

- LEGEND**
- PROPERTY LINE
 - EXISTING EASEMENT LINE
 - EXISTING CENTER LINE
 - EXISTING RIGHT OF WAY LINE
 - PROPOSED EASEMENT LINE
 - PROPOSED CENTER LINE
 - PROPOSED RIGHT OF WAY LINE
 - PROPOSED STORM DRAIN PIPE
 - PROPOSED FLOW DIRECTION
 - PROPOSED SPOT ELEVATION (745.50 TO 745.00 FLS)
 - EXISTING SPOT ELEVATION (745.00 TO 745.50 FLS)
 - LANDSCAPE/PLANTER AREA
 - POINT OF CONNECTION (TO EXISTING)
 - PIPE END CAP
 - PROPOSED CLEANOUT
 - STORM DRAIN AND SANITARY SEWER MANHOLE
 - CATCH BASIN INLET
 - CORB DRAIN INLET
 - AREA DRAIN
 - TRENCH DRAIN

EXISTING UTILITY NOTE

THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND SIZE OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. REPORT DISCREPANCIES AND OTHER CONCULS WITH PROPOSED UTILITIES TO TURNKEY PRIOR TO INSTALLATION OF ANY PIPES.

GENERAL NOTES:

- CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL PLANS FOR PROPOSED WORK.
- ALL WORK EXCEPT THAT IN THE CITY RIGHT OF WAY SHALL BE CONSTRUCTED PER SEPARATE PERMITS FROM THE CITY OF LOS ANGELES.
- SEE LANDSCAPE ARCHITECTURE PLAN FOR HARDSCAPE DESIGN ALONG PERMETER STRIPS TO FRONTING THE PROJECT.
- STORM DRAIN AND SANITARY SEWER MANHOLES SHALL BE INSTALLED AT THE CORNERS OF STORM DRAIN AND TRENCH DRAIN WATER PATS.
- NO FILL TO BE PLACED UNTIL THE CITY GRADING INSPECTOR HAS INSPECTED AND APPROVED THE BOTTOM ELEVATION.
- MANHOLE SHALL BE CONSTRUCTED TO MINIMUM RELATIVE COMPLETION OF 90% DENSITY. JOISTS SHALL BE SET BELOW FINISH GRADE UNLESS A LOWER RELATIVE DENSITY IS SPECIFIED. MINIMUM OF 18" AIR SPACE SHALL BE MAINTAINED ABOVE THE JOIST.
- TEMPORARY EROSION CONTROL TO BE INSTALLED BETWEEN OCTOBER 1 AND APRIL 15. SEE PLUMBING PLANS FOR BUILDING PERMETER SURFACE DRAIN LINES AND STORM DRAIN LINES AND EROSION CONTROL.
- SEE PLUMBING PLANS FOR BUILDING PERMETER SURFACE DRAIN LINES AND STORM DRAIN LINES AND EROSION CONTROL.
- ALL TESTS FOR WATER TIGHTNESS TO TAKE PLACE ON LOW FLOW AT POINTS OF CONNECTION.
- MAXIMUM SLOPE TO BE 2% UNLESS OTHERWISE STATED BY THE GEOTECHNICAL ENGINEER.
- MAXIMUM RETAINING WALL HEIGHT TO BE 6'.

ESTIMATED EARTHWORK QUANTITIES

CUT (BASED ON GRADE DIFFERENCE FROM EXISTING TO PROPOSED)
 FILL (BASED ON GRADE DIFFERENCE FROM EXISTING TO PROPOSED)

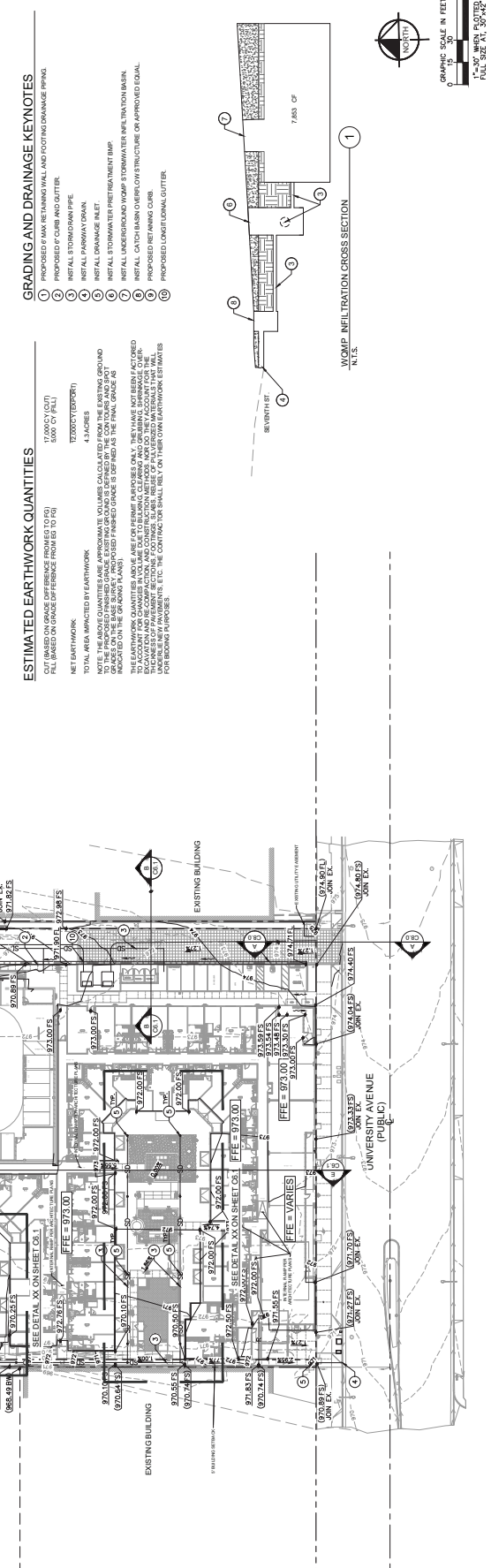
NET EARTHWORK: 17,000 CY (CUT) / 24,000 CY (FILL)

