  
STORM DRAIN IMPROVEMENTS: N/A  
SEWER IMPROVEMENTS:



## VICINITY MAP

N.T.S.

## CONSTRUCTION NOTES:

### ON-SITE GRADING

- CONSTRUCT 6" PCC CURB PER SPWPC STD. PLAN 121-2.
- CONSTRUCT CURB OPENING PER DETAIL HEREON.
- CONSTRUCT PAVEMENT SECTION PER SOILS ENGINEER RECOMMENDATION.

## PRIVATE ENGINEER'S NOTES:

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

## SHEET INDEX

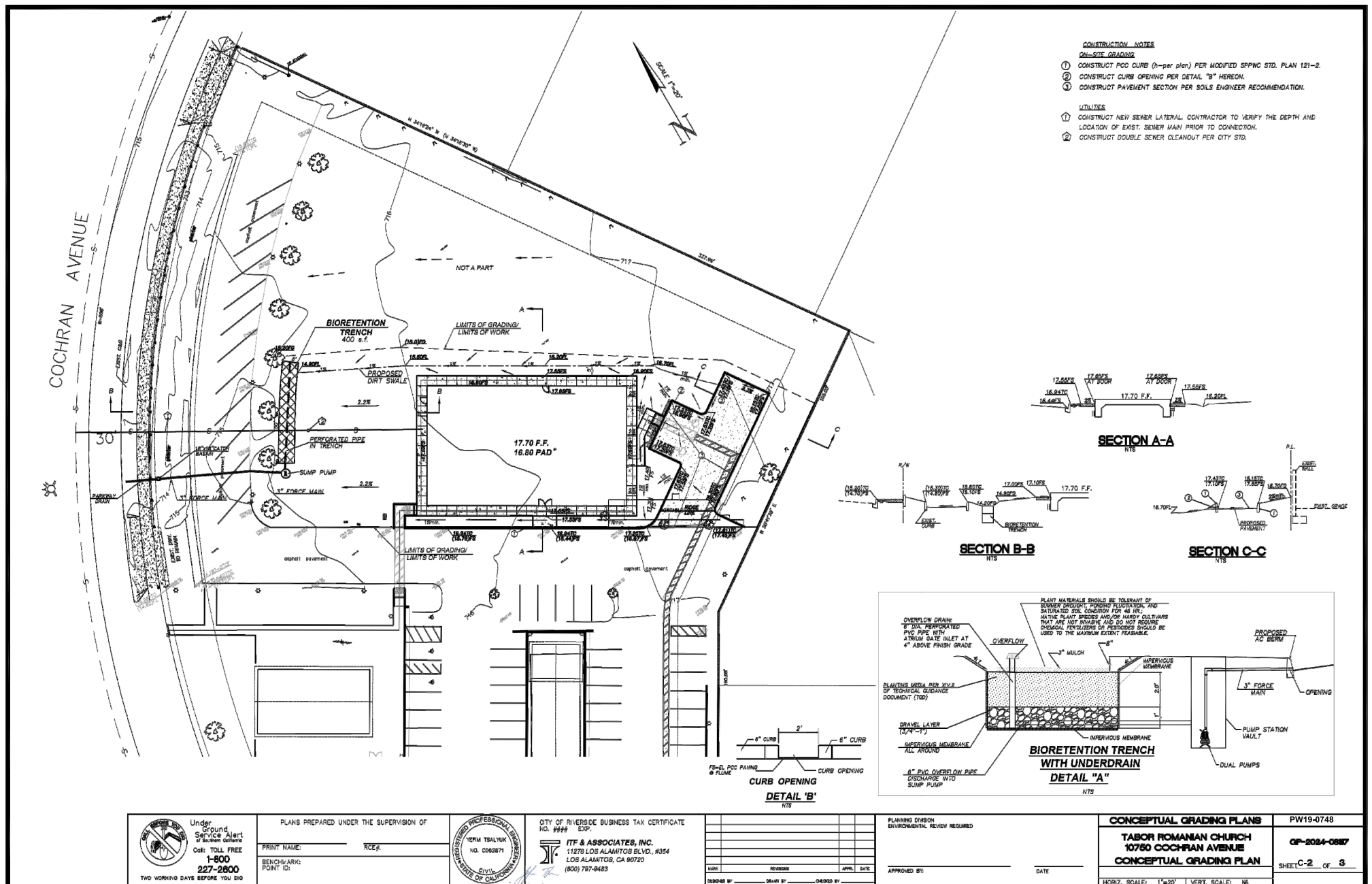
SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	PRELIM GRADING
3	EROSION CONTROL

