



City of Arts & Innovation

COMMUNITY DEVELOPMENT DEPARTMENT

Planning Division

Certificate of Appropriateness (CR) Staff Report

AGENDA ITEM NO.: 2

WARD: 4

MEETING DATE: February 15, 2012

PLANNING CASE P11-0711:

Proposal by Joe Marca of Marcatects on behalf of Richard Michaelson for a certificate of appropriateness to make modifications to the Helgeson Buick Building, eligible for the State Register in the April 2009 Modernist Context Statement. Modifications are proposed for the northerly side of the building located at 8001 Auto Drive, on the northwesterly corner of the intersection of Auto Drive and Detroit Drive in the Riverside Auto Center, Ward #4

BACKGROUND:

The Helgeson Buick Building by J.D. Diffenbaugh, was identified in the 2009 Modernism Context Statement for the City of Riverside and is eligible for listing in the California Register. The building which housed offices and the main showroom for Buick was built in 1965 in the International Style of Architecture. It is one story in height and is laid out on a square-plan with central interior space and four open, rectangular wings on each side. The main glass portion of the structure is composed of thin steel beams spread apart from each other as supports for the flat winged roof sections that start just below the large central roof with exposed and recessed beams. The rear portion of the building includes a large, featureless rectangular block building and a small flat roofed wing section attached to the central roof.

The main showroom portion of the Helgeson Building retains a high level of integrity as the character defining elements of the structure have seen little change since its construction in 1965. The rear section of the structure containing the large block building, identified in 1967 aerials, is most likely original; however, unlike the front of the structure, where most of the character defining elements exist, the rear of the structure has seen modifications over the years and does not feature the character defining elements of the showroom portion. The most visible modification came in 2006 when Acura built a new showroom to accommodate its growing fleet of vehicles. Due to size limitations on the property, modifications were made to portions of the rear of the building which included the removal of the westerly most rectangular wing, used for service drop off, to make way for the new showroom service drop off area.

Riverside Auto Center

In 1965, seven of the City's automobile dealerships moved from their downtown quarters to a jointly owned Auto Center along the 91 freeway at Adams Street. It was one of the first centers of its type in the United States. The idea for the center originated in a discussion among five dealers. Of the original Auto Center buildings, the Helgeson Buick dealership is the most distinctive.

PROJECT DESCRIPTION:

Background:

The applicant is proposing to make modifications to the Helgeson Buick Building, eligible for the State Register in the April 2009 Modernist Context Statement. Modifications to take place include the removal of the large block structure to provide additional parking and refurbishment of the remainder of the building to be used as a vehicle showroom, office area and lounge. The Helgeson Buick Building is located at 8001 Auto Drive on the north easterly corner of Auto Drive and Detroit Drive in the Riverside Auto Center Specific Plan.

Proposed modifications to the northerly side of the building include the removal of the taller block structure, while adding a small section of the block wall to serve as the rear wall of the Helgeson Buick Building. The block for the rear wall will be the same style as that which currently exists on the buildings easterly and westerly elevations. In addition, the plane of the rear block wall will extend slightly beyond the envelope of the structure to meet Standard #9 of the Secretary of the Interiors Standards for Rehabilitation, which indicates, new additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment. Based upon the standard, the removal of the block structure will not affect the historical features nor the character of the building as a whole, while the expansion of the rear block wall shall serve to differentiate the new from the old.

ANALYSIS:

Compliance with section 20.30.030 of the City of Riverside Municipal Code:

Staff supports the overall project concept as proposed. Staff has met with the applicant and expressed that the proposed modifications to the northerly side of the building will not pose a significant negative implication for the Helgeson Buick Building in keeping with the historic guidelines. As such, staff supports the modifications to the Helgeson Buick Building as submitted by the applicant, including the configuration of the northerly wall.

FACTS FOR FINDINGS: (From Section 20.30.060 of the Riverside Municipal Code)

FINDINGS: The proposed undertaking is consistent or compatible with the architectural period and the character-defining elements of the historic building.

FACTS: As conditioned, the project complies with this finding. Since the project is not impacting historical materials nor the character-defining elements of the building, the design is generally supportable. The applicant has shown that the character defining portions of the International Style of the building will not be altered, thus making the project compatible with the architectural period.