NET AREA IMPACTED BY EARTHWORK: 4.3 ACRES

THE EARTHWORK QUANTITIES AND VOLUMES ARE FOR INFORMATION ONLY. THEY HAVE NOT BEEN FACTORED FOR EROSION AND WEAR, OR FOR OTHER FACTORS THAT MAY AFFECT THE QUANTITIES. THE CONTRACTOR SHALL VERIFY THE QUANTITIES AND VOLUMES ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

GRADING AND DRAINAGE KEYNOTES

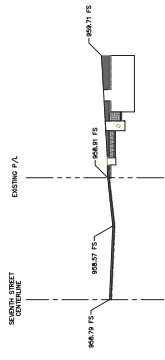
- PROPOSED 6" DIA. REINFORCED CONCRETE WALL AND FOOTING DRAINAGE PIPING
- INSTALL STORM DRAIN PIPE
- INSTALL PERMANENT DRAIN
- INSTALL UNDERDRAIN PRETREATMENT BAMP
- INSTALL UNDERDRAIN AND VORTEX STORMWATER COLLECTION BASIN
- INSTALL CATCH BASIN OVER CATCH STRUCTURE ON APPROVED LOCAL
- PROPOSED RETAINING CURB
- PROPOSED CONSTRUCTION CURB



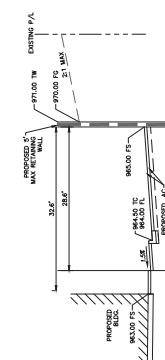
PROJECT NO.	11020022
DATE	05/01/2024
SCALE	AS SHOWN
DRAWN BY	MC
CHECKED BY	MC

Kimley-Horn
660 S. MIDCOURT STREET, SUITE 2000, LOS ANGELES, CA 90071
PHONE: 213-261-4040
WWW.KIMLEY-HORN.COM

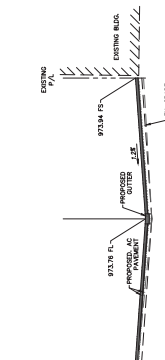
NO.	REVISIONS	DATE	BY



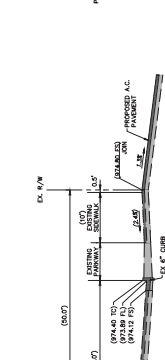
PROPERTY LINE
(WEST TO EAST)
SECTION D-D
SCALE: NTS



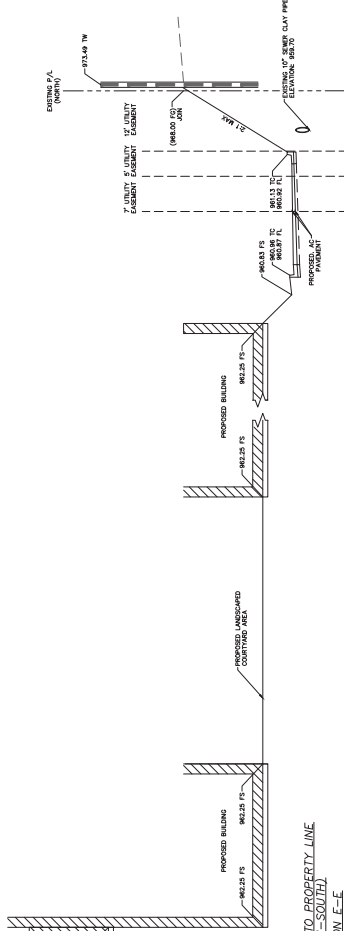
PROPERTY LINE
(WEST TO EAST)
SECTION C-C
SCALE: NTS



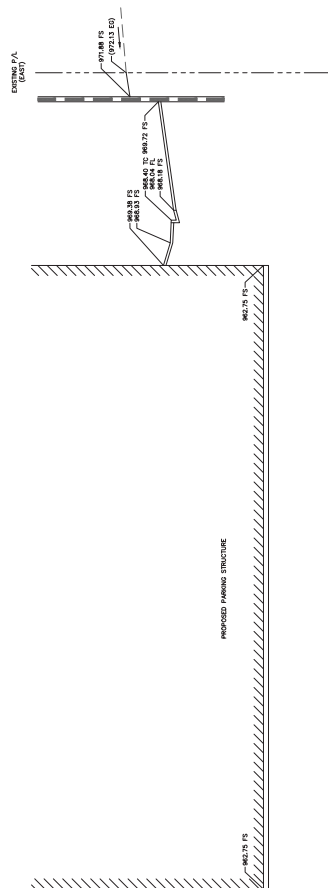
PROPERTY LINE
(EAST)
SECTION B-B
SCALE: NTS



PROPERTY LINE
(SOUTH)
SECTION A-A
SCALE: NTS



PROPERTY LINE TO PROPERTY LINE
(NORTH-SOUTH)
SECTION E-E
SCALE: NTS



PROPERTY LINE TO PROPERTY LINE
(WEST TO EAST)
SECTION F-F
SCALE: NTS

These documents, together with the contracts and design and purchase orders, are intended to serve as the entire agreement between the parties. No oral agreement or understanding is intended to be made by the parties. The drawings, specifications, and purchase orders are intended to be read in conjunction with the contracts and design and purchase orders. The drawings, specifications, and purchase orders are intended to be read in conjunction with the contracts and design and purchase orders. The drawings, specifications, and purchase orders are intended to be read in conjunction with the contracts and design and purchase orders.

LEGEND

—	PROPERTY LINE
---	EXISTING OR SETBACK LINE
---	CUT LEFT OF PROPERTY LINE
---	CUT RIGHT OF PROPERTY LINE
---	EXISTING WATER PIPE
---	PROPOSED WATER PIPE
---	PROPOSED STORM DRAIN PIPE
---	PROPOSED DOMESTIC WATER PIPE
---	PROPOSED FIRE WATER PIPE
---	EXISTING WATER MAIN
---	EXISTING WATER MAIN
---	EXISTING SEWER MAIN
---	EXISTING GAS LINE
---	EXISTING ELECTRIC LINE
---	PROPOSED BIRDO
---	PROPOSED TEE
---	PROPOSED FIRE HYDRANT
---	PROPOSED WATER METER
---	PROPOSED WATER VALVE
---	EXISTING SEWER MANHOLE
---	EXISTING WATER VALVE
---	EXISTING POC
---	EXISTING FIRE HYDRANT
---	EXISTING STREET LIGHT
---	EXISTING GAS VALVE
---	EXISTING POST INDICATOR VALVE

DOMESTIC WATER

① INSTALL EXISTING WATER MAIN, COORDINATE TAP WITH LOCAL WATER PURVEYOR.