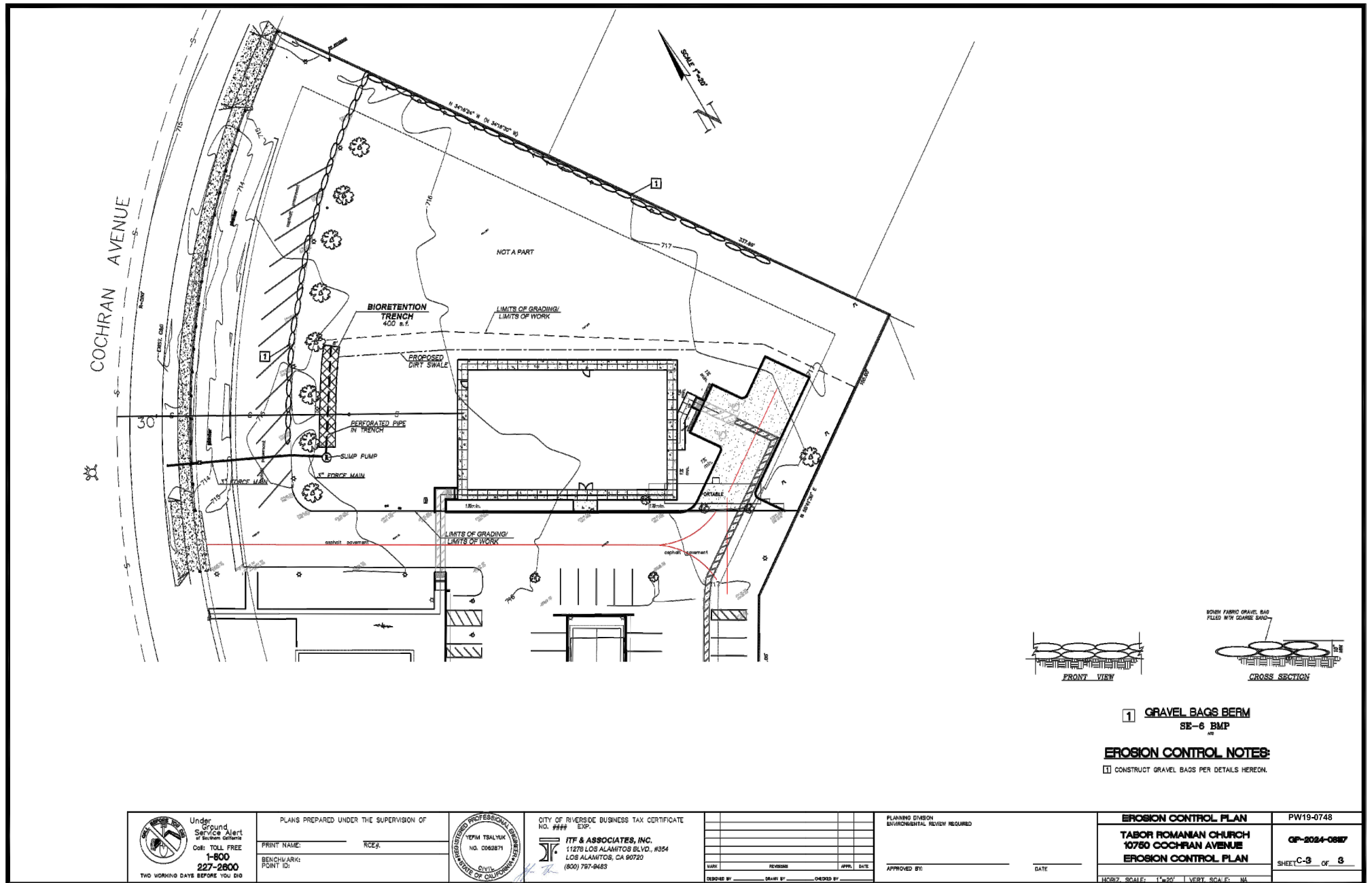
## EARTHWORK QUANTITIES

CUT (RAW)	5 CY
FILL (RAW)	50 CY
GROSS AREA	22,930 SF
