

ABBREVIATIONS

ACT	ACOUSTIC CEILING TILE
AD	AREA DRAIN
AFF	ABOVE FINISHED FLOOR
ALUM	ALUMINUM
ANOD	ANODIZED
BSMT	BASEMENT
BYND	BEYOND
BOT	BOTTOM
CIP	CAST IN PLACE
CHNL	CHANNEL
CJ	CONTROL JOINT
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
CPT	CARPET
CT	CERAMIC TILE
CTYD	COURTYARD
DBL	DOUBLE
DEMO	DEMOLISH OR DEMOLITION
DIA	DIAMETER
DIM	DIMENSION
DIMS	DIMENSIONS
DN	DOWN
DR	DOOR
DWG	DRAWING
EA	EACH
EJ	EXPANSION JOINT
EL	ELEVATION
ELEC	ELECTRICAL
ELEV	ELEVATOR OR ELEVATION
EPDM	ETHYLENE PROPYLENE DIENE M-CLASS (ROOFING)
EQ	EQUAL
EXIST	EXISTING
EXP JT	EXPANSION JOINT
EXT	EXTERIOR
FD	FLOOR DRAIN OR FIRE DEPARTMENT
FEC	FIRE EXTINGUISHER CABINET
FIXT	FIXTURE
FLR	FLOOR
FM	FILLED METAL
FO	FACE OF
FND	FOUNDATION
GA	GAUGE
GALV	GALVANIZED
GWB	GYPSUM WALL BOARD
HC	HOLLOW CORE
HI	HIGH
HM	HOLLOW METAL
HP	HIGH POINT
HR	HOUR
HVAC	HEATING, VENTILATING, AND AIR CONDITIONING
IRGWB	IMPACT RESISTANT GYPSUM WALL BOARD
ILO	IN LIEU OF
INSUL	INSULATED OR INSULATION
INT	INTERIOR
LO	LOW
MAX	MAXIMUM
MO	MASONRY OPENING
MECH	MECHANICAL
MEMBR	MEMBRANE
MIN	MINIMUM
MRGWB	MOISTURE-RESISTANT GYPSUM WALL BOARD
MTL	METAL
NIC	NOT IN CONTRACT
NO	NUMBER
NOM	NOMINAL
OC	ON CENTER
OH	OPPOSITE HAND
OSCI	OWNER SUPPLIED CONTRACTOR INSTALLED
OZ	OUNCE
PCC	PRE-CAST CONCRETE
PLUMB	PLUMBING
PLYD	PLYWOOD
PT	PRESSURE TREATED
PNT	PAINT OR PAINTED
PVC	POLYVINYL CHLORIDE
RBR	RUBBER
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REQD	REQUIRED
RM	ROOM
SIM	SIMILAR
SPEC	SPECIFIED OR SPECIFICATION
SPK	SPRINKLER OR SPEAKER
SSTL	STAINLESS STEEL
STC	SOUND TRANSMISSION COEFFICIENT
STL	STEEL
STRUCT	STRUCTURE OR STRUCTURAL
T&G	TONGUE AND GROOVE
TELE	TELEPHONE
TLT	TOILET
TO	TOP OF
TOC	TOP OF CONCRETE
TOS	TOP OF STEEL
TPD	TOILET PAPER DISPENSER
T/D	TELEPHONE/DATA
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
U/S	UNDERSIDE
VIF	VERIFY IN FIELD
VP	VISION PANEL
W/	WITH
WD	WOOD

PROJECT INFORMATION

PROJECT ADDRESS: 2726 MAIN ST, RIVERSIDE, CA 92501
 APN: 209270009
 TRACT: N/A
 BLOCK: N/A
 LOT: 16
 YEAR BUILT: 1934

LEGAL DESCRIPTION: POR LOT 16 MB 006/030 NORTH MAIN STREET TR

NUMBER OF STORIES: 1-STORY EXISTING BUSINESS
 NO EXTERIOR CHANGE PROPOSED

FIRE ZONE: NONE
 LOT SIZE: 50' X 100'
 LOT AREA: 5,000 SF
 BUILDING HEIGHT: NO CHANGE IN EXISTING HEIGHT
 BUILDING AREA: 5,000 SF TOTAL - T.I. AREA OF WORK (1,310 SF) - NO ADDITION PROPOSED

ZONING: NSP-MU
 FIRE SUPPRESSION: EXISTING COMMERCIAL SPACE IS NOT SPRINKLERED, NONE PROPOSED.

PARKING REQUIREMENTS: (8 + 2 ADA PARKING STALL) OFF-STREET PARKING SPACES EXISTING - NO CHANGE

302.1 OCCUPANCY CLASSIFICATION

OCCUPANCY LOAD: 54
 OCCUPANCY GROUP: A

NOTE: THE EXISTING COMMERCIAL SPACE OCCUPANCIES WILL REMAIN UNCHANGED.

SEE SHEET A100 FOR MORE INFORMATION.

503 BUILDING AREA

THE PROPOSED PROJECT IS AN INTERIOR TENANT IMPROVEMENT. NO CHANGE TO BUILDING AREA OR PARKING.

TOTAL EXISTING BUILDING FOOTPRINT AREA: 5,000 S.F.

TOTAL LEASED AREA: 5,000 S.F.

602.2 CONSTRUCTION CLASSIFICATION

THE EXISTING RETAIL COMMERCIAL SPACE IS TYPE V-B CONSTRUCTION; NON-SPRINKLERED - NONE PROPOSED.