② INSTALL DOMESTIC WATER PIPE, SIZE PER PLAN.

③ INSTALL DOMESTIC WATER METER, SIZE PER PLAN, COORDINATE WITH LOCAL WATER PURVEYOR.

④ NOT USED.

⑤ INSTALL FIRE HYDRANT ASSEMBLY (60"x60"x2") PER DETAIL X, SHEET XXX.

⑥ BUILDING POINT OF CONNECTION (B-PT) FROM BUILDING FACE, REFER TO PLUMBING PLANS FOR CONTINUATION.

FIRE WATER

① INSTALL EXISTING WATER MAIN, COORDINATE TAP WITH LOCAL WATER PURVEYOR.

② INSTALL FIRE WATER METER, COORDINATE WITH LOCAL WATER PURVEYOR.

③ INSTALL PVC C-900, CLASS 200, FIRE WATER LINE, SIZE PER PLAN.

④ INSTALL LINE SIZE PVC C-900, CLASS 200, IRING ANGLE PER PLAN.

⑤ INSTALL 1/2" X 1/2" PVC C-900, CLASS 200, TEE.

⑥ INSTALL STREET BLOCK PER DETAIL X, SHEET XXX, TYPICAL ON ALL TEES, UNLESS OTHERWISE NOTED.

⑦ NOT USED.

⑧ INSTALL FIRE HYDRANT ASSEMBLY (60"x60"x2") PER DETAIL X, SHEET XXX.

⑨ NOT USED.

⑩ BUILDING POINT OF CONNECTION (B-PT) FROM BUILDING FACE, REFER TO PLUMBING PLANS FOR CONTINUATION.

SEWER

① CONNECT TO EXISTING SEWER MAIN PER SPPWC STD PLAN XXX.

② BREAK INTO EXISTING SEWER MAIN PER SPPWC STD PLAN XXX.

③ INSTALL 8" DIA. PVC SEWER LATERAL, SIZE PER PLAN, TRENCH PER DETAIL X, SHEET XXX.

④ INSTALL SEWER CLEANOUT PER DETAIL X, SHEET XXX.

⑤ BUILDING POINT OF CONNECTION (B-PT) FROM BUILDING FACE, REFER TO PLUMBING PLANS FOR CONTINUATION.

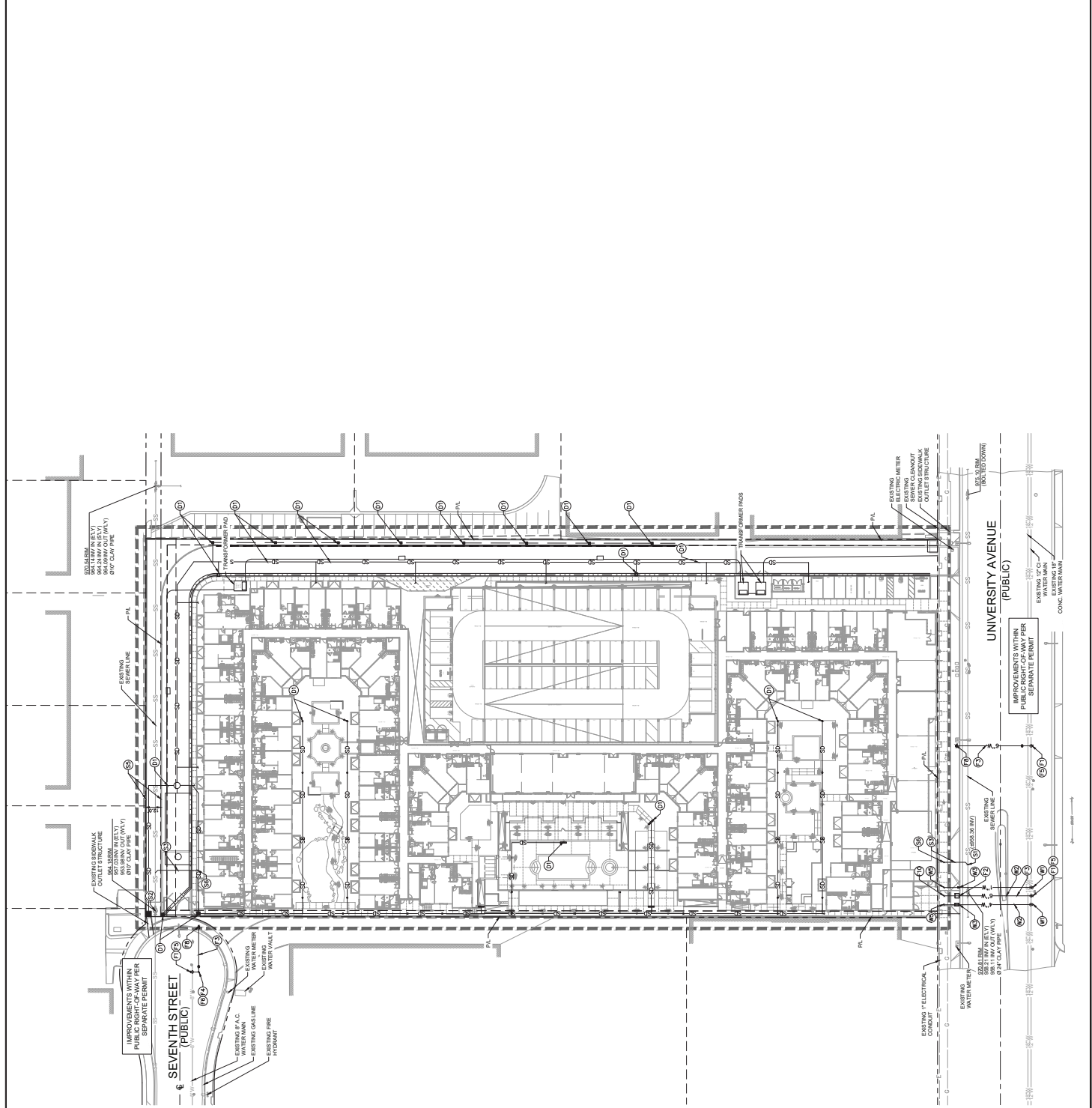
STORM DRAIN

① PROPOSED STORM DRAIN PIPING AND APPURTENANCES, REFER TO GRADING & DRAINAGE PLAN FOR DESIGN INFORMATION.

