

PACIFIC GROVE ACUTE PSYCHIATRIC FACILITY RENOVATION & ADDITION

DEVELOPMENT APPLICATION/ CUP

PROJECT SYMBOLS

VIEW REFERENCES	
DRAWING TITLES	DETAIL NUMBER
	VIEW NAME
SECTIONS	DETAIL SECTION
PLAN/DETAIL CALLOUTS	ELEVATIONS
DATUM SYMBOLS	PROJECT SYMBOLS AND ANNOTATION
NOTE: SEE INDIVIDUAL SHEETS FOR ADDITIONAL SYMBOLS.	

PROJECT DIRECTORY

OWNER
ACADIA HEALTH CP, INC.
6100 TOWER CIRCLE, SUITE 1000
FRANKLIN, TN 37067
CONTACT: **Trey Weathers**
Mobile: 864.430.4022
EMAIL: trey.weathers@acadiahealthcare.com

ARCHITECT
BOULDER ASSOCIATES, INC.
300 SPECTRUM CENTER DR., SUITE 730
IRVINE, CA 92618
PHONE: 949.727.9000

STRUCTURAL ENGINEER
MHP STRUCTURAL ENGINEERS
3900 COVER STREET
LONG BEACH, CA 90808
PHONE: -

CONTRACTOR
TBD

MECHANICAL ENGINEER
P25 ENGINEERING, INC.
5000 E. SPRING ST. SUITE 8
LONG BEACH, CA 90815
PHONE:

PLUMBING ENGINEER
P25 ENGINEERING, INC.
5000 E. SPRING ST. SUITE 8
LONG BEACH, CA 90815
PHONE:

ELECTRICAL ENGINEER
P25 ENGINEERING, INC.
5000 E. SPRING ST. SUITE 8
LONG BEACH, CA 90815
PHONE:

CIVIL ENGINEER
Kimley-Horn
1100 W Town and Country Road,
Suite 700,
Orange, CA 92668
PHONE:

PROJECT NARRATIVE

Project Location
Project Zoning (Compliance with Development Agreement)
Project Mission
Project Overview & Scope
Building Design Compatibility & Scale
Vehicle Access & Parking
Landscape

Project Location
The Pacific Grove Hospital is located at the intersections of Brockton Avenue and Jurupa Avenue in the heart of Riverside on 4.5 acres. The site was originally developed in 1961, as a Type V-A 1-story hospital. The existing hospital is located on APN 218-2351-016 within the Woods Streets neighborhood. The hospital is positioned south of the residential neighborhood and sits adjacent to the Riverside County Health Association and First Christian Church. Two major freeways provide regional access to the project site: I-91 located east of the campus and I-60 located north of the campus. The Pacific Grove hospital campus is about 1.5 miles south of the Riverside community hospital, a local partner who refers patients to the Pacific Grove hospital.

Project Zoning
The City's General Plan designates the Land Use as Mixed Use Neighborhood, Zoned as Multi-Residential R-1-7000, the site falls under Single-Family Residential Zone Table 19.100.040. A development standards. While the hospital use currently does not fall under a permitted use the hospital use was approved under a Conditional Use permit in 1989 under Planning Case CU-046-589. The hospital use is considered legal nonconforming. Modifications or expansions of nonconforming uses are subject to findings and approval of a minor conditional use permit.

Project Mission
The Pacific Grove Hospital is a nationally recognized psychiatric hospital offering inpatient psychiatric services, in the heart of Riverside and has operated in the community since 2014. Nationally and locally, we have seen an increased need in behavioral health services including acute psychiatric beds. According to Centers for Disease Control and Prevention, "1 in 5 adults have a mental health need". This represents over 7.7 million people in California. From January August 2024, the Pacific Grove Hospital has deflected over 4,000 patients. The Pacific Grove hospital would like to increase their capacity from 68 beds to 124 beds to better support the community and to expand services for the adolescent population (ages 13-17). The new facility will have 24-28 beds dedicated to adolescents. The hospital supports patients with various diagnosis including both psychiatric and dual diagnosis patient.

Project Overview & Scope
The proposed project includes a new 54-bed, 1-story Type I-B fully sprinklered addition (approximately 30,000 sf), replacement of the existing generator to support the existing and expansion, site/parking upgrades, and covered ambulance drop off. The new 54 acute care psychiatric beds will support 24-28 adult beds and 24-28 adolescent beds as an I-2 occupancy. The existing 68 bed facility is at capacity, and there is a continued need in the community for additional psychiatric beds. 98% of the patients who are admitted to this facility are referred from other locations, such as other hospitals and healthcare facilities. The existing facility is a licensed hospital (OSH-P-5) within the HCAJ jurisdiction. The 68-bed facility will remain operational, the client proposes some minor interior remodel within the existing building. This scope of work will be permitted through HCAJ. The new addition will also be permitted through HCAJ. Site work and Planning approval will be reviewed through the City of Riverside. The existing and new facility operates 24/7, 365 days per year. There are two staff shifts day and night, average day-time staff in the future state will be 55-75 with a significantly reduced staff overnight 15-20.

Building Compatibility & Scale
The building is oriented with the courtyard to the north taking advantage of solar orientation and solar shading for patient who will be utilizing the courtyard. This orientation also minimizes the orientation of any patient rooms/windows to be located along the north property line adjacent to existing residential yards. The design is a 1 story facility to better align with the surrounding residential neighborhood and to minimize any impact to the residential neighbors. The exterior design of the addition aligns with the existing 1961 buildings which has a City of Riverside historical relevance. The new addition utilizes the horizontal language helping to reduce the scale of the building to maintain a pedestrian feel. The use warm accent colors and texture provide a welcoming aesthetic. Vertical louvers elements similar to the existing building entry are repeated in the new addition to screen ambulance parking. The breeze block concept is mimic along the southeast facade utilizing an Exterior Insulation System to provide variation and interest along a solid equipment wall. The roof top mechanical equipment has been located on the south side of the building, to maximize proximity to the residential neighbors. All roof top equipment will be screened to reduce the visual impact. The overall exterior design is alignment with the clean modern design and the horizontal scale of the existing building, providing an improvement to the existing campus and needed services for the community.