PROJECT DIRECTORY

DESIGNER:
 ALLIED PROJECTS INC.
 207 E BROADWAY, STE. 201
 LONG BEACH, CA 90802
 CONTACT: ALEX PETRAKOS
 562-382-6233 x701

TITLE 24 CONSULTATION:
 ALTERNATIVE ENERGY SYSTEMS
 CONTACT: TROY LINDQUIST
 3235 N. VERDUGO AVE.
 GLENDALE, CA 91208
 818-957-7733

ALLIED PROJECTS

DATE: 03/06/2025
 ISSUANCE: AS-BUILT DRAWINGS
 REV#

DESCRIPTION OF WORK

TENANT IMPROVEMENT PROJECT TO AN EXISTING (E)1,310 SF COMMERCIAL SPACE & SEPARATE (E)3,339 SF UNDER SEPARATE PERMIT AT LATER DATE TO OPERATE AS ART GALLERY. THE USE IS TO REMAIN AS A BUSINESS AND OPERATE AS A TASTING ROOM UNDER THE NAME 123POUR. STORAGE, RETAIL, & BEER TASTING TO BE ON-SITE, MANUFACTURING TO BE OFF-SITE. NO FOOD SERVICE. NO CHANGES TO THE BUILDING AREA ARE PROPOSED.

1 ADA STREET PARKING SPACE TO REMAIN. PAINTING + SIGNAGE PROPOSED AT EXTERIOR. WORK INCLUDES THE ADDITION OF 1 (N) BAR AREA, (N) STORAGE, (N) LIGHTING. (E) MECHANICAL UNITS ARE TO REMAIN. NO SPRINKLERS ARE PROPOSED.

DAYS OF OPERATION TO BE 6 DAYS A WEEK, CLOSED ON MONDAYS. 2 EMPLOYEES PER SHIFT. HOURS TO BE 4PM-10PM.

NOTE: ALL PRESENT AND EXISTING STRUCTURES TO REMAIN ON THE SITE.

CONDITIONAL USE PERMIT FOR ALCOHOL SALES:
 A CONDITIONAL USE PERMIT TO ALLOW ON-SALE OF ALCOHOLIC BEVERAGES IN CONJUNCTION WITH A 1,310SF TASTING ROOM WHICH REQUIRES A TYPE OF 40 ABC LICENSE.

SHEET INDEX

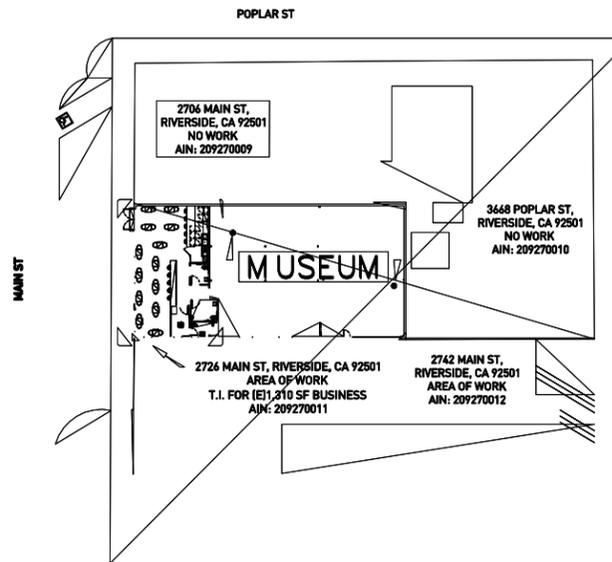
A000	PROJECT DATA
A100	PROPOSED EGRESS PLAN
A110	SITE PLAN
D201	EXISTING FLOOR PLAN
A201	PROPOSED FLOOR PLAN
D501	EXISTING ELEVATION
XXXXXXXXXXXXXXXXXX	

APPLICABLE CODES

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING:

- 2022 CALIFORNIA BUILDING CODE (CBC)
- 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC)
- 2022 CALIFORNIA ENERGY CODE (CEC)
- 2022 CALIFORNIA FIRE CODE (CFC)
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- 2022 CALIFORNIA ELECTRICAL CODE (CEC)
- 2022 CALIFORNIA MECHANICAL CODE (CMC)
- 2022 CALIFORNIA PLUMBING CODE (CPC)
- 2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
- 2025 RIVERSIDE CODE AMENDMENTS
- TITLE 24

VICINITY MAP



SCALE: 1/32" = 1'-0"
 (REFER TO SHEET A110 FOR ENLARGED SITE PLAN)

PROJECT SITE:
 2726 MAIN ST, RIVERSIDE, CA 92501

CLIENT:
 123POUR
 2726 MAIN STREET
 RIVERSIDE, CA 92501

DESIGNER:
 ALLIED PROJECTS INC.
 3702 E ANAHEIM ST.
 LONG BEACH, CA 90804
 CONTACT:
 ALEXANDER PETRAKOS
 562-382-6233 x701

PROJECT TITLE:
 123POUR
 2726 MAIN STREET
 RIVERSIDE, CA 92501

DRAWING TITLE
PROJECT DATA

SHEET

A000

GENERAL NOTES

- REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.
- CONDUCT A PRE-CONSTRUCTION MEETING WITH THE DESIGNER, ENGINEERS AND A DESIGNATED OWNER'S REPRESENTATIVE PRIOR TO ANY DEMOLITION. THIS MEETING DOES NOT PRECLUDE ANY MEETING REQUIRED WITH THE AUTHORITIES HAVING JURISDICTION.
- IMMEDIATELY NOTIFY THE DESIGNER, ENGINEERS, AND DESIGNATED OWNER'S REPRESENTATIVE IF ANY WORK INDICATED IN DEMOLITION DOCUMENTS CANNOT BE PERFORMED DUE TO FIELD CONDITIONS.
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OCCUPANCY CLASSIFICATIONS

