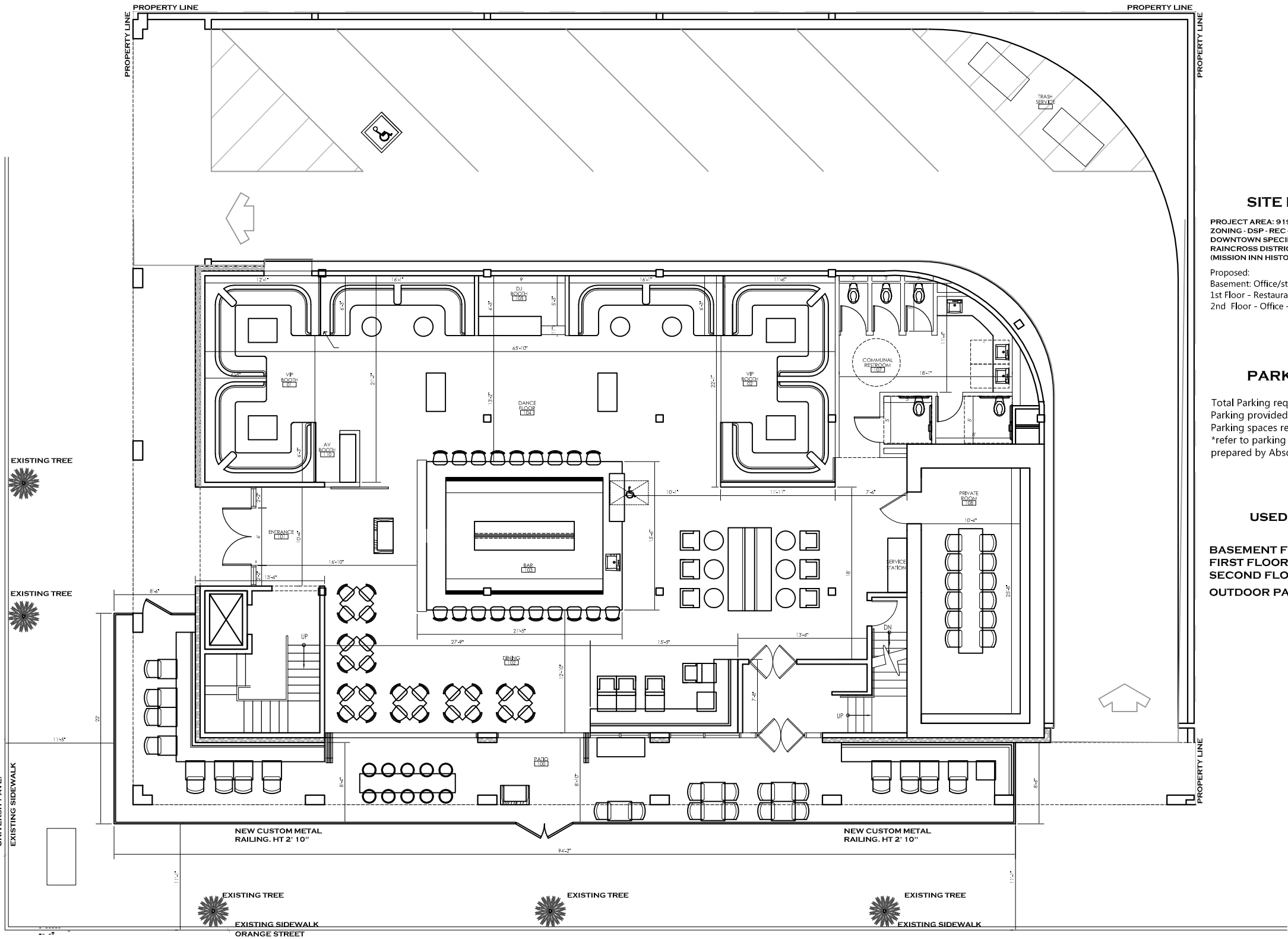




SITE DATA SUMMARY

PROJECT AREA: 9194.50 FT²
ZONING - DSP - REC - SP - CR
DOWNTOWN SPECIFIC PLAN -
RAINCROSS DISTRICT AND CULTURAL RESOURCES
(MISSION INN HISTORIC DIST.)
Proposed:
Basement: Office/storage/restaurant food prep area - 2732 sf
1st Floor - Restaurant/Bar/Night Club - 4600 sf
2nd Floor - Office - 7,858 sf