Vehicle Access & Parking
As indicated above the new building will be built where the current exterior yard is located. The existing 68 bed hospital facility will utilize the existing secured courtyard for outdoor space. The new 54 bed addition will have a separate secured courtyard. The existing surface parking will be improved to provide 115 stalls for the 122 beds. Please refer to the provide site plan for an overview of the parking. The current site and proposed parking do not comply with the City of Riverside parking requirements, as the site parking is short 7 parking stalls. The majority (98%) of the patients arrive to the campus via ambulance transfer (non-emergency). Parking on site will support staff and visitors. The Pacific Grove Hospital is currently working with the adjacent church to determine if a shared parking agreement can be reached. The project proposes to provide a new access drive along Jurupa Avenue and to close one of the two existing access drives along Brockton Avenue. The site will be accessible from Jurupa Avenue and Brockton Avenue with vehicular exiting traffic accessed on Brockton Avenue.

Landscape
Landscape will be detailed in alignment with the Landscape regulations. The new parking will meet parking lot tree requirements as indicated on the concept landscape plan. The proposed parking stalls along Brockton will be screened by hedges as required by the city and outlined on the concept landscape plan.

Operational Overview
The Pacific Grove Hospital support the Riverside area and offers acute psychiatric services supporting immediate crisis needs, treating patients with mental health disorders (depression, anxiety, schizophrenia, suicidal ideation, bipolar disorder, and obsessive-compulsive disorder) and substance use addiction. The project includes a new 54-bed addition with two units; supporting Adults and Adolescents. Each unit is designed for 25 beds per unit with 4 beds that are centrally located to support either patient population depending on the current census and needs. The psychiatric hospital provides care 24-hour, 7-day per week. On average a typical patient stay is 7-9 days. Visitation hours are daily from 2:00pm-2:30pm. The existing hospital and new addition are locked facilities and accommodate Involuntary Hospitalization (5150) a 72-hour hold holds for evaluation. The new addition includes a new Intake/Admissions unit. The new intake unit will support the intake process for up to five patients at once and will be directly accessible from a covered ambulance drop off area. With the new addition (122 total beds) the hospital will intake 13-20 patients on average per day. Ninety-eight percent of patient admits arrive via non-emergency transfer from another hospital or facility. Patients are referred by the hospital or health provider and have been medically screened before arriving. Legal status of the patient may be voluntary or involuntary, depending on the circumstances. Every patient receives an assessment and screening including the problem(s) that brought them to the hospital, current and past treatment history, signs and symptoms, suicide and homicide risk assessment, social and medical history, abuse history, family history, educational needs, current medications, and other components required by best practice standards. This process takes place within the Intake area. When the individual's current and acute medical problems outweigh the psychiatric condition, the patient is transferred to a hospital or immediate care facility. Acute care medical services are not provided for at the Pacific Grove Hospital. When patients meet criteria for admission, the admitting psychiatrist determines the appropriate program placement and orders treatment based on the patient's diagnosis and needs. Once admitted, the patient receives a Nursing Assessment by a Registered Nurse, a Psychosocial Assessment by a Social Worker or Licensed Therapist, a History and Physical Examination by a medical physician, a complete Psychiatric Evaluation by a psychiatrist, an Activity Therapy Assessment by and Adjunctive Therapist, and a Dietary Assessment if indicated. Medications are evaluated and reconciled.

Operational Overview
The Pacific Grove Hospital support the Riverside area and offers acute psychiatric services supporting immediate crisis needs, treating patients with mental health disorders (depression, anxiety, schizophrenia, suicidal ideation, bipolar disorder, and obsessive-compulsive disorder) and substance use addiction. The project includes a new 54-bed addition with two units; supporting Adults and Adolescents. Each unit is designed for 25 beds per unit with 4 beds that are centrally located to support either patient population depending on the current census and needs. The psychiatric hospital provides care 24-hour, 7-day per week. On average a typical patient stay is 7-9 days. Visitation hours are daily from 2:00pm-2:30pm. The existing hospital and new addition are locked facilities and accommodate Involuntary Hospitalization (5150) a 72-hour hold holds for evaluation. The new addition includes a new Intake/Admissions unit. The new intake unit will support the intake process for up to five patients at once and will be directly accessible from a covered ambulance drop off area. With the new addition (122 total beds) the hospital will intake 13-20 patients on average per day. Ninety-eight percent of patient admits arrive via non-emergency transfer from another hospital or facility. Patients are referred by the hospital or health provider and have been medically screened before arriving. Legal status of the patient may be voluntary or involuntary, depending on the circumstances. Every patient receives an assessment and screening including the problem(s) that brought them to the hospital, current and past treatment history, signs and symptoms, suicide and homicide risk assessment, social and medical history, abuse history, family history, educational needs, current medications, and other components required by best practice standards. This process takes place within the Intake area. When the individual's current and acute medical problems outweigh the psychiatric condition, the patient is transferred to a hospital or immediate care facility. Acute care medical services are not provided for at the Pacific Grove Hospital. When patients meet criteria for admission, the admitting psychiatrist determines the appropriate program placement and orders treatment based on the patient's diagnosis and needs. Once admitted, the patient receives a Nursing Assessment by a Registered Nurse, a Psychosocial Assessment by a Social Worker or Licensed Therapist, a History and Physical Examination by a medical physician, a complete Psychiatric Evaluation by a psychiatrist, an Activity Therapy Assessment by and Adjunctive Therapist, and a Dietary Assessment if indicated. Medications are evaluated and reconciled.

PROJECT DATA

BUILDING ADDRESS: 5900 BROCKTON AVE. RIVERSIDE, CA 92506

PROJECT DESCRIPTION: THIS PROJECT IS AN ACUTE, NON-MEDICAL CARE PSYCHIATRIC FACILITY ADDITION THAT PROPOSES A NEW 29,300 SQUARE FEET 54-BED, 1-STORY TYPE I-B, FULLY SPRINKLERED ADDITION TO THE EXISTING HOSPITAL. THE PROJECT ALSO INCLUDES NEW HVAC EQUIPMENT TO BE ROOF MOUNTED AND CONCEALED FROM VIEW BY A MECHANICAL SCREEN, THERE IS ALSO ADDITION OF AN AMBULATORY DROP-OFF (NON-EMERGENCY).