2022 CBC: TABLE 1004.2: MAXIMUM FLOOR AREA ALLOWANCE PER OCCUPANT

MARK	ROOM	AREA (S.F.)	LOAD (S.F. / PERSON)	TOTAL PERSON(S)	NOTES
100	TASTING ROOM	783	15 (ASSEMBLY)	52	
101	SERVICE	154	200	1	
102	MEN'S BATHROOM	75	-	-	N.S.
103	WOMEN'S BATHROOM	50	-	-	N.S.
104	OFFICE	73	150 (BUSINESS)	1	
105	BATHROOM	49	-	-	N.S.

TOTAL OCCUPANTS: 64
N.S. - NON-SIMULTANEOUS OCCUPIED

WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO REMOVE
- NEW WALL

2022 CBC: SECTION 1006.3.2: EGRESS COMPONENTS

TOTAL OCCUPANT LOAD: 47 P

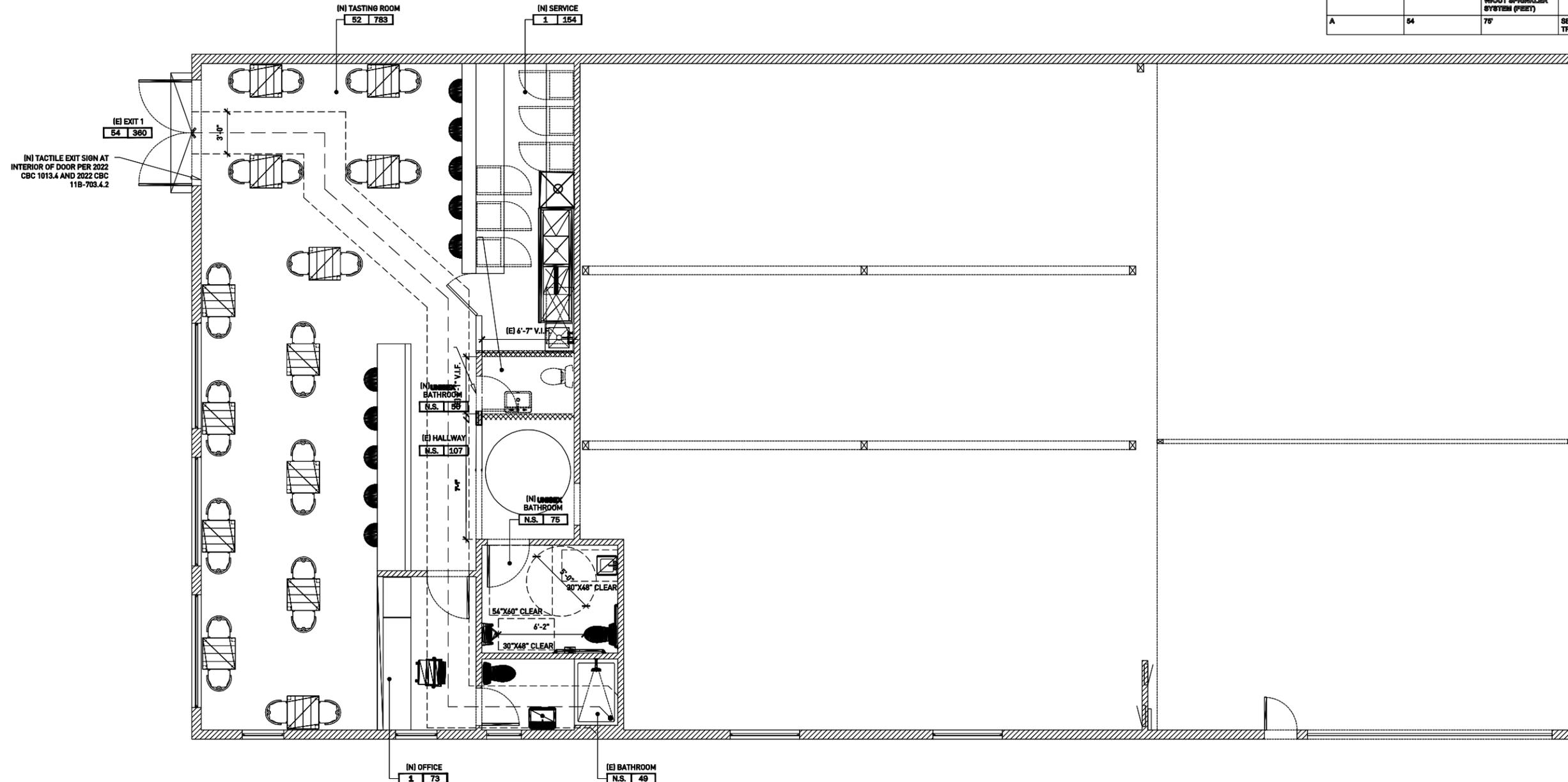
EXIT DOOR #1	MIN. REQ'D (IN.)	PROVIDED (IN.)	CAPACITY
32	32	90	@ 0.15 = 360 P