PARKING SUMMARY

Total Parking required - 92 spaces
Parking provided on-site - 6 spaces
Parking spaces requested off-site: 86
*refer to parking analysis, dated 03/25/2018
prepared by Absolute Consulting Engineers

USED AREA

BASEMENT FLOOR AREA 2732.00 FT²
FIRST FLOOR AREA 4600.00 FT²
SECOND FLOOR AREA 7858.20 FT²
OUTDOOR PATIO 939.35 FT²



DAVIS -INK

1661 Superior Ave
Costa Mesa, CA 92627
Phone: (949) 723-0875
Fax: (949) 723-0994

DOWNTOWN EXPERIMENT

3601 UNIVERSITY AVE.
RIVERSIDE, CA

ANASCO JACQUES
3601 UNIVERSITY
T: 909-261-5194

OWNER CONTACT INFO.

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(A) General Notes: Any errors, omissions and omissions in drawings and specifications shall be reported to us for correction before any part of the work is started. Unless expressly stipulated, no additional allowance will be made in the contract and/or manufacturer's price by virtue of errors, omissions and/or omissions which should have been discovered during the preparation of bid estimate and directed to our attention in a timely manner.

(B) Note to Fabricator or Manufacturer: The plan is submitted as a guide for the manufacturer. Where the fabrication requires verification by physical measurement, such measure is the obligation of the manufacturer and will stand no expense for repair or refabrication if there is any deviation from actual measurement. Notwithstanding any omissions, it shall be the sole duty and responsibility of the manufacturer to determine actual construction and details and fabricate and design in accordance with accepted good practices and procedures and let fabrication begin at the time of bidding. If said plan is not practical or structurally sound for its intent and purpose.

(C) Note to Architect and/or General Contractor: This plan is submitted for the convenience of the architect and/or contractor and is drawn from available architectural information. We do not purport to be architects or engineers. All fabrications shall be subject to physical verification and any deviations must be directed to Davis-Ink in writing.

We accept no responsibility for work done by said architect and/or contractors and will not stand any expense for changes made necessary by local building codes, ordinances, structural conditions or by substitution or changes in equipment on this plan.