FINDINGS: The proposed undertaking is compatible with existing adjacent or nearby landmark structures and preservation district structures and their character-defining elements.

FACTS: As conditioned, the project complies with this finding. The Helgeson Buick Building is the only International Style Building located within the Riverside Auto Center that maintains this level of integrity. Since its construction in 1965 the building has

maintained a high level of integrity with minor alterations on the rear. The removal of the block structure on the northern side will not affect the integrity of the character defining elements nor openness that the International Style typically represents. Thus this project will not affecting the character defining elements of the building.

FINDINGS: The colors, textures, materials, fenestration, decorative features and details, height, scale, massing and methods of construction proposed are consistent with the period and/or compatible with adjacent structures.

FACTS: As conditioned, the project complies with this finding. The removal of the block structure leaves intact the character defining elements and the transparency and openness the building style lends itself to. Additionally, the block wing wall on the northerly elevation will be compatible with the style, color and material of the existing structure.

FINDINGS: The proposed change does not destroy or adversely affect an important architectural, historical, cultural or archaeological feature or features.

FACTS: As proposed, the project complies with this finding. While a portion of the structure is being modified, the portion that is being modified is not that which encompasses the character defining architectural features of the building. As such the Helgeson Buick Building will retain its main character defining elements and exterior integrity and will not be adversely affected by this project.

ENVIRONMENTAL ASSESSMENT:

The project is categorically exempt per Section 15331, Historical Resource Restoration/Rehabilitation of the CEQA Guidelines.

RECOMMENDATION:

That the Cultural Heritage Board **APPROVE** a certificate of appropriateness for Planning Case P11-0711 based upon the following conditions;

EXHIBITS:

1. Location Map
2. Aerial Photo
3. Project Plans
4. Current Photos

CULTURAL HERITAGE BOARD
RECOMMENDED CONDITIONS OF APPROVAL

Case Number: P11-0711 (Certificate of Appropriateness)

Meeting Date: February 15, 2012

Case Specific

1. The brick wall on the northerly side of the building shall be the same style, brick/block size and shall be painted the same color as the existing brick/block on the building.
2. The design shall indicate extension of the rear brick wall a few feet both horizontally and vertically in both directions to meet the Secretary of Interiors Standards showing that the rear wall has been added onto the structure at a different time period;
3. Glass window frames and aluminum channel systems shall match existing in style, material and color if replaced and shall be indicated on revised plans.
4. The design shall provide provisions for the screening of roof mounted equipment shall that equipment become visible with the modifications to the structure.
5. **ADVISORY:** Landmark Designation will be a condition of approval if a more intensive use is proposed for the Helgeson Buick Building at any point in the future.

Standard Conditions of Approval

6. The project must be complete per the Cultural Heritage Board's approval, including all conditions listed below. Any subsequent changes to the project must be approved by the Cultural Heritage Board or the Cultural Heritage Board staff. Upon completion of the project, a Cultural Heritage Board staff inspection must be requested to ensure that the approved plans have been executed and that all conditions have been implemented before **OCCUPANCY** hold can be released.
7. There is a ten calendar-day appeal period that will lapse at 5:00 p.m. on February 27, 2012. Appeals of the Board's action will not be accepted after this time.
8. This approval will expire in one year on February 15, 2013.

APPEAL INFORMATION

The Cultural Heritage Board's decision or any conditions of approval can be appealed to the City Council by the applicant or any interested person within ten days of this action. To appeal this decision, submit a letter stating what you wish to appeal and why, the General Application form and a check in the amount of \$1,531.2, made payable to the City of Riverside to cover the appeal fee. The Planning Division offers a packet on filing an appeal that you might find helpful. Appeals may be delivered in person or mailed. The Planning Division's address is:

City of Riverside
Community Development Department
Planning Division
3900 Main Street, 3rd Floor