2022 CBC: TABLE 1017.2: EASY ACCESS TRAVEL DISTANCE

OCCUPANCY	WITHOUT SPRINKLER SYSTEM (FEET)	NOTE
A	75'-0"	SEE PLAN FOR TRAVEL DISTANCES

2022 CBC: TABLE 1006.2.1: SPACES WITH ONE EXIT OR EASY ACCESS DOORWAY

OCCUPANCY	MAXIMUM OCCUPANT LOAD OF SPACE	MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM (FEET)	NOTE
A	64	75'	SEE PLAN FOR COMMON TRAVEL DISTANCES



ALLIED PROJECTS

DATE: 03/04/2025 ISSUANCE: AS-BUILT DRAWINGS REV#

CLIENT:
123 POUR
2726 MAIN STREET
RIVERSIDE, CA 92501

DESIGNER:
ALLIED PROJECTS INC.
3702 E ANAHEIM ST.
LONG BEACH, CA 90804
CONTACT:
ALEXANDER PETRAKOS
562-382-6233 x701

PROJECT TITLE:
123 POUR
2726 MAIN STREET
RIVERSIDE, CA 92501

PROPOSED EGRESS PLAN

SHEET

A100



GENERAL NOTES

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WALL LEGEND

- EXISTING WALL TO REMAIN
- EXISTING WALL TO REMOVE
- NEW WALL

MAIN ST

POPLAR ST

ALLIED PROJECTS

DATE: 03/04/2025 ISSUANCE: AS-BUILT DRAWINGS REV#

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123 FOUR
2726 MAIN STREET
RIVERSIDE, CA 92501

DESIGNER:
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3702 E ANAHEIM ST.
LONG BEACH, CA 90804
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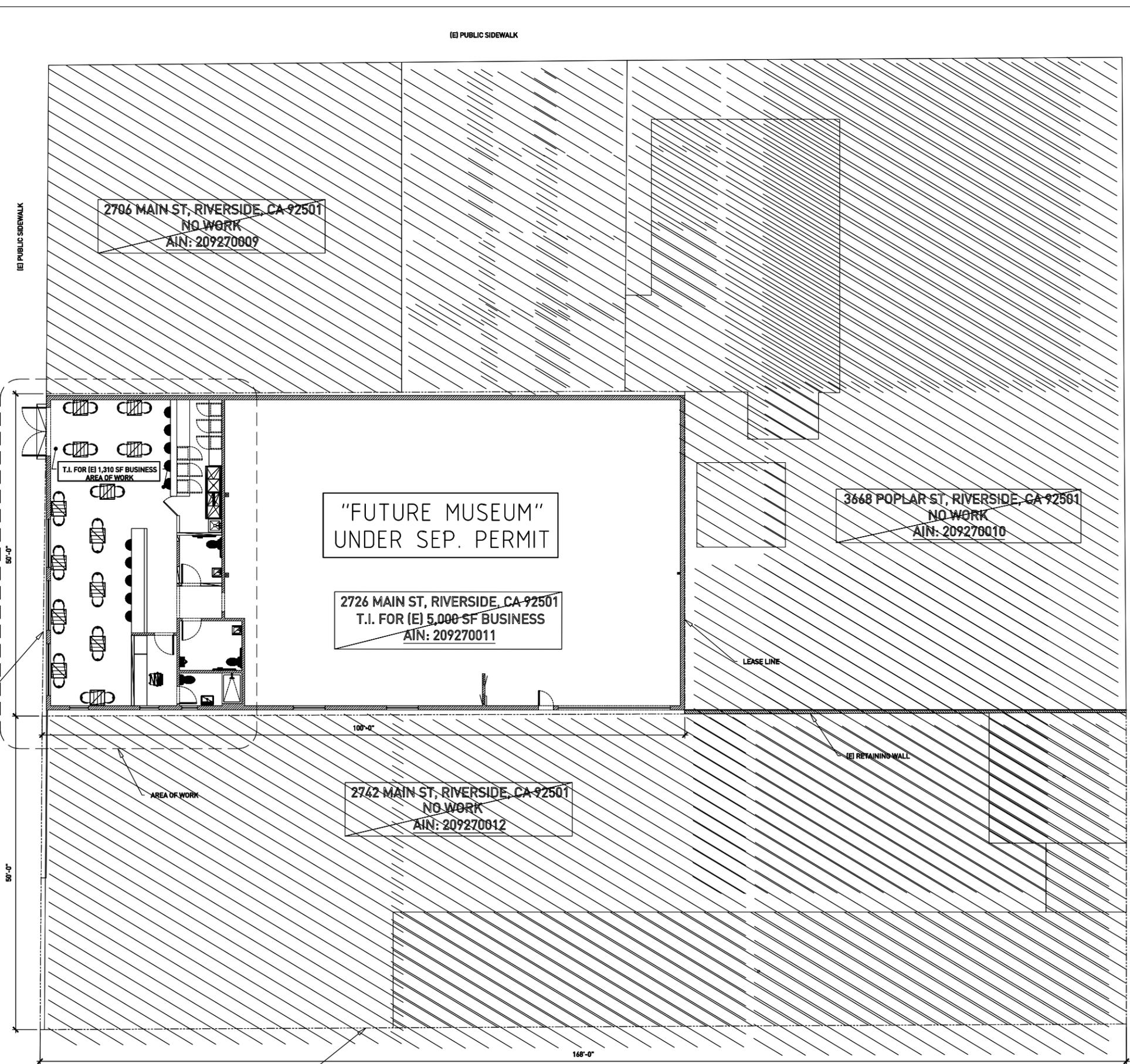
PROJECT TITLE:
123 FOUR
2726 MAIN STREET
RIVERSIDE, CA 92501