EXISTING UTILITY NOTE

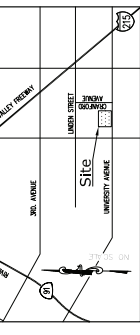
THE INFORMATION ON THIS PLAN IS BASED ON THE RECORD DRAWINGS AND FIELD SURVEY DATA PROVIDED TO THE ENGINEER. THE ENGINEER HAS CONDUCTED VISUAL INSPECTIONS OF ALL UTILITIES PRIOR TO THE PREPARATION OF THIS PLAN. THE ENGINEER HAS NOT CONDUCTED ANY TESTS OR INVESTIGATIONS TO VERIFY THE DEPTH, LOCATION, OR CHARACTERISTICS OF ANY UTILITIES. THE CONTRACTOR MUST FIELD VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY UTILITIES NOT SHOWN ON THIS PLAN.

GRAPHIC SCALE IN FEET
 0 10 20 30 40 50
 1" = 30' WHEN PLOTTED
 FULL SIZE AT 30" X 42"



A.L.T.A./N.S.P.S. LAND TITLE SURVEY

1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507

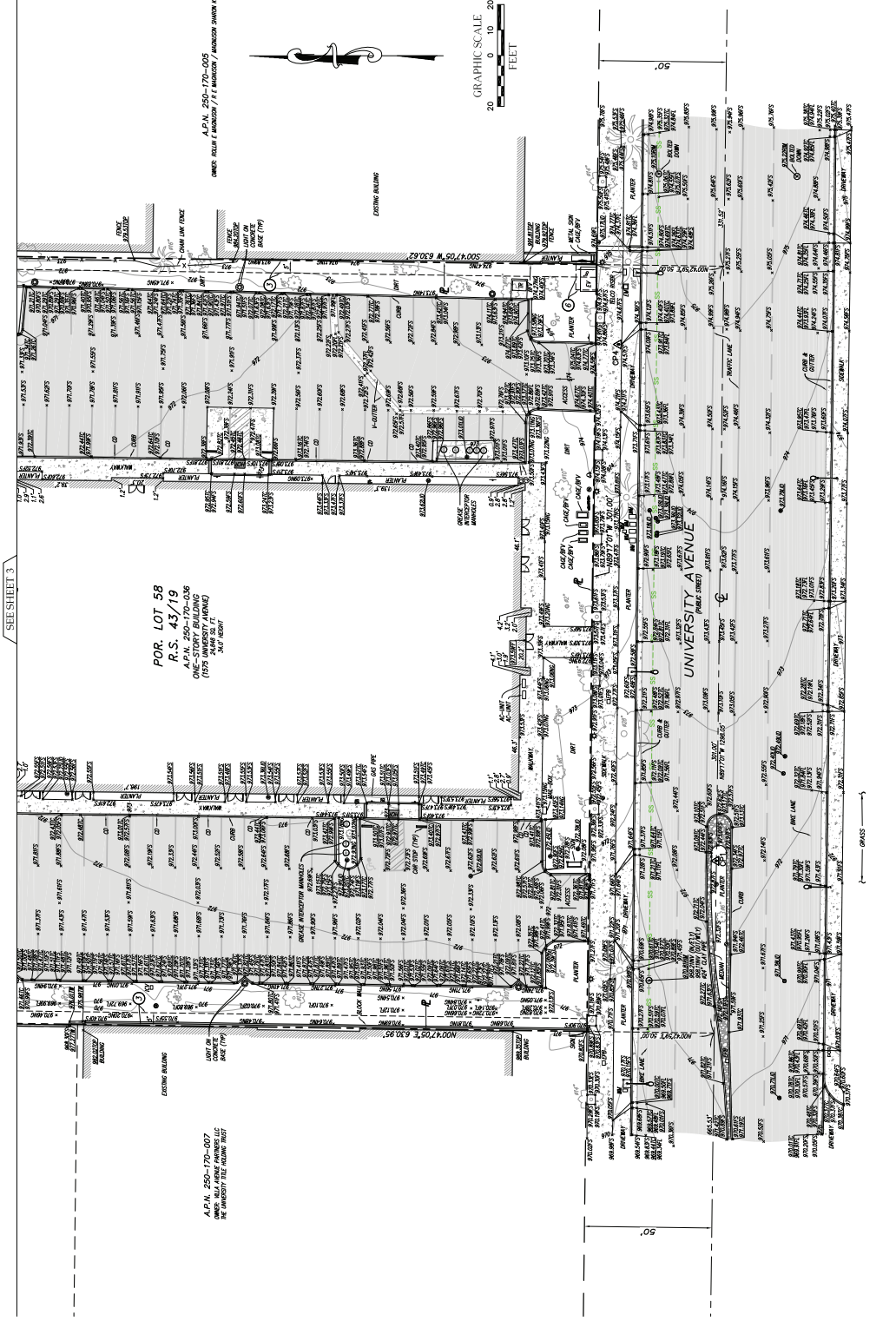


CP#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP1	2300401.37	6229320.57	976.84	SET 60D NAIL
CP2	2300428.37	6229320.57	976.84	SET MAGNETIC NAIL/PINNER
CP3	2300438.47	6229320.57	976.87	SET MAGNETIC NAIL
CP4	2300438.47	6229320.57	976.87	SET MAGNETIC NAIL/PINNER
CP5	2300437.74	6229320.57	966.79	SET SPOBBED X
CP7	2300406.47	6229315.37	966.79	SET 60D NAIL
CP8	2300405.04	6229315.37	966.81	SET MAGNETIC NAIL/PINNER