REVISION

- ADDENDUM 01
- ADDENDUM 01
- ADDENDUM 01

DATE

ADDENDUM 01
JANUARY 3, 2018

SHEET

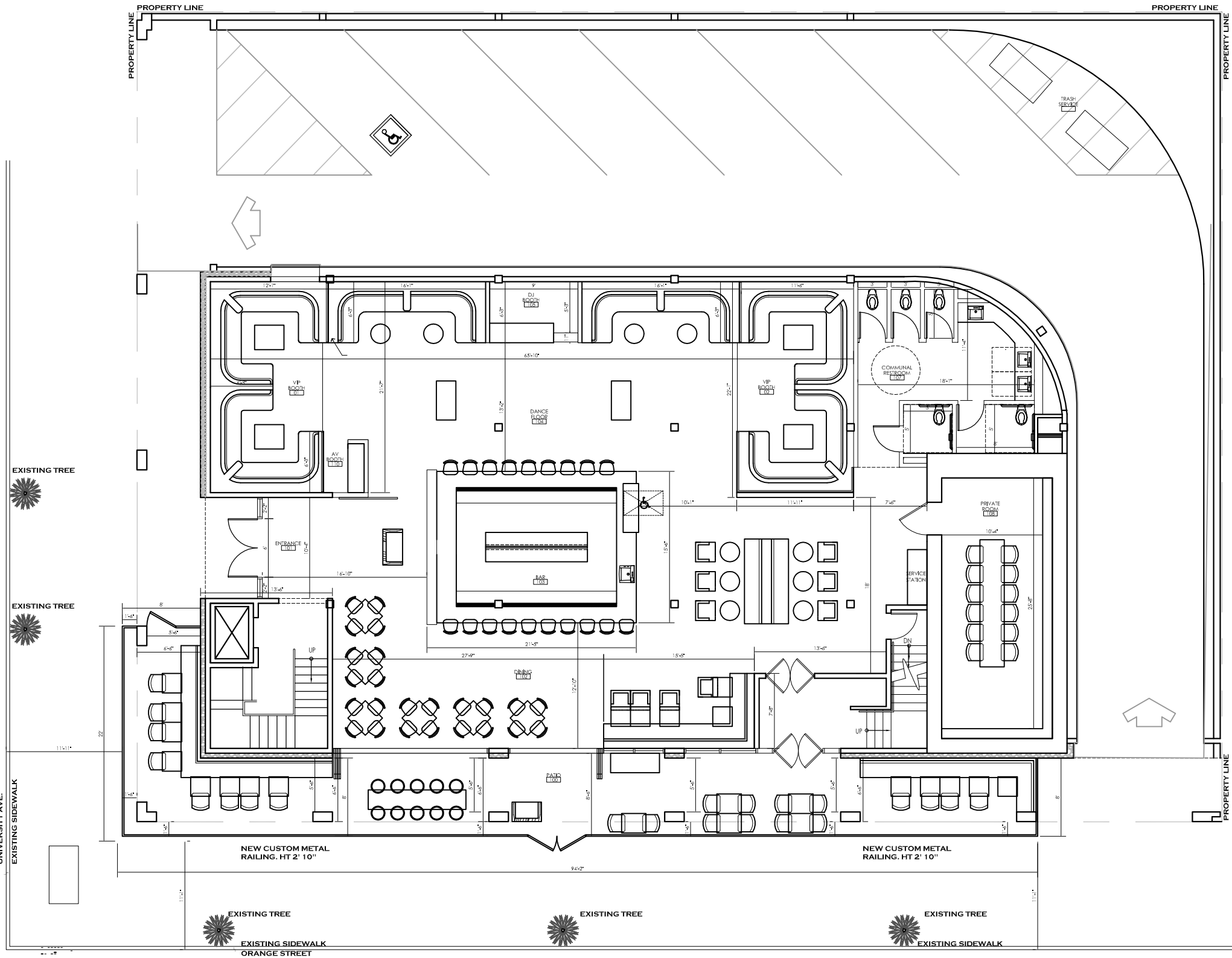
ID-1.1B

PC-2026-00117 (Revocation)
Exhibit 11 - P17-0126 Project Plans

SITE PLAN

SCALE:
1/4"=1'-0"

1



SITE DATA SUMMARY

PROJECT AREA: 9194.50 FT²
ZONING - DSP - REC - SP CR
DOWNTOWN SPECIFIC PLAN -
RAINCROSS DISTRICT AND CULTURAL RESOURCES
(MISSION INN HISTORIC DIST.
Proposed:
Basement: Office/storage/restaurant food prep area - 2732 sf
1st Floor - Restaurant/Bar/Night Club - 4600 sf
2nd Floor - Office - 7,858 sf

PARKING SUMARY

Total Parking required - 92 spaces
Parking provided on-site - 6 spaces
Parking spaces requested off-site: 86
*refer to parking analysis, dated 03/25/2018
prepared by Absolute Consulting Engineers

USED AREA

BASEMENT FLOOR AREA	2732.00 FT ²
FIRST FLOOR AREA	5174.00 FT ²
SECOND FLOOR AREA	4312.20 FT ²
OUTDOOR PATIO	881.55 FT ²



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DOWNTOWN EXPERIMENT

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RIVERSIDE, CA

MARCO MACUIRE
3601 UNIVERSITY AVENUE - RIVERSIDE CA. 92501
T: 909-261-6194

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(B) Note to Fabricator or Furniture Mfg's: The plan is submitted as a guide for the manufacturer. Where the fabrication requires verification by physical measurement, such measures in the fabrication of the manufacturer and will stand no expense for repair or modification if there is any deviation from actual measurement. Notwithstanding any omissions, it shall be the sole duty and responsibility of the manufacturer to determine actual construction and details and fabricate said design in accordance with accepted good practice and procedure and let Davis-Ink know at the time of bidding if said plan is not practical or structurally sound for its intent and purpose.
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SITE PLAN

SCALE:
1/4"=1'-0"