DRAWING TITLE

SITE PLAN

SHEET

A110



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-  NEW WALL

ALLIED PROJECTS

DATE: ISSUANCE: REV#

03/06/2025 AS-BUILT DRAWINGS

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123 POUR
2726 MAIN STREET
RIVERSIDE, CA 92501

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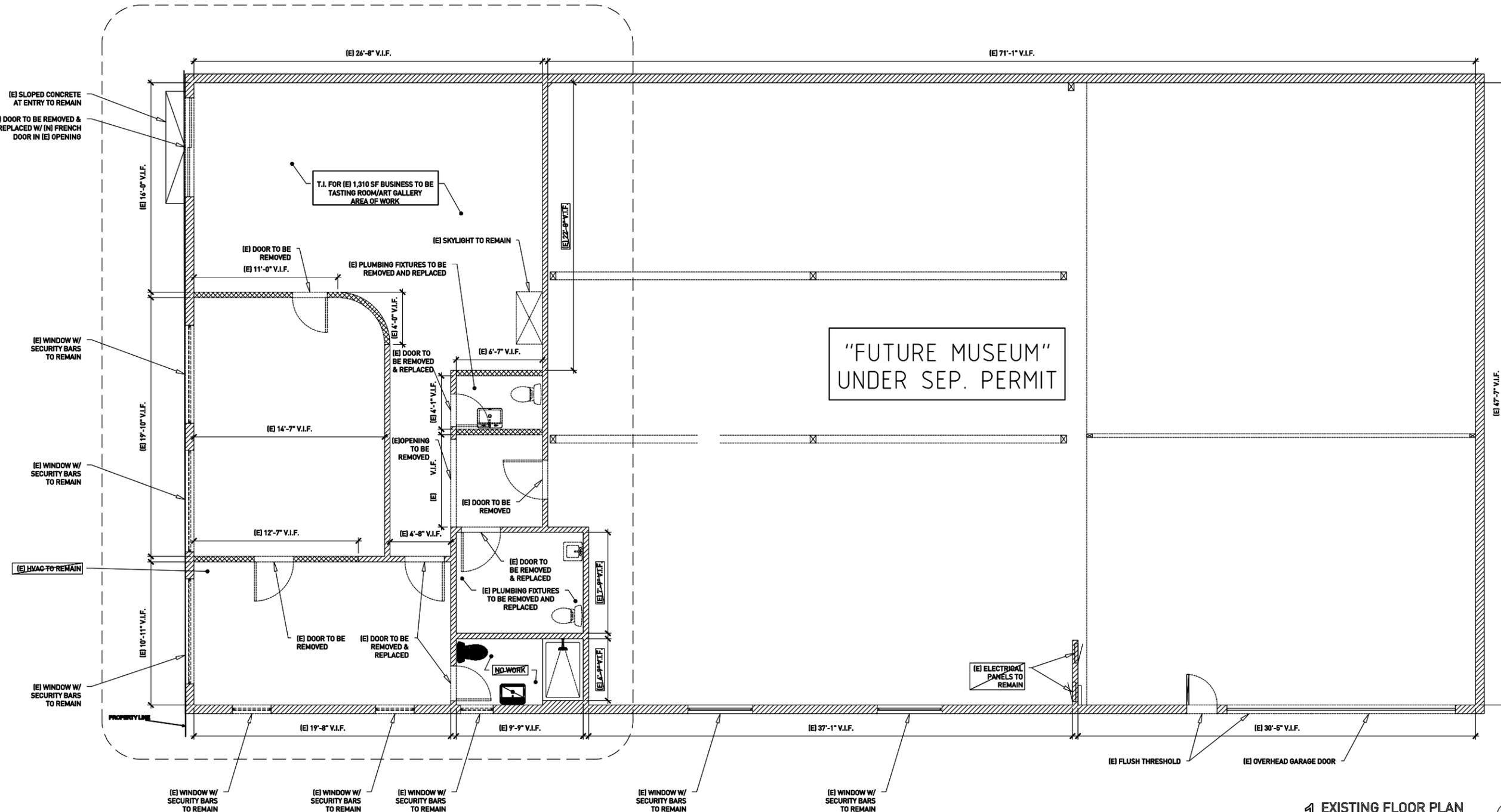
123POUR
2726 MAIN STREET
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DRAWING TITLE:

EXISTING FLOOR PLAN

SHEET

D201



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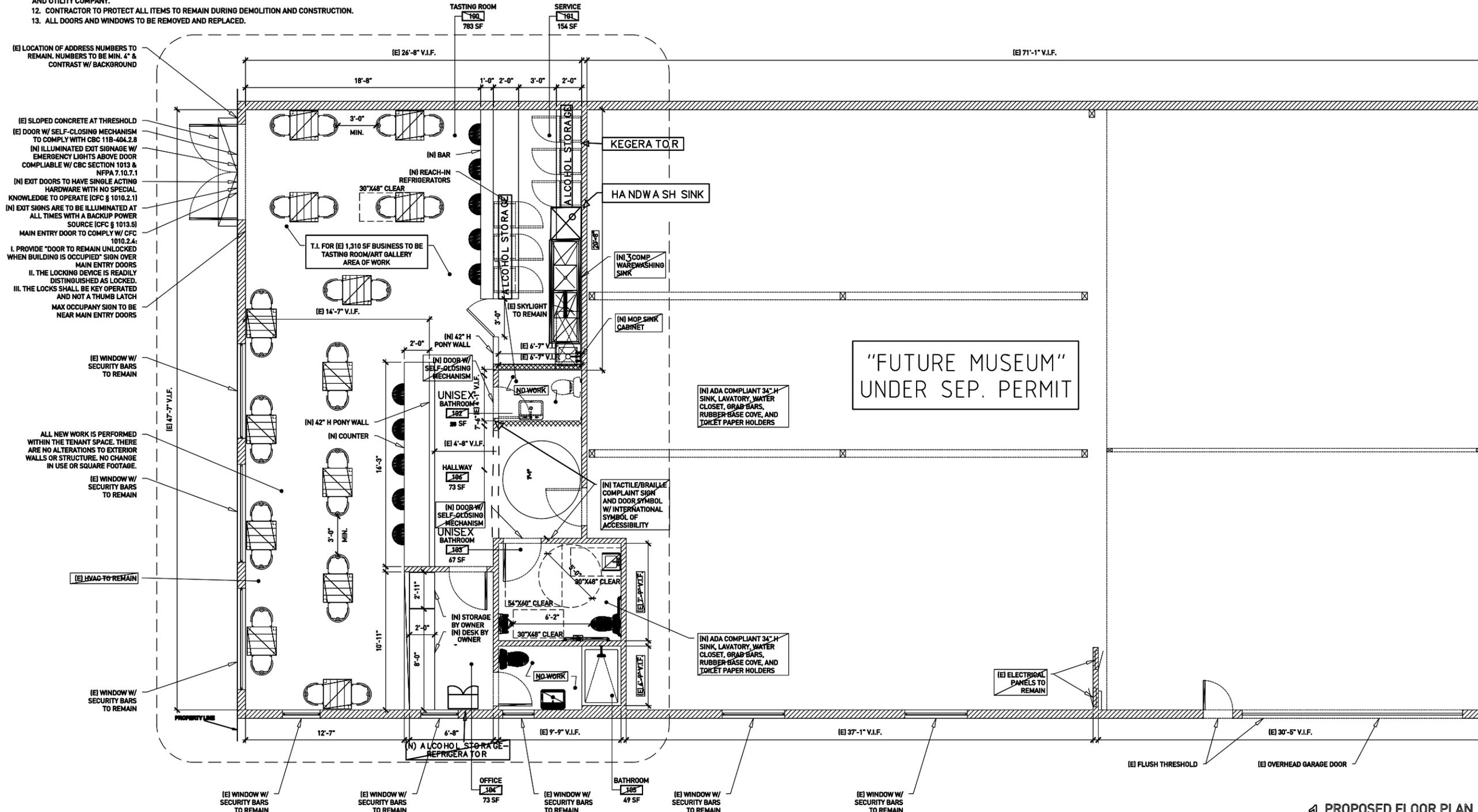
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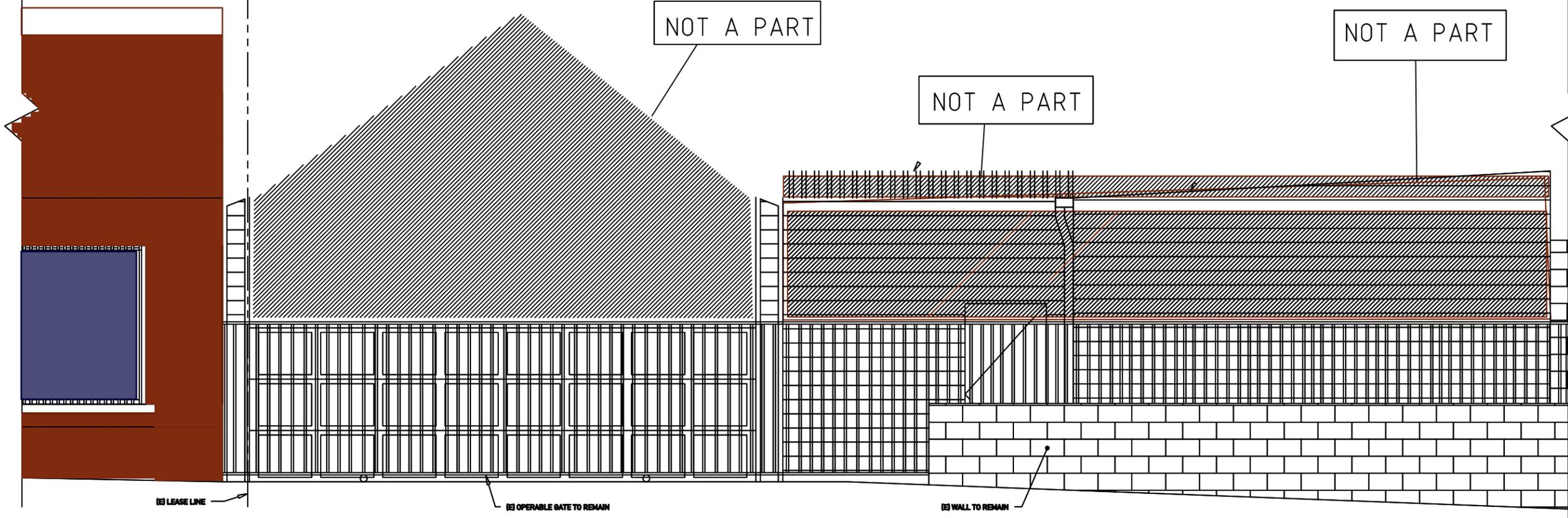
DRAWING TITLE