MON#	DESCRIPTION
MT1	FD 60D NAIL PER PM 13603 P.A.B. 7/3-4
MT3	FD 70" NAIL PER PM 13603 P.A.B. 7/3-4
MT35	FD NAIL & TAG, NO REF., ACCEPTED AS CORNER LOT FITS RECORD DISTANCE
MT202	FD 1" IRON PIPE W/ NAIL DOWN 0.15', PER PM 16248 P.A.B. 105/24-35
MT203	FD 1" IRON PIPE DOWN 0.15', PER PM 16250 P.A.B. 105/26-37

LEGEND

- SURVEY STATION
- BOUNDARY LINE
- EASEMENT LINE
- RIGHT-OF-WAY LINE
- UTILITY LINE
- PROPOSED STRUCTURE FOOTPRINT
- PROPOSED STRUCTURE FOUNDATION
- PROPOSED STRUCTURE WALL
- PROPOSED STRUCTURE ROOF
- PROPOSED STRUCTURE PORCH
- PROPOSED STRUCTURE DECK
- PROPOSED STRUCTURE STAIRCASE
- PROPOSED STRUCTURE DRIVEWAY
- PROPOSED STRUCTURE GARAGE
- PROPOSED STRUCTURE POOL
- PROPOSED STRUCTURE FENCE
- PROPOSED STRUCTURE GATE
- PROPOSED STRUCTURE SCREEN WALL
- PROPOSED STRUCTURE WALL WITH FOUNDATION
- PROPOSED STRUCTURE WALL WITHOUT FOUNDATION
- PROPOSED STRUCTURE FOUNDATION WITHOUT WALL
- PROPOSED STRUCTURE FOOTPRINT WITHOUT FOUNDATION
- PROPOSED STRUCTURE FOUNDATION WITHOUT FOOTPRINT
- PROPOSED STRUCTURE WALL WITHOUT FOOTPRINT AND FOUNDATION
- PROPOSED STRUCTURE FOOTPRINT WITHOUT FOOTPRINT AND FOUNDATION
- PROPOSED STRUCTURE FOUNDATION WITHOUT FOOTPRINT AND FOUNDATION
- PROPOSED STRUCTURE WALL WITHOUT FOOTPRINT, FOUNDATION, AND FOOTPRINT
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- PROPOSED STRUCTURE FOUNDATION WITHOUT FOOTPRINT, FOUNDATION, AND FOOTPRINT

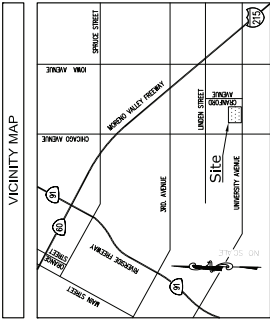


CALVADA SURVEYING, INC.
 411 Hanks Cir., Suite 203, Corona, CA 92880
 Phone: 951-259-9880 Fax: 951-259-9746
 188 Freeport Blvd., Corona, CA 92880
 EST. 1989 JOB NO. 20004
 Registration No. 7736

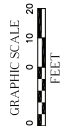
NO.	DATE	REVISIONS	BY	UTILITY STATEMENT	PREPARED FOR	BASIS OF BEARINGS	BENCHMARK	SITE INFORMATION
0	01/19/22	SUBMITTAL	DM	UNDERGROUND SERVICE ALERT	MULEY-HORN 683 S. FENDRBAH BL, SUITE 200 PHOENIX, AZ 85047	BEARINGS SHOWN HEREON ARE BASED UPON THE CALIFORNIA COORDINATE SYSTEM OF 1983, ZONE 6. ELEVATIONS SHOWN HEREON ARE BASED UPON DATUM 1988 (NAVD 83). CONTIGUOUS LOCAL UTM (WGS 84) GRID COORDINATES TO THE FOLLOWING LOCAL DATUM (NORTH AMERICA DATUM 83).	6575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507	PROPERTY AREA: 4259 SQ. FT. (97.86 X 43.53 FT.) TOTAL GROSS FLOOR AREA: 30,000 SQ. FT. TOTAL GROSS VOLUME: 1,000,000 CU. FT.
1	04/12/22	COMMENTS	RG	UNDERGROUND SERVICE ALERT	227-9000	UTILITY LINE	UNIVERSITY AVENUE	MARKING POINT: 1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507
2	04/19/22	ZONING ADDED	MN	UNDERGROUND SERVICE ALERT	227-9000	UTILITY LINE	UNIVERSITY AVENUE	MARKING POINT: 1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507
3	10/06/22	CLIENT COMMENTS	RG	UNDERGROUND SERVICE ALERT	227-9000	UTILITY LINE	UNIVERSITY AVENUE	MARKING POINT: 1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