1



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REVISION

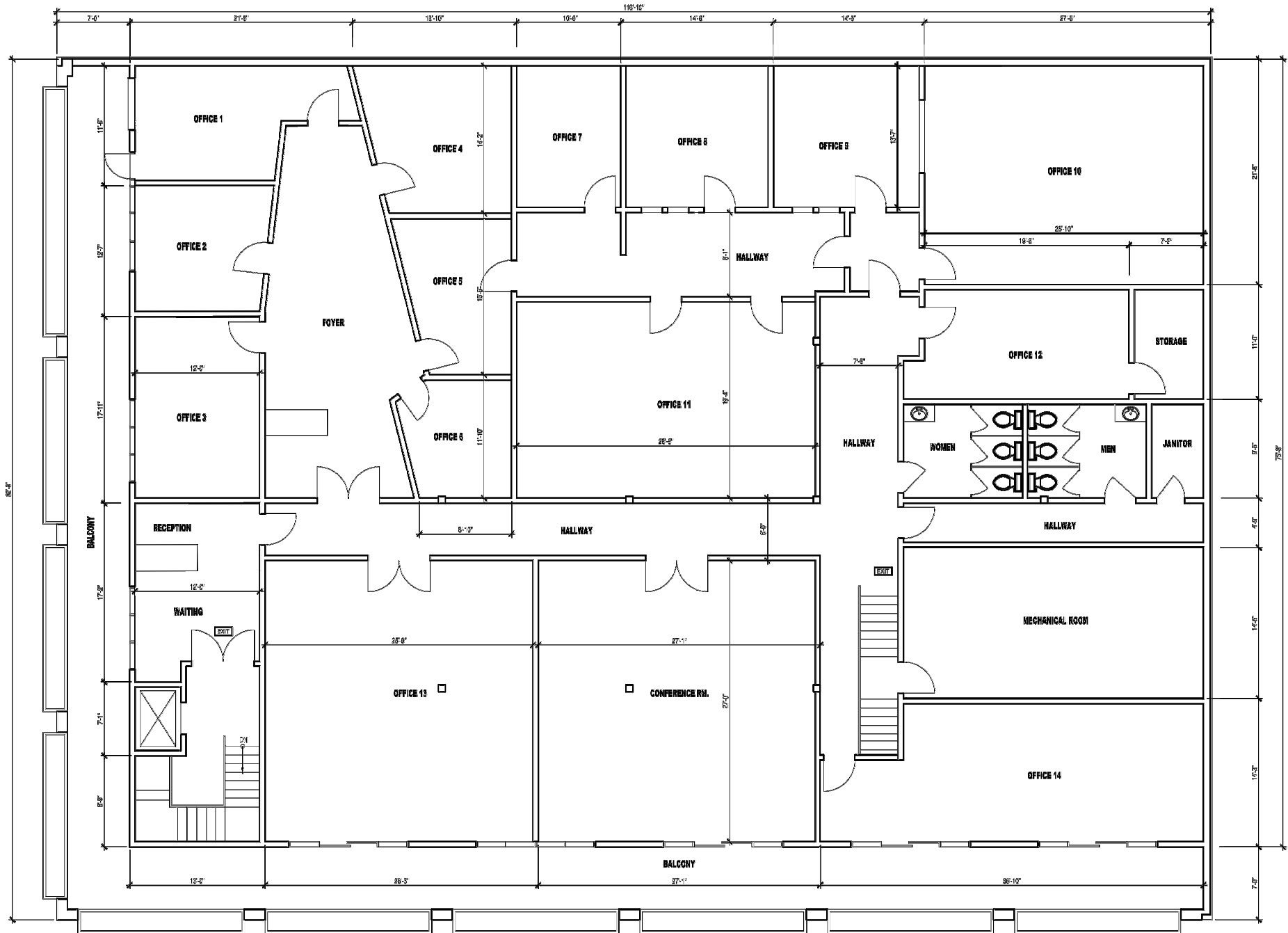
ADDENDUM 01
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DATE

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JANUARY 3, 2018

SHEET

ID-1.1C



OFFICE AREA = 7,858.0 SQ.FT. (d)
BALCONY AREA = 1,324.0 SQ.FT. (e)

EXISTING SECOND FLOOR PLAN

1/8" = 1'-0"