OCCUPANCY: NEW BUILDING: I-2 HOSPITAL, U-SALLY PORT
EXISTING BUILDING: I-1 HOSPITAL

CONSTRUCTION TYPE: NEW BUILDING: TYPE I-B, FULLY SPRINKLERED NFPA 13
EXISTING BUILDING: V-A, 1 HOUR SPRINKLERED

SITE AREA: 3.75 ACRES OR 163,350 SF

APN: 218-251-016

BED COUNT: EXISTING - 68 BEDS
NEW - 54 BEDS
TOTAL - 122 BEDS

PROPOSED FAR: 39%

ZONING: ZONED AS SINGLE-FAMILY RESIDENTIAL R-1-7000
THE ORIGINAL HOSPITAL WAS APPROVED UNDER CONDITIONAL USE PERMIT CU-046-589

ADJACENT LOT USE: SOUTH ADJACENT: CHURCH
EAST ADJACENT: MEDICAL SERVICES
NORTH ADJACENT: SINGLE FAMILY RESIDENTIAL

GROSS BUILDING AREA: NEW 29,300 GSF
EXISTING 34,382 GSF

PROJECT TENANT AREA: 25,539 SF NEW ADDITION

FLOOR TO FLOOR HEIGHTS: FIRST FLOOR: 18' TO PARAPET; +/- 15'-0" TO ROOF DECK
24'-6" TO T.O. MECHANICAL ROOF SCREEN
(MAX HEIGHT 24'-0")

HCAJ: THIS PROJECT FOLLOWS OSH-PD-5 CRITERIA.

HAZARDOUS MATERIALS: HAZARDOUS MATERIALS ARE NOT USED, STORED OR TRANSPORTED WITHIN THIS BUILDING IN QUANTITIES SUFFICIENT TO REQUIRE PROTECTION PER CBC CHAPTER 3.

APPLICABLE CODES: 2022 CALIFORNIA BUILDING CODE (CBC)
2022 CALIFORNIA MECHANICAL CODE (CMC)
2022 CALIFORNIA PLUMBING CODE (CPC)
2022 CALIFORNIA ELECTRICAL CODE (CEC)
2022 CALIFORNIA FIRE CODE (CFC)
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS
2012 NFPA 101

DEFERRED SUBMITTALS: FIRE SUPPRESSION SYSTEM
FIRE ALARM SYSTEM

CODE NOTES:

- THIS PROJECT SHALL COMPLY WITH 2010 ADA STANDARDS.
- THIS BUILDING IS FULLY PROTECTED BY AN AUTOMATIC FIRE SPRINKLER SYSTEM CONFORMING TO THE 2022 CALIFORNIA FIRE CODE (CFC), SECTION 904.1. PROVIDE ALL NECESSARY DROPS OFF MAINS TO CONFORM TO CODE. ALL HEADS TO BE SEMI-RECESSED CHROME (EXCEPTION: PROVIDE CONCEALED SPRINKLER HEADS, WHITE, @ WAITING ROOMS). SEE G.12 ACUITY PLAN FOR LOCATIONS THAT REQUIRE INSTITUTIONAL SPRINKLER HEADS. SEE CEILING DETAILS ON REFLECTED CEILING PLAN FOR HEAD MOUNTING LOCATION. SUBMIT FIRE SPRINKLER SHOP DRAWINGS TO THE LOCAL FIRE PROTECTION AGENCY FOR APPROVAL BEFORE BEGINNING INSTALLATION.
- FIRE ALARM SHALL COMPLY WITH NFPA 72, CBC SECTION 907, AND 2010 ADA SECTION 215.
- OPENINGS IN RATED PARTITIONS SHALL COMPLY WITH 2022 CBC SECTION 716.
- PENETRATIONS OF FIRE RATED ASSEMBLIES SHALL BE PROTECTED PER THE 2022 CBC, SECTION 714.
- JOINTS IN RATED ASSEMBLIES SHALL BE PROTECTED PER THE 2022 CBC, SECTION 715.
- FLAME-SPREAD OF INTERIOR FINISHES SHALL BE PER 2022 CBC, SECTIONS 803, 804, AND TABLE 803.1.3.
- FIRE PROTECTION EQUIPMENT SHALL BE IDENTIFIED IN AN APPROVED MANNER (2022 CFC SECTION 509).
- ALL THERMAL INSULATION SHALL BE FULL WIDTH OF CAVITY, GREENGUARD CERTIFIED, INSULATING MATERIAL SHALL COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL, AND SHALL BE INSTALLED IN COMPLIANCE WITH THE FLAME RATINGS AND SMOKE DENSITY REQUIREMENTS OF THE 2022 CBC, SECTION 720.
- SEE DOOR SCHEDULE FOR DOOR HARDWARE NOTES AND REQUIREMENTS.

SHEET INDEX

0- GENERAL
G0.01 COVER SHEET

1- ARCHITECTURAL DEMO
AD1.10 SITE PLAN - DEMO PHASE 1
AD1.11 SITE PLAN - DEMO PHASE 2

2- ARCHITECTURAL
A1.10 SITE PLAN
A1.12 SITE PLAN - CIRCULATION
A2.12 OVERALL FLOOR PLAN
A2.15 ROOF PLAN
A3.10 EXTERIOR ELEVATIONS
A3.11 EXTERIOR ELEVATIONS

3- LANDSCAPE
L1.1 - PRELIMINARY LANDSCAPE PLAN
L1.2 - PRELIMINARY LANDSCAPE PLAN ENLARGEMENT
L3.0 PRELIMINARY IRRIGATION SCHEDULES
L3.1 PRELIMINARY IRRIGATION PLAN
L4.1 PRELIMINARY IRRIGATION DETAILS
L4.2 PRELIMINARY IRRIGATION DETAILS
L5.1 PRELIMINARY PLANTING PLAN
L6.1 PRELIMINARY PLANTING IMAGES

4- CIVIL
C0.0 COVER SHEET
C0.1 GENERAL NOTES
C0.2 GENERAL NOTES
C1.0 EXISTING CONDITIONS
C1.1 EXISTING CONDITIONS
C1.2 EXISTING CONDITIONS
C2.0 EROSION CONTROL PLAN
C2.1 EROSION CONTROL DETAILS
C3.0 DEMOLITION PLAN
C4.0 HORIZONTAL CONTROL AND PAVING PLAN
C5.0 GRADING AND DRAINAGE PLAN
C5.1 GRADING ENLARGEMENTS
C6.0 UTILITY PLAN
C7.0 DETAILS
C7.1 DETAILS
C7.2 DETAILS
C7.3 DETAILS
C7.4 DETAILS

5- ELECTRICAL
ED.01 GENERAL NOTES, LEGEND, ABBREVIATIONS AND SHEET INDEX
ED1.01 ELECTRICAL SITE PLAN - DEMOLITION
E1.01 ELECTRICAL SITE PLAN - RENOVATION
E1.1 PHOTOMETRIC PLAN
E2.01 FIRST FLOOR POWER PLAN
E4.01 ENLARGED PLANS
E5.01 SINGLE LINE DIAGRAM
E6.01 DETAILS

GENERAL NOTES

- FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. REPORT ANY DISCREPANCIES TO ARCHITECT BEFORE CONTINUING. DO NOT SCALE DRAWINGS.
- IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO REVIEW THE ARCHITECTURAL DRAWINGS PRIOR TO PRICING AND BEFORE PROCEEDING WITH INSTALLATION OF ANY MECHANICAL, PLUMBING, OR ELECTRICAL WORK. SEAL AROUND ALL INTERIOR JOINTS AT DOORS, WINDOWS, CABINETS, AND COUNTERTOPS. ALSO SEAL WHERE DOOR FRAMES INTERSECT WITH FLOORING.
- ALL FIRE SPRINKLER HEADS TO BE SEMI-RECESSED CHROME (EXCEPTION: PROVIDE CONCEALED SPRINKLER HEADS, WHITE, AT WAITING ROOMS).