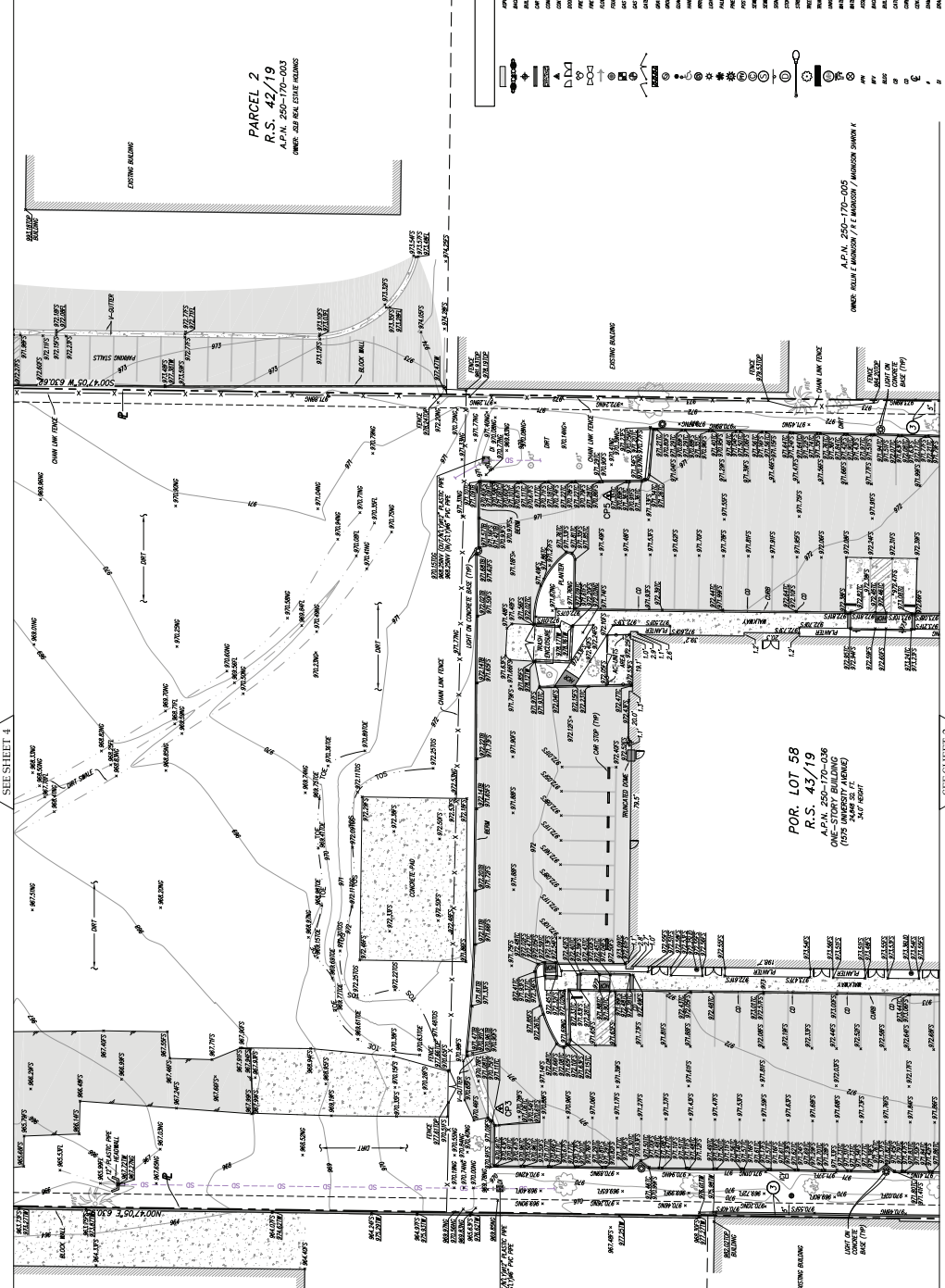
1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507



PARCEL 3
 PARCEL MAP NO. 13803
 P.M. 74/3-4
 A.P.N. 250-170-035
 OWNER: FENSON ENTERPRISE INC.



PARCEL 2
 R.S. 43/19
 A.P.N. 250-170-005
 OWNER: A&L REAL ESTATE HOLDINGS



CP#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CP1	2300401.13	6229350.58	972.84	SET 600 NAIL
CP2	2300728.32	6229353.77	976.82	SET MAGNETIC NAIL/PINNER
CP3	2300439.47	6229353.37	974.82	SET MAGNETIC NAIL
CP4	2300888.68	6229350.39	976.97	SET MAGNETIC NAIL/PINNER
CP5	2301047.74	6229342.72	968.78	SET SPOILED X
CP7	2301046.42	6229345.32	968.48	SET 600 NAIL
CP8	2301055.04	6229341.94	958.81	SET MAGNETIC NAIL/PINNER

MON.#	DESCRIPTION
MT1	FD 600 NAIL PER PM 13803 P.M.B. 74/3-4
MT3	FD 70\" NAIL PER PM 13803 P.M.B. 74/3-4
MT35	FD NAIL & TAGS, NO REF., ACCEPTED AS CORNER LOT ITS RECORD DISTANCE
MT3025	FD 1\" IRON PIPE 1/4\" I.D. DOWN 0.15', PER PM 15249, P.A.B. 105/34-35
MT3026	FD 1\" IRON PIPE 1/4\" I.D. DOWN 0.15', PER PM 15250, P.A.B. 105/34-37

LEGEND

	SURVEY STATION
	BOUNDARY LINE
	EASEMENT
	RIGHT-OF-WAY
	UTILITY LINE
	MONUMENT
	CORNER
	FENCE
	ROAD
	STREAM
	BUILDING
	WALL
	GATE
	POLE
	STAKE
	NAIL
	PIN
	TAG
	PIPE
	WIRE
	FLAG
	MARKER
	NAIL/PINNER
	Scribed X
	IRON PIPE
	CONCRETE
	ASPHALT
	GRAVEL
	SAND
	ROCK
	TREE
	SHRUB
	PLANT
	STRUCTURE
	FOUNDATION
	FOOTING
	WALL/FOOTING
	FOUNDATION/FOOTING
	FOUNDATION/FOOTING/WALL
	FOUNDATION/FOOTING/WALL/BEAM
	FOUNDATION/FOOTING/WALL/BEAM/SLAB
	FOUNDATION/FOOTING/WALL/BEAM/SLAB/FLOOR
	FOUNDATION/FOOTING/WALL/BEAM/SLAB/FLOOR/CEILING
	FOUNDATION/FOOTING/WALL/BEAM/SLAB/FLOOR/CEILING/STRUCTURE
	FOUNDATION/FOOTING/WALL/BEAM/SLAB/FLOOR/CEILING/STRUCTURE/INTERIOR
	FOUNDATION/FOOTING/WALL/BEAM/SLAB/FLOOR/CEILING/STRUCTURE/INTERIOR/EXTERIOR

CALVADA SURVEYING, INC.
 411 Hanks Cir., Suite 203, Corona, CA 92880
 Phone: 951-259-9880 Fax: 951-259-9746
 188 Freeport Blvd., Corona, CA 92880
 EST. 1989 JOB NO. 22004
 Registration No. 7780