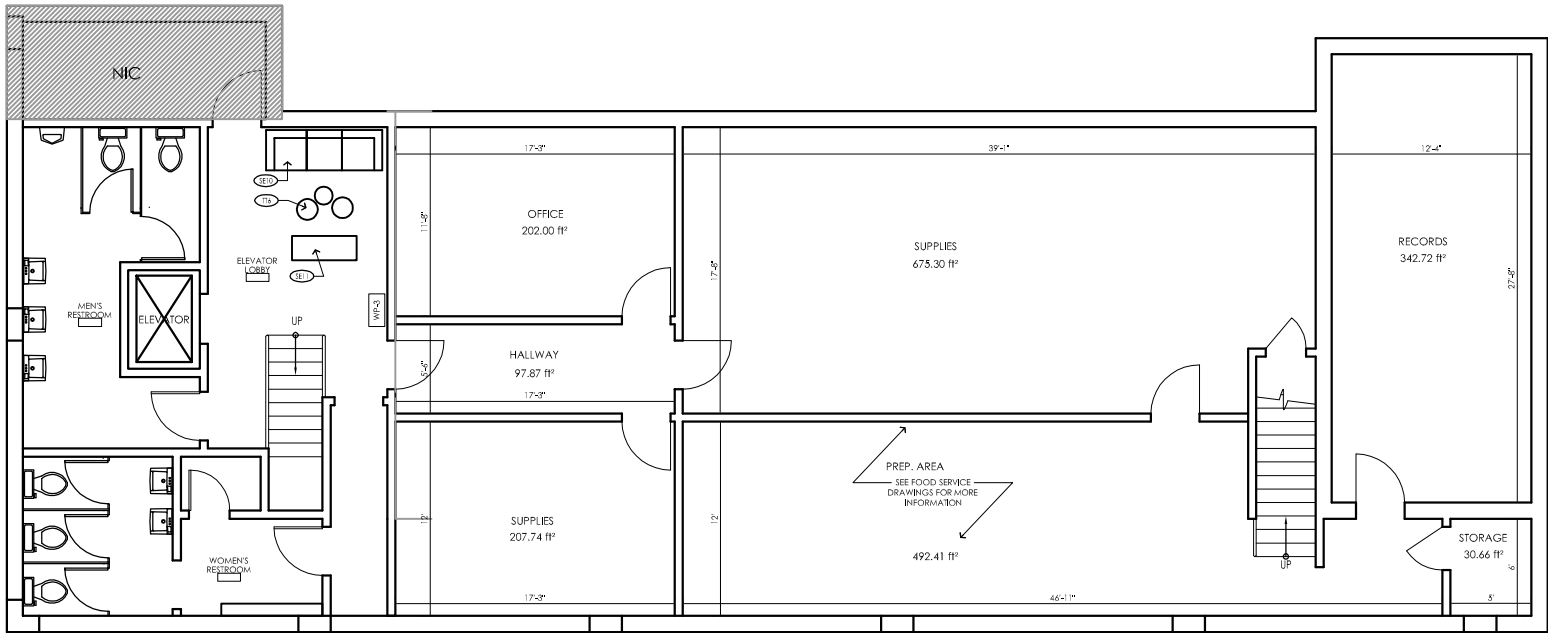
USED AREA

BASEMENT FLOOR AREA	2732.00 FT ²
FIRST FLOOR AREA	5174.00 FT ²
SECOND FLOOR AREA	4312.20 FT ²
OUTDOOR PATIO	881.55 FT ²



SHEET INDEX

- ID-1.1 EQUIPMENT FLOOR PLAN
- ID-2.1 REFERENCE FLOOR PLAN
- ID-3.1 FINISH SCHEDULE
- ID-3.2 EQUIPMENT SCHEDULE
- ID-4.1 REFLECTED CEILING PLAN
- ID-4.2 LIGHTING DIMENSION PLAN
- ID-5.1 FINISH FLOOR PLAN
- ID-7.1 INTERIOR ELEVATIONS
- ID-7.2 INTERIOR ELEVATIONS
- ID-7.3 INTERIOR ELEVATIONS
- ID-7.4 INTERIOR ELEVATIONS
- ID-7.5 INTERIOR ELEVATIONS
- ID-7.6 EXTERIOR ELEVATIONS
- ID-8.1 G.C. DETAILS
- ID-8.2 G.C. DETAILS
- ID-9.1 MILLWORK DETAILS
- ID-9.2 MILLWORK DETAILS
- ID-9.3 MILLWORK DETAILS
- ID-9.4 MILLWORK DETAILS
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- ID-9.5 MILLWORK DETAILS
- ID-9.6 MILLWORK DETAILS
- ID-9.7 MILLWORK DETAILS
- ID-9.8 MILLWORK DETAILS
- ID-9.9 MILLWORK DETAILS
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- ID-9.13 MILLWORK DETAILS
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- ID-9.15 MILLWORK DETAILS
- ID-9.16 MILLWORK DETAILS
- ID-9.17 MILLWORK DETAILS
- ID-10.1 BANQUETTE DETAILS
- ID-10.2 BANQUETTE DETAILS
- ID-10.3 BANQUETTE DETAILS
- ID-10.4 BANQUETTE DETAILS



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ID-1.1

PC-2026-00117 (Revocation)
Exhibit 11 - P17-0126 Project Plans

BASEMENT EQUIPMENT PLAN

SCALE:
3/16"=1'-0"

2