UNIT PRICES

- UNIT PRICE 01 - PROVIDE A UNIT PRICE TO ADD A MOISTURE CONTROL SYSTEM PER SECTION 090561.13 "MOISTURE VAPOR EMISSION CONTROL", IN COST/SQUARE FOOT.

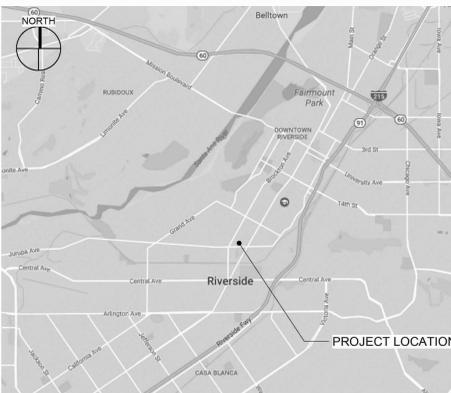
ALLOWANCES

- ALLOWANCE 01 - PROVIDE AN ALLOWANCE TO ADD A MOISTURE CONTROL SYSTEM PER SECTION 090561.13 "MOISTURE VAPOR EMISSION CONTROL", WITH INSTALLATION CONTINGENT UPON MOISTURE TESTING RESULTS PER DIVISION 09 FLOORING SPECIFICATIONS. THE OWNER MAY ELECT TO USE THIS ALLOWANCE TO INSTALL A DIFFERENT (LESS EXPENSIVE) SYSTEM DEPENDING ON THE MOISTURE TEST RESULTS.

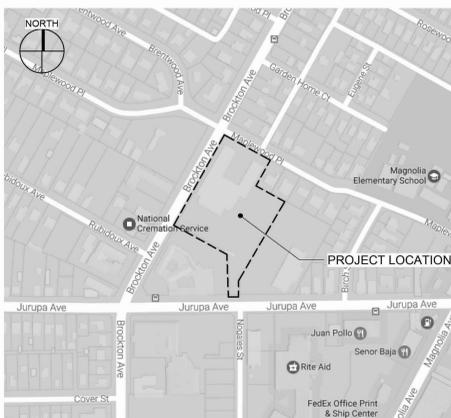
ALTERNATES

- DEDUCTIVE ALTERNATE - REPLACE WD-1 CEILINGS WITH GYP-1

LOCATION MAP Copy 1



VICINITY MAP Copy 1



BOULDER ASSOCIATES

300 SPECTRUM CENTER DR., SUITE 730
IRVINE, CALIFORNIA 92618
949.727.9000



PROJECT P246459.00

PACIFIC GROVE ACUTE PSYCHIATRIC FACILITY

5900 BROCKTON AVE., RIVERSIDE, CA 92506

DEVELOPMENT APPLICATION/ CUP

DATE

REVISIONS	DESCRIPTION	DATE
CUP1	Development Revisions	12/20/2024
#1		

HCAJ
H241744-33-00
APPROVAL STAMP

SHEET TITLE

COVER SHEET

SHEET NUMBER

G0.01

SITE GRAPHICS	
SYMBOL/ LINE TYPE	
	PROPERTY LINE
	SETBACK
	ACCESSIBLE PATH OF TRAVEL
	3 HR BUILDING SEPARATION & SEISMIC JOINTS
	DUAL EVCS CHARGING STATION
	SINGLE EVCS CHARGING STATION
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION

BA
BOULDER ASSOCIATES

300 SPECTRUM CENTER DR, SUITE 730
IRVINE, CALIFORNIA 92618
949.727.9000



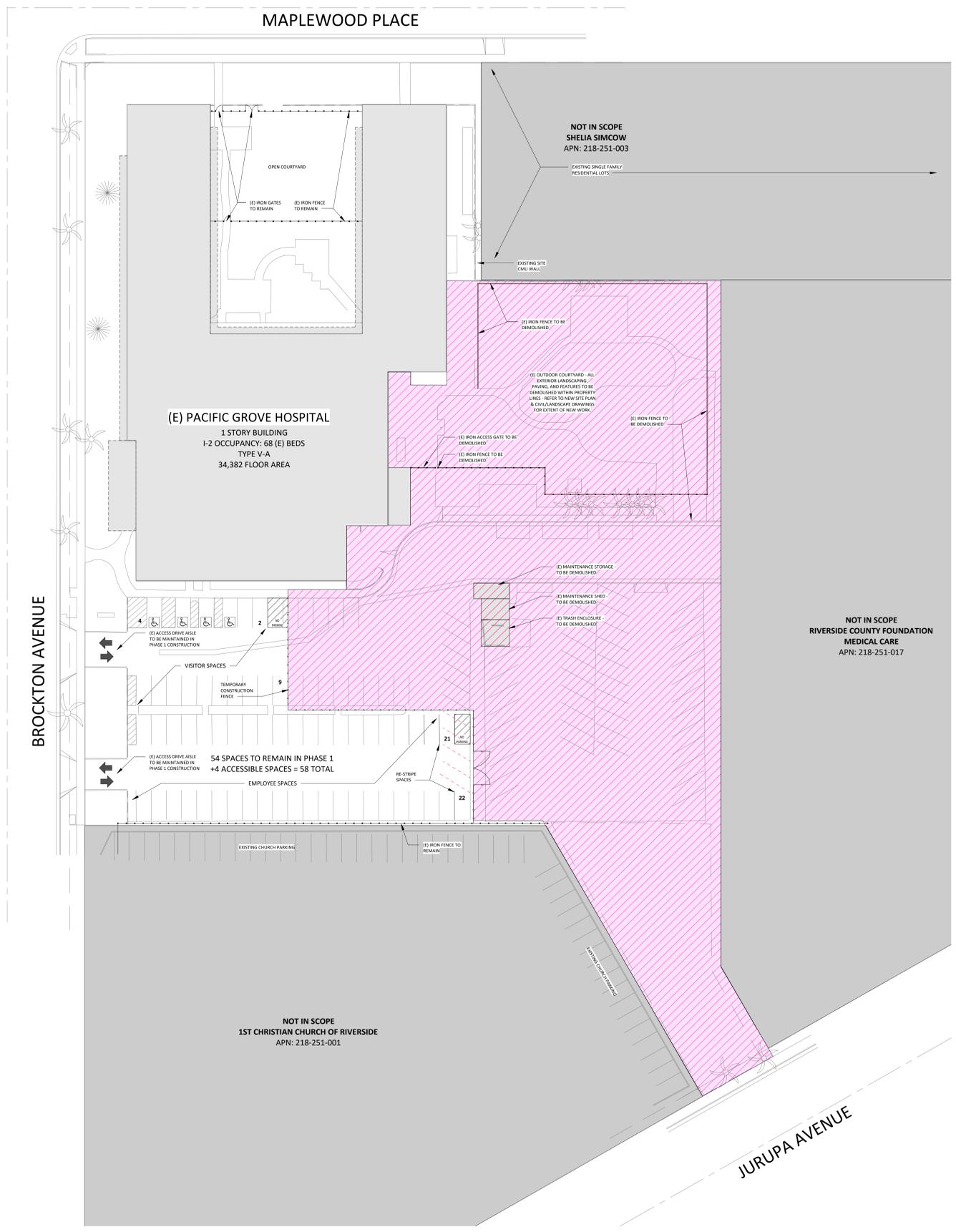
PROJECT P246459.00

PACIFIC GROVE ACUTE PSYCHIATRIC FACILITY

5900 BROCKTON AVE., RIVERSIDE, CA 92506

DEVELOPMENT APPLICATION/ CUP

DATE		
REVISIONS	DESCRIPTION	DATE
1		



HCAI
H241744-33-00
APPROVAL STAMP



SHEET TITLE
SITE PLAN - DEMO PHASE 1

SHEET NUMBER
AD1.10

1 SITE PLAN - DEMO PHASE 1 Copy 1
AD1.10 1" = 30'-0"

4/23/2025 4:39:44 PM
 Autodesk Docs://246459.MNF Pacific Grove Acute Psych PHS 183.rvt
 THIS SHEET IS UNLESS OTHERWISE NOTED TO BE A COPY
 © BOULDER ASSOCIATES

SITE GRAPHICS	
SYMBOL/ LINE TYPE	
	PROPERTY LINE
	SETBACK
	ACCESSIBLE PATH OF TRAVEL
	3 HR BUILDING SEPARATION & SEISMIC JOINTS
	DUAL EVCS CHARGING STATION
	SINGLE EVCS CHARGING STATION
	FIRE HYDRANT
	FIRE DEPARTMENT CONNECTION