DISTURBED AREA	22,930 SF

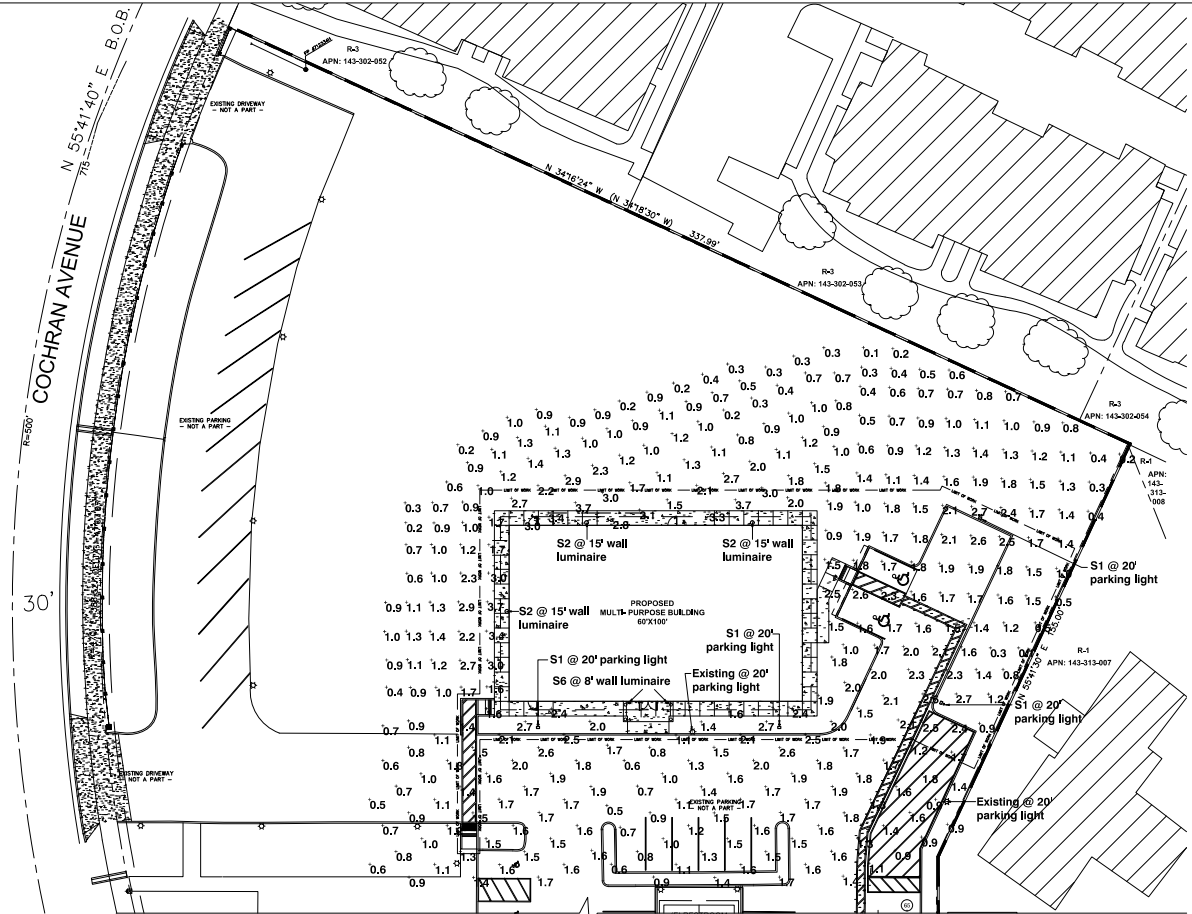
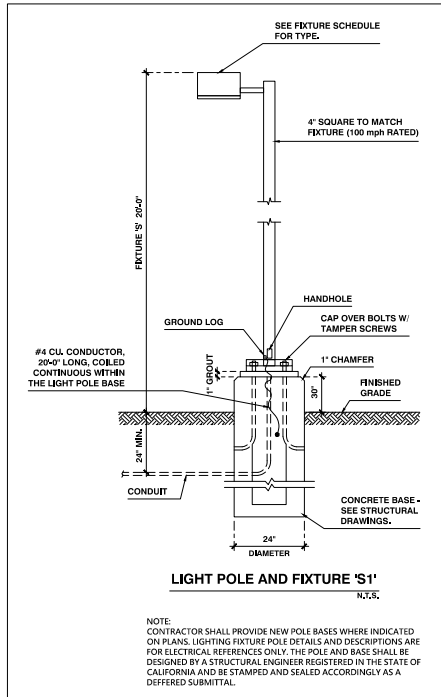
WDID: \_\_\_\_N/A\_\_\_\_