PROPOSED FLOOR PLAN

SHEET

A201

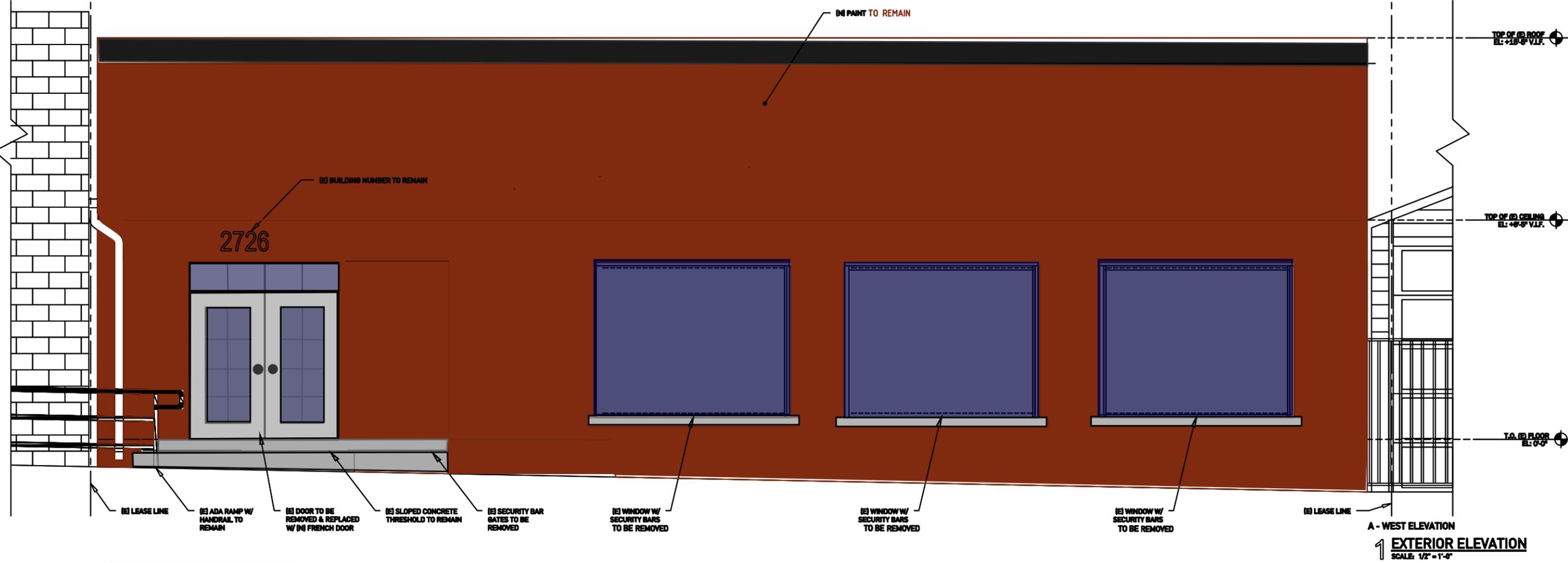




(E) LEASE LINE (E) OPERABLE GATE TO REMAIN (E) WALL TO REMAIN

B - WEST ELEVATION

2 EXTERIOR ELEVATION
SCALE: 1/2" = 1'-0"



(E) LEASE LINE (E) ADA RAMP W/ HANDRAIL TO REMAIN (E) DOOR TO BE REMOVED & REPLACED W/ (N) FRENCH DOOR (E) SLOPED CONCRETE THRESHOLD TO REMAIN (E) SECURITY BAR GATES TO BE REMOVED (E) WINDOW W/ SECURITY BARS TO BE REMOVED (E) WINDOW W/ SECURITY BARS TO BE REMOVED (E) WINDOW W/ SECURITY BARS TO BE REMOVED (E) LEASE LINE

A - WEST ELEVATION

1 EXTERIOR ELEVATION
SCALE: 1/2" = 1'-0"

CLIENT:
123 POUR
2726 MAIN STREET
RIVERSIDE, CA 92501

DESIGNER:
ALLIED PROJECTS INC.
3702 E ANAHEIM ST.
LONG BEACH, CA 90804
CONTACT:
ALEXANDER PETRAKOS
562-362-4233 x701

PROJECT TITLE:
123POUR
2726 MAIN STREET
RIVERSIDE, CA 92501

DRAWING TITLE:
**EXISTING
EXTERIOR
ELEVATION**

SHEET

D501



1 2 3 POUR INC

Security Plan

1. Identification of days and hours of operation:

1 2 3 POUR Business Hours

Sunday – Thursday 4PM to 10PM

Friday and Saturday 4pm to 11pm

Hours may be adjusted for special events with notice to ABC and/or City of Riverside as required.

2. Specific Measures and procedures to address crowd management both inside and outside the premises:

Disruptive Behavior

2 bartenders (1 manager, 1 staff) are always on shift with additional bartenders added on busier nights, Fridays and Saturdays. Maximum Occupancy is 54 per Fire Department Standards. Rude, lewd, racist, or aggressive customer behavior is not tolerated, inside or outside of our premise. If a customer makes you feel unsafe at any time you can ask them to leave and/or call 911. Use calm and authoritative tone, alert other employees on shift of the disturbance and wait for the person to leave or call the police if necessary.