SURVEYOR OF RECORD
 FIELD COMPLETION DATE: JANUARY 12, 2022

NO.	DATE	REVISIONS
0	01/19/22	SUBMITTAL
1	04/12/22	COMMENTS
2	04/19/22	ZONING ADDED
3	10/06/22	CLIENT COMMENTS

NO.	DATE	REVISIONS
0	01/19/22	SUBMITTAL
1	04/12/22	COMMENTS
2	04/19/22	ZONING ADDED
3	10/06/22	CLIENT COMMENTS

NO.	DATE	REVISIONS
0	01/19/22	SUBMITTAL
1	04/12/22	COMMENTS
2	04/19/22	ZONING ADDED
3	10/06/22	CLIENT COMMENTS

NO.	DATE	REVISIONS
0	01/19/22	SUBMITTAL
1	04/12/22	COMMENTS
2	04/19/22	ZONING ADDED
3	10/06/22	CLIENT COMMENTS

NO.	DATE	REVISIONS
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1	04/12/22	COMMENTS
2	04/19/22	ZONING ADDED
3	10/06/22	CLIENT COMMENTS

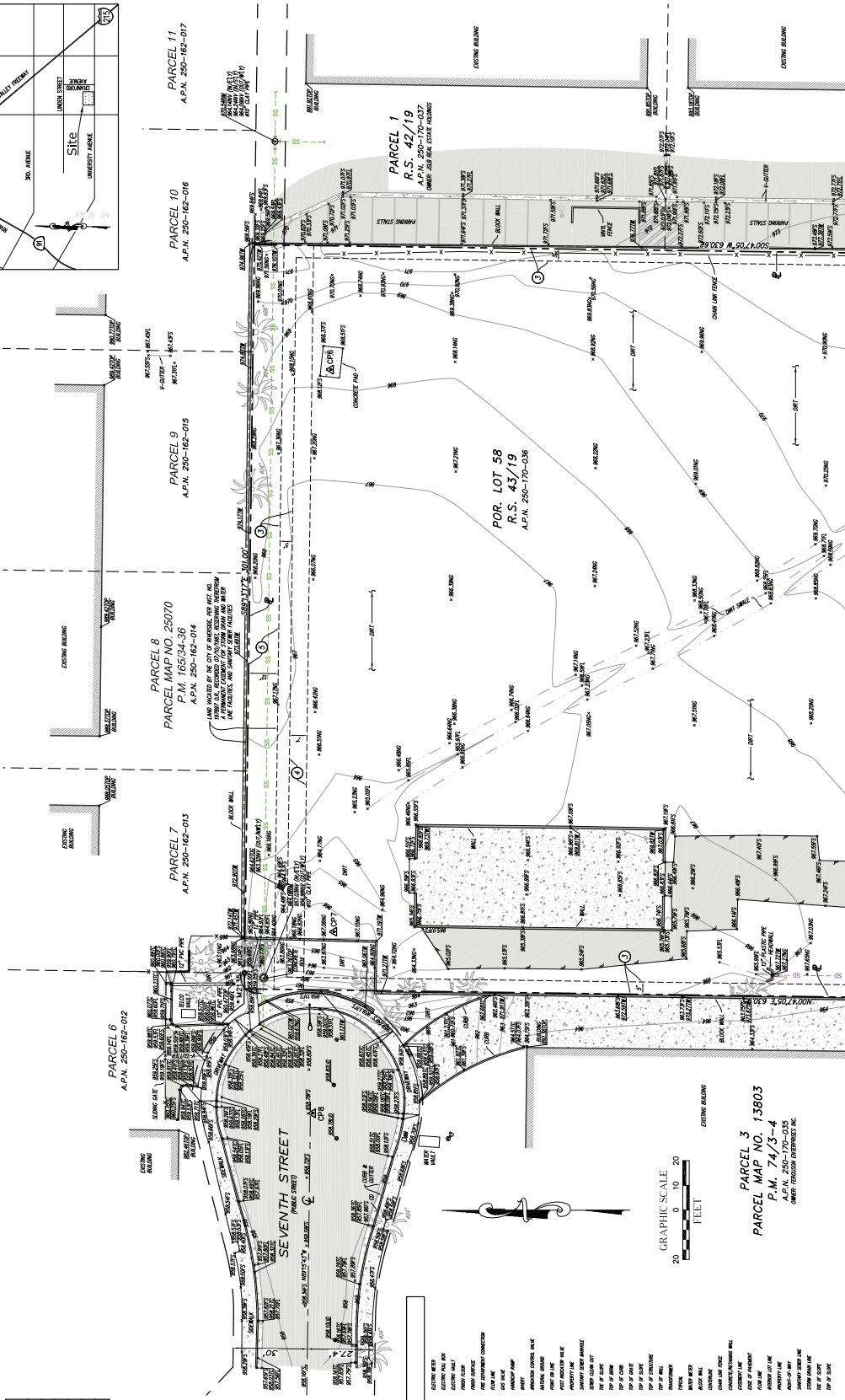
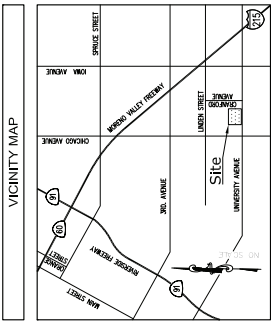
NO.	DATE	REVISIONS
0	01/19/22	SUBMITTAL
1	04/12/22	COMMENTS
2	04/19/22	ZONING ADDED
3	10/06/22	CLIENT COMMENTS

NO.	DATE	REVISIONS
0	01/19/22	SUBMITTAL
1	04/12/22	COMMENTS
2	04/19/22	ZONING ADDED
3	10/06/22	CLIENT COMMENTS

PR-2022-001429 (PPE) Exhibit 9 - Project Plans

A.L.T.A./N.S.P.S. LAND TITLE SURVEY

1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507



MON#	DESCRIPTION
M01	FD 600 NAIL PER PM 13603 PAGE 74/2-4
M02	FD 7/8" NAIL PER PM 13603 PAGE 74/2-4
M03	FD 1" NAIL & TACK, NO REF., ACCEPTED AS CORNER LOTS RECORD DISTANCE
M04	FD 1" IRON PIPE W/ NAIL CORN 0.15', PER PM 18246, PAGE 109/24-35
M0509	FD 1" IRON PIPE CORN 0.15', PM 18250, PAGE 109/24-37