	Under Ground Service Alert of Southern California Call: TOLL FREE 1-800-222-2600 TWO WORKING DAYS BEFORE YOU DIG	PLANS PREPARED UNDER THE SUPERVISION OF PRINT NAME: _____ FCE# _____ SEAL/STAMP: _____ CITY OF RIVERSIDE BUSINESS TAX CERTIFICATE NO. 8273 EXP.	ITF & ASSOCIATES, INC. 11278 LOS ALAMITOS BLVD., #354 LOS ALAMITOS, CA 90720 (800) 797-9483	PLANNING DIVISION ENVIRONMENTAL REVIEW REQUIRED APPROVED BY: _____ DATE: _____	<b>CONCEPTUAL GRADING PLANS</b> TAMOR ROMANIAN CHURCH 10750 COCHRAN AVENUE TITLE SHEET HORIZ. SCALE: 1"=20' VERT. SCALE: 1"=4'	PW19-0748 OF-2024-00817 SHEET C-1 OF 3
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**1 PHOTOMETRIC SITE PLAN**  
SCALE: 1" = 20'-0"

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE FC AFG	+	1.4 fc	15.3 fc	0.0 fc	N/A	N/A

SCHEDULE								
SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LUMENS PER LAMP	LIGHT LOSS FACTOR	WATTAGE
	<b>S1</b>	<b>4</b>	Lithonia Lighting	DSX0 LED P6 40K T5W MVOLT	DSX0 LED P6 40K T5W MVOLT	16466	0.91	134
	<b>S2</b>	<b>3</b>	Lithonia Lighting	DSXW1 LED 20C 1000 40K T2M MVOLT	DSXW1 LED (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 1000 mA	7373	0.91	73.2
	<b>S6</b>	<b>2</b>	Lithonia Lighting	LDN6 40/10 LO6AR LSS WL FCM	6IN LDN, 4000K, 1000LM, 80CRI, CLEAR, SEMI-SPECULAR REFLECTOR CEILING MOUNT WET LOCATION	1054	0.91	12.75

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No.	REVISION/ISSUE	DATE

**METAL BUILDING  
MULTI-PURPOSE USE**

**PHOTOMETRIC  
SITE PLAN**

DESIGNER:  
**LAVINIA PANTEA**  
lapantea@gmail.com

PROJECT NAME AND ADDRESS:  
**TABOR CHRISTIAN CHURCH**  
**10750 COCHRAN AVE**  
**RIVERSIDE, CA 92505**

PROJECT	SHEET
<b>METAL BUILD</b>	<b>E0.1</b>
DATE <b>DEC 2023</b>	
SCALE <b>AS NOTED</b>	



**D-Series Size 0  
LED Area Luminaire**

**Specifications**

SHA: 0.64 ft (19.5 cm)  
Length: 26.18" (66.5 cm)  
Width: 4.08" (10.4 cm)  
Height H1: 2.24" (5.7 cm)  
Height H2: 7.68" (19.5 cm)  
Weight: 22.5 lb (10.2 kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

**design select**

For more information, visit [www.designselect.com](http://www.designselect.com) or call 1-800-733-8579. For more information, visit [www.designselect.com](http://www.designselect.com) or call 1-800-733-8579.