If you must ask someone to leave, have another employee back you up in case they have to call 911. Use a calm and authoritative tone. Do not engage with any provocation.

Any other disruptive behavior – outside alcohol, arguments, drunkenness, etc. can be addressed in a calm manner. Give a verbal warning and alert your coworkers, plan for the next step (asking them to leave and/calling 911 or police) if the behavior continues.

Entry may be refused to any person exhibiting signs of intoxication or disruptive behavior.

Security Camera Locations and Info

There are 14 cameras total. 4 in the bar area, 1 in the office, 4 in the art gallery, 2 facing main street, and 3 facing the common area with the tire shop. Cameras have footage retained for a period of 30 days as required by City of Riverside Police Department, access is available at their request. People who have access are Brenton Aragon (951)-204-8905 and Estevan Fierro (951)-743-9776.

3. Identification of any Parking Areas Owned or Controlled by the Establishment.

PRIVATE PROPERTY BOUNDARY GUIDELINES & PARKING

No open containers may leave the boundaries of our private property
All guests are encouraged to rideshare (Lyft, Uber, etc.) to the tap room but free on-street parking is available all around the taproom. Signage of “No open containers beyond this point” will be posted at all exits. Staff will periodically check surrounding area of the premise to discourage loitering and maintain safety.

Evacuation procedure in case of fire or natural disaster

Put out fire, if manageable, with a fire extinguisher. Fire extinguishers will be maintained in both tasting room as well as museum/art gallery.

First bartender that first encountered the event should alert all other staff and lead everyone out of the taproom with second bartender trailing to ensure all persons have exited the building.

Once first bartender has exited the building, they should call the proper authorities based on the event (Fire, Police, Emergency Services).

In the event of a medical emergency

The first available staff member should call 911 and alert all other staff. First aid kit will be available behind the bar as well as one in the office area.

In the event of a physical altercation

911 is called by the first available staff and other staff should be notified. Disruptive behavior procedures below are also followed:

Rude, lewd, racist, or aggressive behavior will not be tolerated, inside our premise or outside on our property. If a customer makes you feel unsafe at any time you can ask them to leave and/or call the police (always call 911, not the non-emergency number)

If an aggressive or unruly person is outside, have all employees come inside until the person leaves and call the police if necessary.

If you must ask someone to leave, have another employee back you up in case they must call 911. Use calm and authoritative tone. Do not engage with any provocation.

Any other disruptive behavior -outside alcohol, arguments, drunkenness, etc. can be addressed in a calm manner. Give warning and alert your coworkers to the situation at hand, plan for the next step if the behavior continues (ask them to leave/call the police).

In the event of fire, police, or emergency service being required the on-site manager is required to maintain incident log.

4. Means of Controlling Access to the Premise

Access to the premise is controlled through lock and key. "Open" signage will be utilized to signal open hours to patrons. We have a security system that monitors both inside the premise and the surrounding outside. An alarm system is also functional for all areas inside as well as all entry points. Only staff have access to keys and alarm codes. Alarm covers all doors and windows and is activated outside of business hours. Alarm is monitored by ADT on a 24-hour response.

5. Security Staffing

We do not employ any security staffing. All our staff are trained on disruptive behavior safety procedures to act accordingly and notify police when necessary. All staff receive training in the responsible beverage service (RBS) as required by the California Alcohol Beverage Control. If crowd size or conditions warrant, we will employ licensed security personnel as required by the Riverside Police Department.

6. Measures Used to Combat Underaged Drinking

All bartenders hold RBS training certification as required by the California Alcohol Beverage Control and go through a yearly refresher of ID verification and compliance, provided in house. Staff will card every patron, every time before ordering alcohol, regardless of age appearance. Servers are trained to do the math in their head to ascertain if patron is of drinking age. We have a very strict enforcement of our underage consumption policies. We refuse service to anyone who is underage, or anyone with an expired Identification. We calmly ask the party to leave, if behavior becomes disruptive, we refer to our policy laid out earlier about how staff will deal with disruptive behavior.

7. Measures to Distinguish between Patrons who are over and underage

Yes, underage patrons are allowed on the premise according to the Type 40 ABC license. We ID everyone before every sale to eliminate any chance of underage consumption. Our staff knows to watch for one person who may be ordering for groups or other people. We do not allow any over age patron to order more than 1 drink at a time unless accompanied by corresponding number of over aged patrons with valid ID.

8. Storage of Alcohol

All alcohol will be stored in refrigerators that are only accessible by staff. Two low fridges will be behind the bar as well as an 8-tap kegerator. Each will house both kegs, bottles and cans of beer. An auxiliary fridge will be located inside the office which will hold all surplus beer. Office will be equipped with both door lock as well as deadbolt and can only be accessed by a staff member. All alcohol is inventoried and secured after hours.

9. Cooperation and Community Responsibility

The establishment maintains an incident log and will cooperate fully with the Riverside Police Department, ABC, and City Code Enforcement to address any issues or complaints. Incident logs are retained for at least one year. Log will note date, time, nature of the event, staff on duty, and any police case number if applicable.

10. Management and Contact Information

Business Name: 1 2 3 POUR, INC.

Business Address: 2726 Main Street, Riverside, CA 92501

Business Type: Type 40 On-Sale Beer Taproom with Art Gallery

Contact Person / Manager: Brenton Aragon

Phone: (951) 204-8905

Email: 123POUR.RIVERSIDE@GMAIL.COM