BA
BOULDER ASSOCIATES

300 SPECTRUM CENTER DR, SUITE 730
IRVINE, CALIFORNIA 92618
949.727.9000



PROJECT P246459.00

PACIFIC GROVE ACUTE PSYCHIATRIC FACILITY

5900 BROCKTON AVE., RIVERSIDE, CA 92506

DEVELOPMENT APPLICATION/ CUP

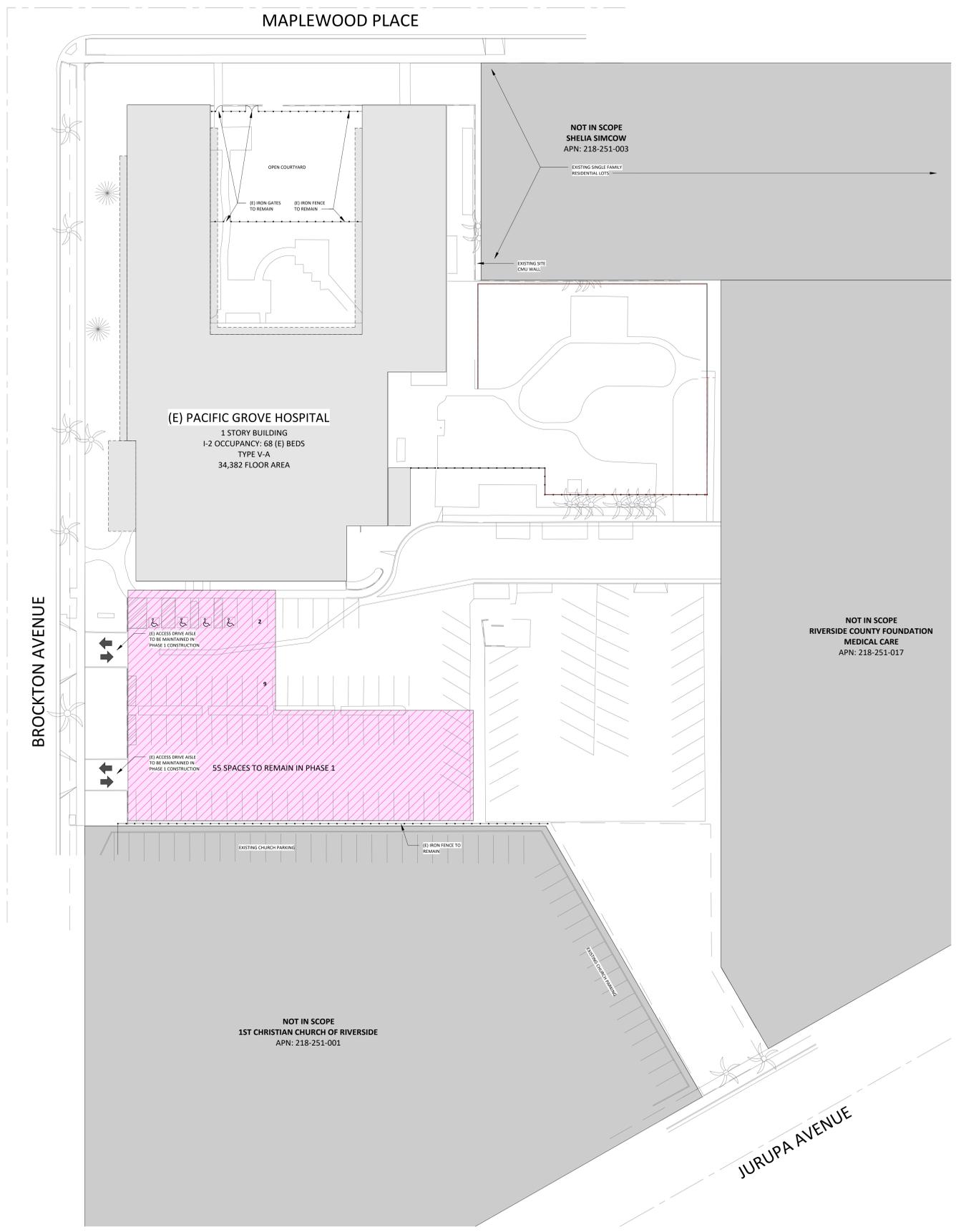
DATE		
REVISIONS		
NO.	DESCRIPTION	DATE

HCAI
H241744-33-00



SHEET TITLE
SITE PLAN - DEMO PHASE 2

SHEET NUMBER
AD1.11



4/23/2025 4:39:45 PM
 Autodesk Docs://246459.MNF Pacific Grove Acute Psych PWS 183.rvt
 THIS SHEET IS UNLESS OTHERWISE NOTED TO THE CONTRARY
 © BOULDER ASSOCIATES

1 SITE PLAN - DEMO PHASE 2 Copy 1
AD1.11 1" = 30'-0"



BOULDER ASSOCIATES
 300 SPECTRUM CENTER DR, SUITE 730
 IRVINE, CALIFORNIA 92618
 949.727.9000



PROJECT P246459.00

PACIFIC GROVE ACUTE PSYCHIATRIC FACILITY

5900 BROCKTON AVE., RIVERSIDE, CA 92506

DEVELOPMENT APPLICATION/ CUP

DATE

REVISIONS	DESCRIPTION	DATE
CUP1	Development Revisions	12/20/2024
#1		

HCAI
 H241744-33-00
 APPROVAL STAMP

SHEET TITLE

SITE PLAN

SHEET NUMBER

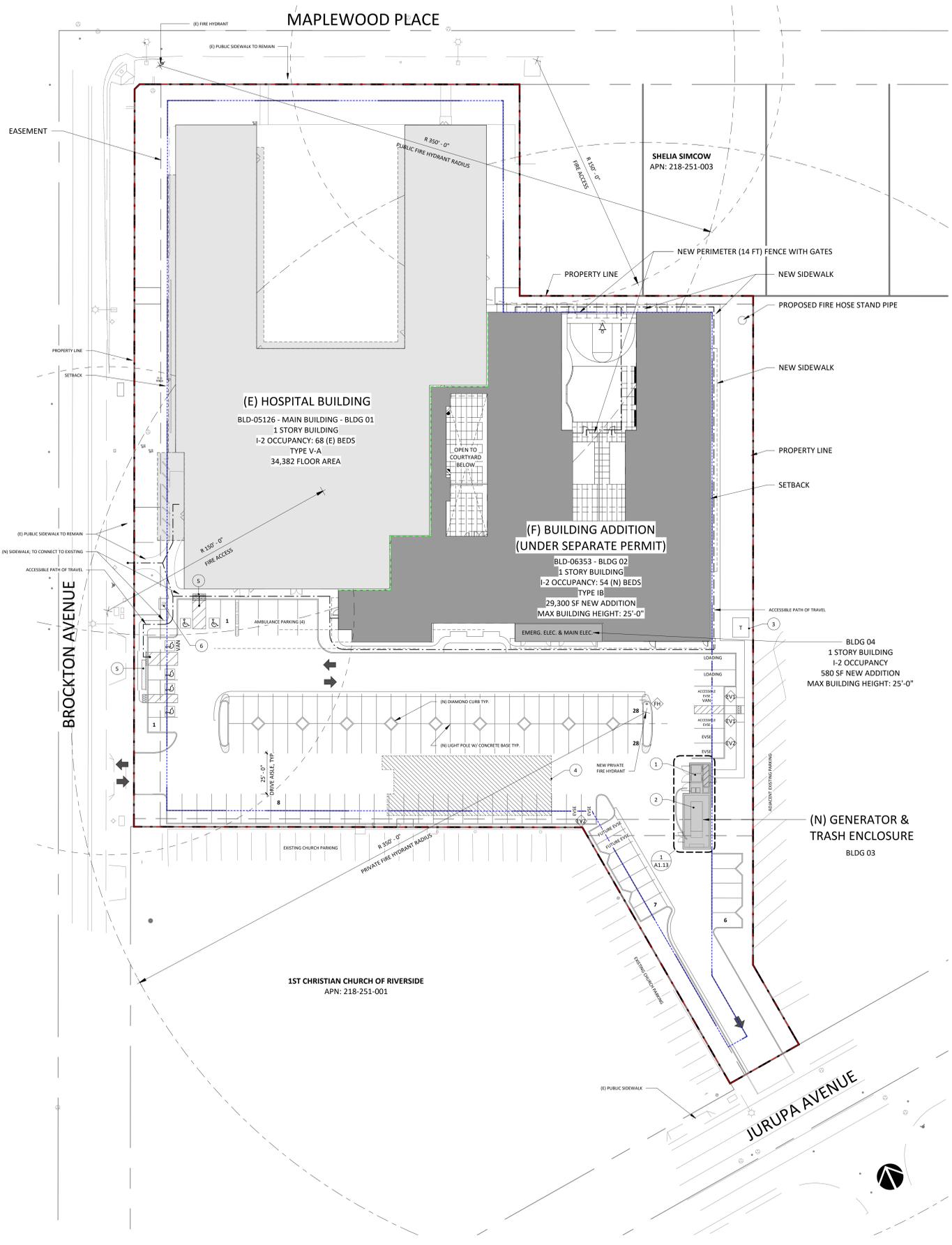
A1.10

PARKING COUNT			
	BEDS (E)	BEDS (N)	TOTAL BEDS
(E) HOSPITAL	68		
1 STORY ADDITION		54	
TOTAL			122
			REQUIRED PARKING
STANDARD	9'x18'		97
ADA		101 TO 150 PROVIDED	6 (1 VAN)
LOADING			2
AMBULANCE			4
EVSE			6 (2 ACCESSIBLE)
			25 EVCS CAPABLE, 6 EVCS PROVIDED + 19 FUTURE EVCS CAPABLE SPACES TO BE PROVIDED
			122 REQUIRED PARKING STALLS
			115 TOTAL PROVIDED PARKING STALLS