**Ordering Information**

**EXAMPLE: D5X0 LED P4 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DOB20**

Item	Item Description	Item Description	Item Description	Item Description	Item Description
D5X0 LED	Item Description	Item Description	Item Description	Item Description	Item Description
P4	Item Description	Item Description	Item Description	Item Description	Item Description
40K	Item Description	Item Description	Item Description	Item Description	Item Description
70CRI	Item Description	Item Description	Item Description	Item Description	Item Description
T3M	Item Description	Item Description	Item Description	Item Description	Item Description
MVOLT	Item Description	Item Description	Item Description	Item Description	Item Description
SPA	Item Description	Item Description	Item Description	Item Description	Item Description
NLTAR2	Item Description	Item Description	Item Description	Item Description	Item Description
PIRHN	Item Description	Item Description	Item Description	Item Description	Item Description
DOB20	Item Description	Item Description	Item Description	Item Description	Item Description

**D-Series Size 1  
LED Area Luminaire**

**Specifications**

SHA: 0.68 ft (20.6 cm)  
Length: 32.71" (83.6 cm)  
Width: 4.24" (10.8 cm)  
Height H1: 2.24" (5.7 cm)  
Height H2: 7.68" (19.5 cm)  
Weight: 22.5 lb (10.2 kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 65% and expected service life of over 100,000 hours.

**design select**

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**Ordering Information**

**EXAMPLE: D5X1 LED P7 40K 70CRI T3M MVOLT SPA NLTAR2 PIRHN DOB20**

Item	Item Description	Item Description	Item Description	Item Description	Item Description
D5X1 LED	Item Description	Item Description	Item Description	Item Description	Item Description
P7	Item Description	Item Description	Item Description	Item Description	Item Description
40K	Item Description	Item Description	Item Description	Item Description	Item Description
70CRI	Item Description	Item Description	Item Description	Item Description	Item Description
T3M	Item Description	Item Description	Item Description	Item Description	Item Description
MVOLT	Item Description	Item Description	Item Description	Item Description	Item Description
SPA	Item Description	Item Description	Item Description	Item Description	Item Description
NLTAR2	Item Description	Item Description	Item Description	Item Description	Item Description
PIRHN	Item Description	Item Description	Item Description	Item Description	Item Description
DOB20	Item Description	Item Description	Item Description	Item Description	Item Description

**LITHONIA LIGHTING**

**FEATURES & SPECIFICATIONS**

**INTRODUCTION** — Lithonia Lighting's LED Area Luminaire, designed to meet the needs of the modern building, offers a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

**PHOTOMETRIC PERFORMANCE** — The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 65% and expected service life of over 100,000 hours.

**design select**

For more information, visit [www.designselect.com](http://www.designselect.com) or call 1-800-733-8579. For more information, visit [www.designselect.com](http://www.designselect.com) or call 1-800-733-8579.

**Ordering Information**

**EXAMPLE: D5X6 CYL**

Item	Item Description	Item Description	Item Description	Item Description	Item Description
D5X6 CYL	Item Description	Item Description	Item Description	Item Description	Item Description
P4	Item Description	Item Description	Item Description	Item Description	Item Description
40K	Item Description	Item Description	Item Description	Item Description	Item Description
70CRI	Item Description	Item Description	Item Description	Item Description	Item Description
T3M	Item Description	Item Description	Item Description	Item Description	Item Description
MVOLT	Item Description	Item Description	Item Description	Item Description	Item Description
SPA	Item Description	Item Description	Item Description	Item Description	Item Description
NLTAR2	Item Description	Item Description	Item Description	Item Description	Item Description
PIRHN	Item Description	Item Description	Item Description	Item Description	Item Description
DOB20	Item Description	Item Description	Item Description	Item Description	Item Description

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**METAL BUILDING MULTI-PURPOSE USE**