CPI#	NORTHING	EASTING	ELEVATION	DESCRIPTION
CPI1	2300491.32	6226285.39	972.84	SET 600 NAIL
CPI2	2300726.32	6226285.77	974.53	SET MAGNETIC NAIL/CHINER
CPI3	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL
CPI4	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL/CHINER
CPI5	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL
CPI6	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL/CHINER
CPI7	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL
CPI8	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL/CHINER
CPI9	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL
CPI10	2300838.58	6226255.17	974.53	SET MAGNETIC NAIL/CHINER

Symbol	Description
Circle with dot	IRON NAIL
Square with dot	IRON TACK
Triangle with dot	IRON PIPE
Circle with 'X'	IRON PIPE
Square with 'X'	IRON PIPE
Circle with 'N'	IRON PIPE
Square with 'N'	IRON PIPE
Circle with 'E'	IRON PIPE
Square with 'E'	IRON PIPE
Circle with 'S'	IRON PIPE
Square with 'S'	IRON PIPE
Circle with 'W'	IRON PIPE
Square with 'W'	IRON PIPE
Circle with 'C'	IRON PIPE
Square with 'C'	IRON PIPE
Circle with 'R'	IRON PIPE
Square with 'R'	IRON PIPE
Circle with 'L'	IRON PIPE
Square with 'L'	IRON PIPE
Circle with 'U'	IRON PIPE
Square with 'U'	IRON PIPE
Circle with 'D'	IRON PIPE
Square with 'D'	IRON PIPE
Circle with 'O'	IRON PIPE
Square with 'O'	IRON PIPE
Circle with 'I'	IRON PIPE
Square with 'I'	IRON PIPE
Circle with 'H'	IRON PIPE
Square with 'H'	IRON PIPE
Circle with 'G'	IRON PIPE
Square with 'G'	IRON PIPE
Circle with 'F'	IRON PIPE
Square with 'F'	IRON PIPE
Circle with 'A'	IRON PIPE
Square with 'A'	IRON PIPE
Circle with 'J'	IRON PIPE
Square with 'J'	IRON PIPE
Circle with 'K'	IRON PIPE
Square with 'K'	IRON PIPE
Circle with 'L'	IRON PIPE
Square with 'L'	IRON PIPE
Circle with 'M'	IRON PIPE
Square with 'M'	IRON PIPE
Circle with 'N'	IRON PIPE
Square with 'N'	IRON PIPE
Circle with 'O'	IRON PIPE
Square with 'O'	IRON PIPE
Circle with 'P'	IRON PIPE
Square with 'P'	IRON PIPE
Circle with 'Q'	IRON PIPE
Square with 'Q'	IRON PIPE
Circle with 'R'	IRON PIPE
Square with 'R'	IRON PIPE
Circle with 'S'	IRON PIPE
Square with 'S'	IRON PIPE
Circle with 'T'	IRON PIPE
Square with 'T'	IRON PIPE
Circle with 'U'	IRON PIPE
Square with 'U'	IRON PIPE
Circle with 'V'	IRON PIPE
Square with 'V'	IRON PIPE
Circle with 'W'	IRON PIPE
Square with 'W'	IRON PIPE
Circle with 'X'	IRON PIPE
Square with 'X'	IRON PIPE
Circle with 'Y'	IRON PIPE
Square with 'Y'	IRON PIPE
Circle with 'Z'	IRON PIPE
Square with 'Z'	IRON PIPE

REVISIONS		UTILITY STATEMENT		PREPARED FOR		BASIS OF BEARINGS		SITE INFORMATION		BENCHMARK	
NO.	DATE	REVISIONS	BY	BASED UPON	DATE	NAME	ADDRESS	DATE	DESCRIPTION	DATE	DESCRIPTION
0	01/19/22	SUBMITTAL	DM	UNDERGROUND SERVICE ALERT	01/19/22	MILEY-HORN	1460 S. UNIVERSITY AVENUE, SUITE 2000, RIVERSIDE, CA 92507	01/19/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507	01/19/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507
1	04/12/22	COMMENTS	MG	Underground Service Alert	04/12/22	MILEY-HORN	1460 S. UNIVERSITY AVENUE, SUITE 2000, RIVERSIDE, CA 92507	04/12/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507	04/12/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507
2	04/19/22	ZONING ADDED	RN	Underground Service Alert	04/19/22	MILEY-HORN	1460 S. UNIVERSITY AVENUE, SUITE 2000, RIVERSIDE, CA 92507	04/19/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507	04/19/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507
3	10/06/22	CLIENT COMMENTS	RG	Underground Service Alert	10/06/22	MILEY-HORN	1460 S. UNIVERSITY AVENUE, SUITE 2000, RIVERSIDE, CA 92507	10/06/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507	10/06/22	1575 UNIVERSITY AVENUE, RIVERSIDE, CA 92507

PARCEL 11
A.P.N. 250-162-017

PARCEL 10
A.P.N. 250-162-016

PARCEL 9
A.P.N. 250-162-015

PARCEL 8
PARCEL MAP NO. 25070
P.M. 163/34-35
A.P.N. 250-162-014

PARCEL 7
A.P.N. 250-162-013

PARCEL 6
A.P.N. 250-162-012

PARCEL 3
PARCEL MAP NO. 13803
P.M. 74/13-4
OWNER: FERGUSON ENTERPRISES INC.

SEVENTH STREET

POR. LOT 58
R.S. 43/19
A.P.N. 250-170-036

CALVADA SURVEYING, INC.
411 Lakeside Drive, Suite 2008, Corona, CA 92709
Phone: 951-259-9880 Fax: 951-259-9746
Toll Free: 800-CALVADA EST. 1989 JOB NO. 22004

SURVEYOR OF RECORD
MILEY-HORN
1460 S. UNIVERSITY AVENUE, SUITE 2000, RIVERSIDE, CA 92507
PHONE: (951) 281-4627

UNDERGROUND SERVICE ALERT
CALL TOLL FREE 877-870-0000
WWW.CALVADA.COM

PR-2022-001429 (PPE) Exhibit 9 - Project Plans