SITE GRAPHICS	
SYMBOL/ LINE TYPE	PROPERTY
---	PROPERTY LINE
---	SETBACK
---	ACCESSIBLE PATH OF TRAVEL
---	3 HR BUILDING SEPARATION & SEISMIC JOINTS
EV2	DUAL EVCS CHARGING STATION
EV1	SINGLE EVCS CHARGING STATION
FH	FIRE HYDRANT
FDC	FIRE DEPARTMENT CONNECTION

- KEYNOTES**
- (N) TRASH ENCLOSURE (3 BIN) WITH REQUIRED SCREENING; SEE 2/A1.1 & LANDSCAPE DRAWINGS
 - (N) GENERATOR WITH REQUIRED SCREENING; SEE 2/A1.1 & LANDSCAPE DRAWINGS
 - (N) TRANSFORMER PAD
 - (N) UNDERGROUND INFILTRATION SYSTEM UNDER DRIVE AISLE; RE: CIVIL DRAWINGS
 - TRUNCATED DOMES
 - BICYCLE RACK

SITE KEY NOTES	
1.01	NEW TRAFFIC BEARING ASPHALT PAVING OVER AGGREGATE BASE ON COMPACTED SUBGRADE; SEE CIVIL DRAWINGS AND SOILS REPORT.
1.02	NEW TRAFFIC BEARING CONCRETE PAVING OVER AGGREGATE BASE ON COMPACTED SUBGRADE WITH SLIP RESISTANT FINISH; SEE CIVIL & LANDSCAPE DRAWINGS FOR CONTROL JOINT LAYOUTS.
1.03	NEW CONCRETE CURB OR CURB AND GUTTER WHERE NOTED; SEE CIVIL DRAWINGS.
1.04	NEW CONCRETE PUBLIC SIDEWALK IN R.O.W. PER CITY STDS; SEE CIVIL STREET IMPROVEMENT PLANS.
1.05	NEW CONCRETE CURB AND GUTTER AND PAVEMENT IN R.O.W. PER CITY STDS; REMOVE AND REPLACE EXISTING AS INDICATED ON CIVIL STREET IMPROVEMENT PLANS.
1.06	NEW CONCRETE DRIVEWAY APRON AND CURB IN R.O.W. PER CITY STDS; SEE CIVIL STREET IMPROVEMENT PLANS.
1.07	NEW ACCESSIBLE CURB RAMP W/ TRUNCATED DOMES IN R.O.W. PER CITY STDS; SEE CIVIL STREET IMPROVEMENT PLANS.
1.08	NEW PEDESTRIAN CONCRETE PAVEMENT ON GRADE; FINISHED SLOPES SHALL COMPLY WITH ADA AND CBC CODE REQUIREMENTS; SEE CIVIL AND LANDSCAPE DWGS FOR CONCRETE INTEGRAL COLOR, FINISH, LAYOUT, AND JOINT PATTERNS.
1.09	NEW ACCESSIBLE CURB RAMP W/ INTEGRAL COLOR TRUNCATED DOMES; SEE DET. 7 PERPENDICULAR & DET. 13 PARALLEL ON 1-AS.21 & CIVIL.
1.1	ZERO CURB FACE; PROVIDE MIN 36" WIDE TRUNCATED DOME WARNING SURFACE BETWEEN PEDESTRIAN PATH AND VEHICULAR ZONE; SEE CIVIL.
1.11	WHITE TRAFFIC PAINT PAVEMENT MARKINGS; SEE PLAN OR DETAIL WHERE REFERENCED.
1.12	9' X 18' MIN. PARKING STALL WITH WHITE TRAFFIC PAINT STRIPING. STALL DEPTH CAN INCLUDE 2' MAX OVERRIDE PAST CURB/WHEEL STOP WHERE INDICATED ON PLAN; SEE CIVIL DRAWINGS.
1.13	9' X 18' ACCESSIBLE PARKING STALL WITH BLUE TRAFFIC PAINT MARKING AND DIAGONALLY STRIPED ACCESS ZONE PER CBC; SEE DETAILS FOR TYPICAL GRAPHICS AND DESIGNATED 'VAN' STALLS. PROVIDE CONCRETE WHEEL STOPS AS INDICATED.
1.14	9' X 18' PARKING STALL WITH WHITE TRAFFIC STRIPING AND PAINTED 'EV' CHARGING ONLY, 12' LETTERING.
1.15	LOADING ZONE YELLOW TRAFFIC PAINT MARKINGS; DIAGONAL STRIPES AND BORDER WITH PAINTED LOADING ZONE - NO PARKING; 12' LETTERING.
1.16	PLANTED LANDSCAPE AREA OR PLANTER; SEE LANDSCAPE DRAWINGS.
2.01	GENERATOR ENCLOSURE: MIN. 12' HIGH FROM FINISH GRADE OR PAVING; GRAY PRECISION FACE BOTH SIDES CMU ENCLOSURE WITH 2' PRE-CAST CONCRETE CAP. PRIME AND PAINT CMU SW 7635 TAUPÉ TONE. FLAT TO MATCH 12' DOME COLOR, CMU SIZE AND REINFORCING PER STRUCT. PROVIDE 5" THK. CONCRETE SLAB ON GRADE SLOPED TO DRAIN WITH 4" RAISED CONCRETE PAD FOR MOUNTING GENERATOR.
2.02	TRASH ENCLOSURE: GRAY PRECISION FACE BOTH SIDES CMU ENCLOSURE WITH PRIME AND PAINT CMU CMU SIZE AND REINFORCING PER STRUCT. PROVIDE 8" THK. REINFORCED CONCRETE SLAB ON GRADE SLOPED TO DRAIN. PROVIDE AN INTERIOR PERIMETER CURB WITH GATES SECURED WITH LATCH AND CAME BOLT.
3.01	MONUMENT SIGN - SEE SIGNAGE PACKAGE
3.02	EVCS - SINGLE OR DUAL EXTERIOR RATED ELECTRIC VEHICLE CHARGING STATIONS WITH FOUNDATION AS REQUIRED WITH POWER AND DATA CONNECTORS; SEE ELECTRICAL. B.O.D. IS CHARGE POINT CT4011 & CT4021 BOLLARD MODELS 30A STANDARD. ENERGY STAR CERTIFIED WITH CHARGEPOINT CONFIGURATION AND ACTIVATION, AND CHARGEPOINT ASSURE MAINTENANCE AND MANAGEMENT.
3.03	EVCS - FUTURE PROVISIONS FOR SINGLE OR DUAL EXTERIOR RATED ELECTRIC VEHICLE CHARGING STATIONS WITH POWER AND DATA CONNECTORS; SEE ELECTRICAL. B.O.D. IS CHARGE POINT CT4011 & CT4021 BOLLARD MODELS 30A STANDARD.
32	RPU ELECTRIC TRANSFORMERS AND SLAB BOX, SWITCHES, FUSE CABINETS, CAPACITORS, MANHOLES, PULL BOXES. SEE DRY UTILITY DRAWINGS
4.01	ACCESSIBLE PARKING SIGNAGE
4.02	ACCESSIBLE PATH OF TRAVEL SIGN
4.03	EVCS SIGNAGE TYPICAL (SEE 1-A1.XX, DET.)
4.04	EVCS SIGNAGE VAN (SEE 1-A1.XX, DET.)
5.01	BIKE RACKS PER LANDSCAPE DRAWINGS
5.02	GAS METER - COORDINATE WITH DRY UTILITIES AND PLUMBING DOCUMENTS
5.03	FIRE LANE CURB MARKINGS PER FIRE DEPT. GUIDELINES
5.04	FDC - FIRE DEPARTMENT CONNECTION