No. \_\_\_\_\_ REVISION/ISSUE \_\_\_\_\_ DATE \_\_\_\_\_

**PHOTOMETRIC SPEC SHEETS**

**DESIGNER:**

LAVINIA PANTEA  
lapantea@gmail.com

**PROJECT NAME AND ADDRESS:**

TABOR CHRISTIAN CHURCH  
10750 COCHRAN AVE  
RIVERSIDE, CA 92505

**PROJECT**

METAL BUILD

**DATE**

DEC 2023

**SCALE**

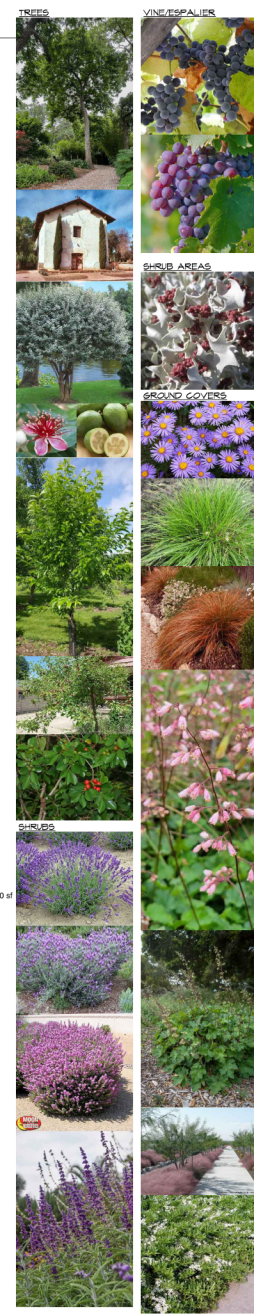
AS NOTED

**SHEET**

**E0.2**



PLANT SCHEDULE						
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	INCOLS	SPACING	QTY
<b>TREES</b>						
AR	AR	Arecastrum romanzoffianum Queen Palm	—	—	—	23
CI	CI	Carya illinoensis Pecan Tree 75H x 40W	10 gal.	IV, M	—	7
CT	CT	Cupressus sempervirens 'Monshel' Tiny Tower Italian Cypress 20-30 H X 3 W	10 gal.	IV, L	—	6
FV	FV	Felipa sellowiana Pineapple Guava	5 gal.	IV, M	—	5
PA	PA	Platanus x acerifolia London Plane Tree	—	—	—	7
PB	PB	Prunus salicina 'Burgundy' Burgundy Plum 10-15H & W	7 gal.	IV, M	—	2
PS	PS	Prunus salicina 'Santa Rosa' Santa Rosa Plum 25-40H	10 gal.	IV, M	—	2
PC	PC	Paidum cattleianum Strawberry Guava 12-25H x 10-25W (Maint. at 12)	5 gal.	IV, M	—	4
<b>SHRUBS</b>						
E	E	Lavandula angustifolia 'Royal Velvet' Royal Velvet English Lavender	1 gal.	IV, L	48" o.c.	38
L	L	Lavandula stoechas Spanish Lavender	2 gal.	IV, L	48" o.c.	26
T	T	Leucophyllum frutescens Texas Sage 3-5H X 4-6W	3 gal.	IV, L	48" o.c.	59
S	S	Salvia leucantha Mexican Bush Sage 3-5H X 3-6W	2 gal.	IV, L	48" o.c.	22
<b>VINE/ESPALIER</b>						
VC	VC	Vitis latifolia Wild Grape	3 gal.	IV, M	96" o.c.	12
VV	VV	Vitis vinifera Grape	3 gal.	IV, M	96" o.c.	12
<b>SHRUB AREAS</b>						
AH	AH	Atriplex hymenelytra Desert Holly Saltbush 2-3H X 2-3W	3 gal.	IV, VL	36" o.c.	47
<b>GROUND COVERS</b>						
AG	AG	Aster alpinus 'Kohlii' Colt's Alpine Aster	4" flat	IV, L	24" o.c.	47
CA	CA	Carex albicans White-tipped Sedge	4" flat	IV, M	36" o.c.	14
CB	CB	Carex comans 'Bronze' Bronze Hair Sedge	4" flat	IV, M	36" o.c.	16
HH	HH	Heuchera hirsutissima 'Santa Rosa' Coral Bells	4" flat	IV, L	36" o.c.	59
HM	HM	Heuchera maxima Island Alum Root	4" flat	IV, L	36" o.c.	15
TH	TH	Hydrocotyle Drought Tolerant Blend Non-irrigated	seed	IV, L	—	18,730 sf
MP	MP	Myoporum parvifolium 'Pink' Pink Trailing Myoporum	4" flat	IV, L	24" o.c.	424



**PROFESSIONAL DESIGN ASSOCIATES**  
Landscape Architect  
1733 W. Arrow Highway  
Upland, California 91786-4297  
(909) 985-4297 Fax (909) 985-3405

**PROJECT**

**TABOR ROMANIAN CHURCH**  
10750 COCHRAN AVENUE,  
RIVERSIDE, CA 92505

**CONTACT:**  
SERGIU CAPALNA  
1733 W. ARROW HIGHWAY  
UPLAND, CA 91786-4297  
PH: (909) 949-6159 X 212  
FAX: (909) 985-3405

**SHEET TITLE**

**CONCEPTUAL PLANTING COLOR PLAN**

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**NOT FOR CONSTRUCTION**

**SCALE** 1" = 20'-0"

**DATE** 12-15-2023

**DRAWN BY** S.C.

**REVISIONS**

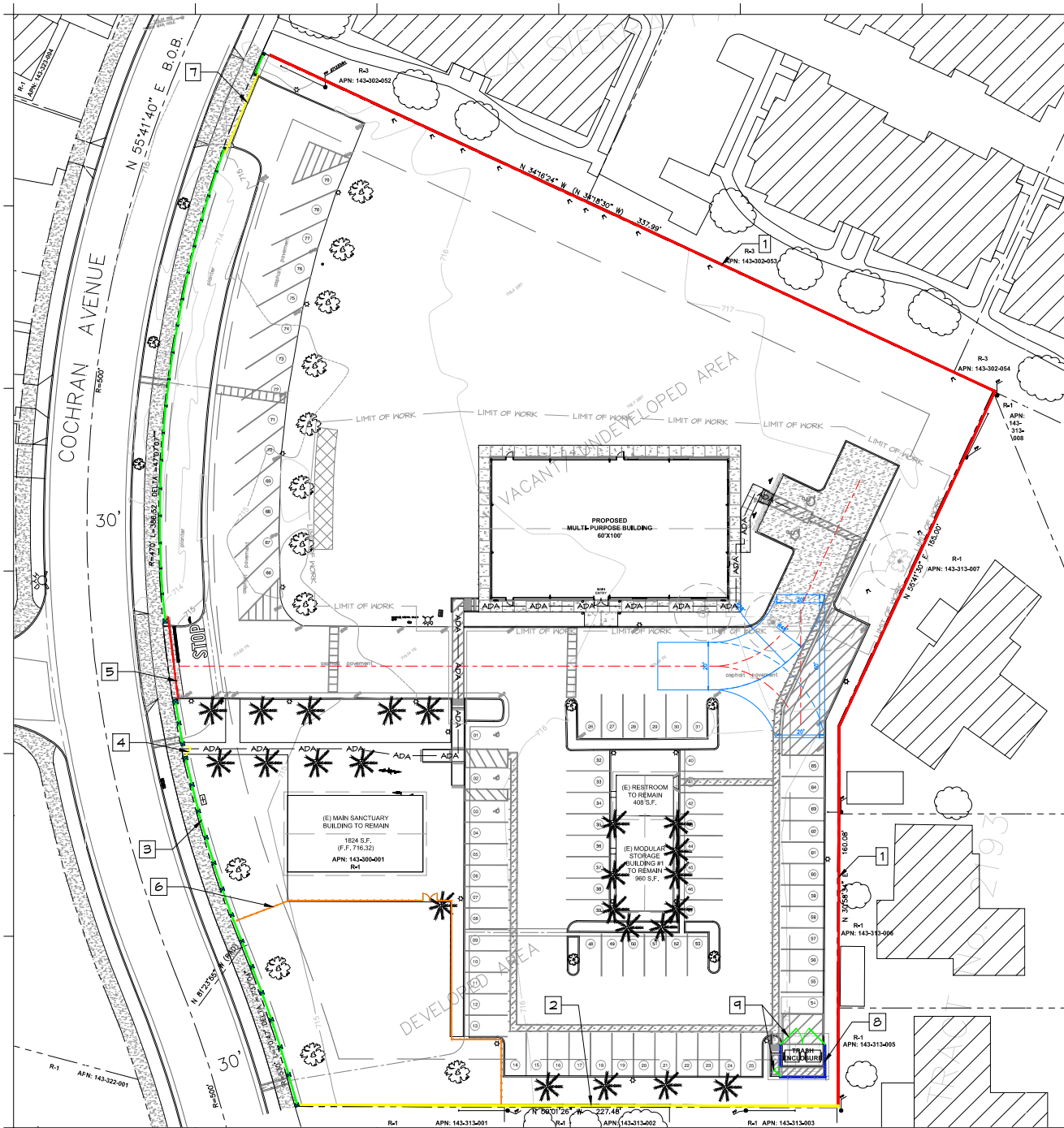
1	06-25-2025

**SHEET NUMBER**

**L-0.1**







# WALL & FENCE LEGEND

NUMBER	SYMBOL	DESCRIPTION
1		EXISTING 6'-0" HIGH FREESTANDING OFF-SITE PROPERTY LINE PERIMETER BLOCK WALL TO REMAIN IN PLACE AS IS.
2		EXISTING 6'-0" HIGH FREESTANDING ON-SITE PROPERTY LINE PERIMETER BLOCK WALL TO REMAIN IN PLACE AS IS.
3		EXISTING 6'-0" HIGH FREESTANDING ON-SITE PROPERTY LINE PERIMETER LOW BLOCK WALL (SPLIT FACE) WITH PLASTERS AND WROUGHT IRON FENCE ON TOP TO REMAIN IN PLACE AS IS.
4		EXISTING 6'-0" HIGH & 5'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON PEDESTRIAN GATE TO REMAIN IN PLACE AS IS.