1 SITE PLAN Copy 2
 A2.20 | A1.10 1" = 30'-0"

4/23/2025 4:39:50 PM
 AutoSave: Docx://246459.MXD Pacific Grove Acute Psych Pkg 183.rvt
 THIS DRAWING IS THE PROPERTY OF BOULDER ASSOCIATES
 © BOULDER ASSOCIATES



BOULDER ASSOCIATES

300 SPECTRUM CENTER DR, SUITE 730
IRVINE, CALIFORNIA 92618
949.727.9000



PROJECT P246459.00

PACIFIC GROVE ACUTE PSYCHIATRIC FACILITY

5900 BROCKTON AVE., RIVERSIDE, CA 92506

DEVELOPMENT APPLICATION/ CUP

DATE

REVISIONS	DESCRIPTION	DATE
CUP1	Development Revisions	12/20/2024
#1		

HCAI

H241744-33-00

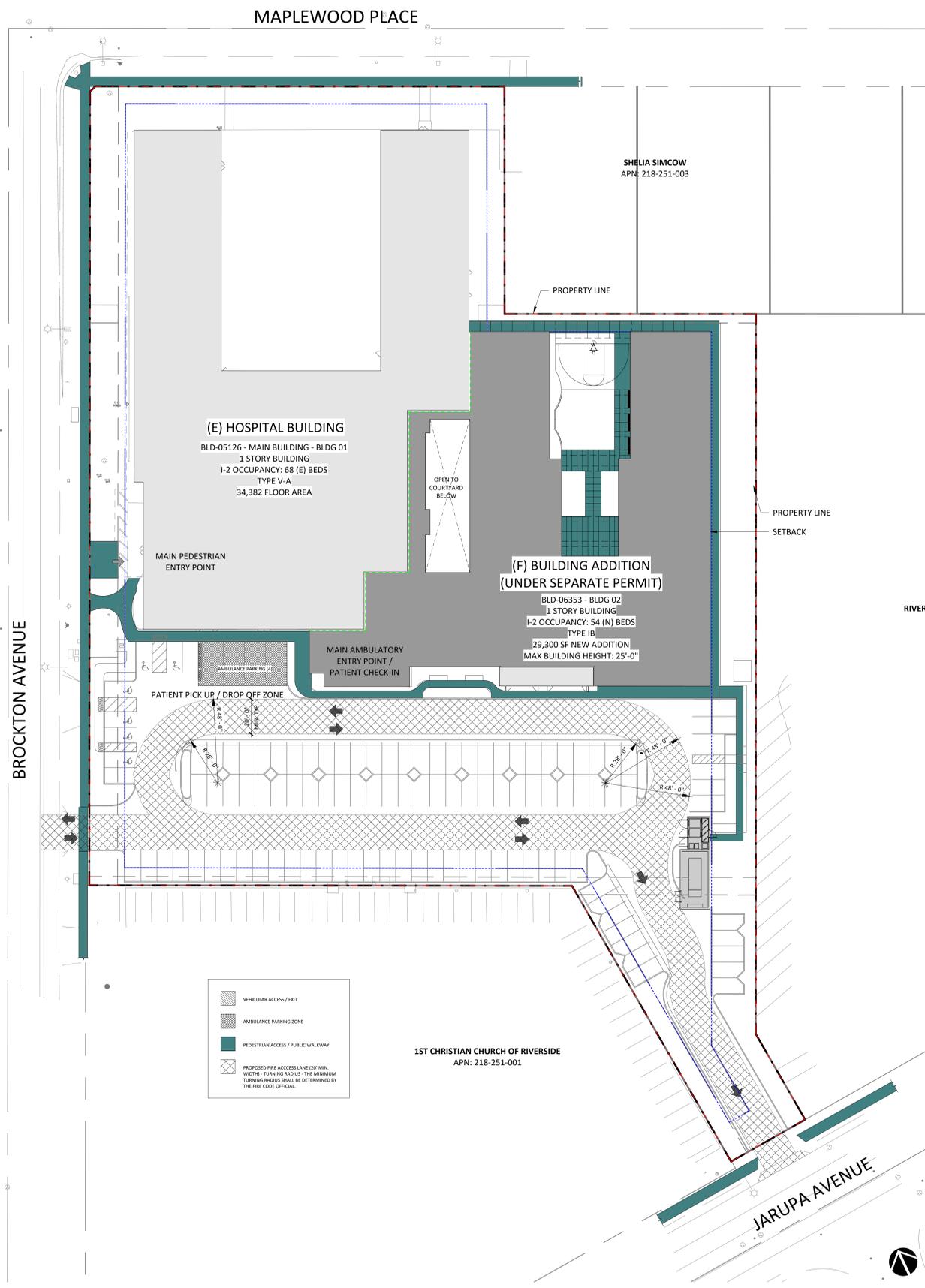
APPROVAL STAMP

SHEET TITLE

SITE PLAN - CIRCULATION

SHEET NUMBER

A1.12



1 SITE PLAN - CIRCULATION Copy 2
A2.20 | A1.12 1" = 30'-0"

4/23/2025 4:39:51 PM
Autodesk Docs://246459.MNF Pacific Grove Acute Psych PHS 183.rvt
© BOULDER ASSOCIATES