5		EXISTING 6'-0" & 9'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON VEHICULAR GATE TO REMAIN IN PLACE AS IS.
6		EXISTING 5'-0" HIGH IRON FENCE AND 7'-0" WIDE DOUBLE GATE TO REMAIN.
7		EXISTING 6'-0" & 9'-0" WIDE PROPERTY LINE PERIMETER WROUGHT IRON VEHICULAR EMERGENCY ONLY GATE, NORMALLY CLOSED, TO REMAIN.
8		NEW 55' HIGH TRASH ENCLOSURE SPLIT FACE BLOCK WALL TO MATCH FRONT WALL/PLASTER.
9		NEW 4' WIDE ACCESS IRON GATE TO MATCH EXISTING IRON FENCE/GATE ON PROPERTY, COLOR TO MATCH EXISTING FRONT WROUGHT IRON FENCE. 15' WIDE TRASH ACCESS DOUBLE GATE, COLOR TO MATCH EXISTING FRONT WROUGHT IRON FENCE.



**PROFESSIONAL  
DESIGN  
ASSOCIATES**  
Landscape Architect

1753 W. Arrow Highway  
Upland, California 91786-4207  
(909) 949-6159 Fax: (909) 985-3405

**PROJECT**  
**TABOR ROMANIAN CHURCH**  
10750 COCHRAN AVENUE,  
RIVERSIDE, CA 92505

**CONTACT:**  
SERGIU CAPALNA  
1793 W. ARROW HIGHWAY  
UPLAND, CA 91786-4297  
PH: (909) 949-6159 X 212  
FAX: (909) 985-3405

**SHEET TITLE**  
**CONCEPTUAL  
WALL & FENCE  
PLAN**

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**NOT FOR  
CONSTRUCTION**

**SCALE** 1" = 20'-0"  
**DATE** 12-15-2023

**DRAWN BY** S.C.

**REVISIONS**

1  
2  
3

**SHEET NUMBER**

**L-2.0**