Riverside, CA 92522

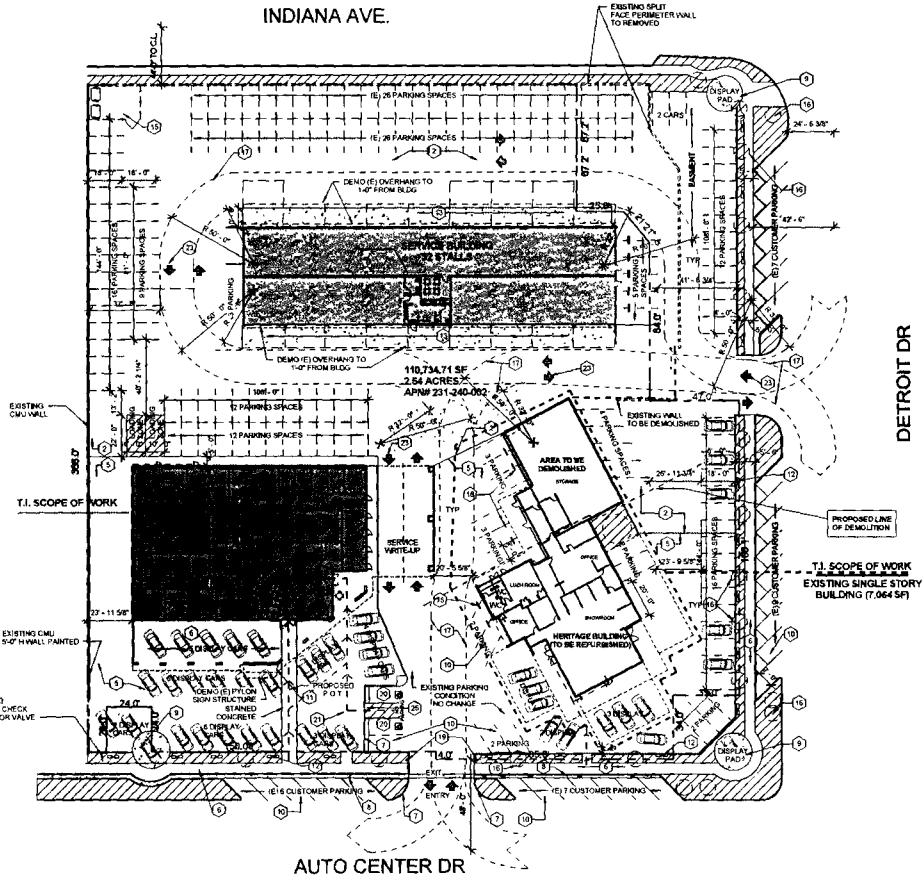
Appeals will be considered by the City Council within thirty days of the end of the appeal period.

G:\CHB\2012-CHB\02-15-12\P11-0711 rbn.docx
Brian Norton

P1

PROJECT INFO	
APN#	231-240-002
SITE	110,734.71 SF 2.54 ACRES
EXISTING BUILDING	7,064 SF
AREA TO BE DEMO	2,825 SF
AREA TO BE REFURBISHED	4,239 SF

KEY NOTES	
1017 #	DESCRIPTION
(1)	NOT USED
(2)	ASPHALT EXISTING
(3)	CONCRETE WALK & CURB
(4)	LANDSCAPING EXISTING
(5)	CONCRETE SLAB EXISTING
(6)	PUBLIC SIDE WALK EXISTING
(7)	CONCRETE CURB EXISTING
(8)	CONCRETE CURB AND OUTER EXISTING
(9)	CONCRETE DISPLAY PAD EXISTING
(10)	PARKING SPACES (TYPICAL) EXISTING
(11)	NEW BLUE FEATURE BLDG SIGN @ TOP OF THE FACADE SEE DET 1 OF A7.1
(12)	SITE LIGHTING EXISTING NO CHANGE
(13)	NEW 10' CONCRETE APRON @ SERVICE BUILDING
(14)	EXISTING BUILDING NO CHANGE
(15)	TRAIN ENCLOSURE EXISTING
(16)	EXISTING TREE OR PALM
(17)	TRASH AND FIRE TRUCK LINE
(18)	WHEEL STOP
(19)	BOLLARD
(20)	ACCESSIBLE PARKING
(21)	48" WIDE ACCESSIBLE PATH OF TRAVEL (NOT TO EXCEED 2% SLOPE ON CROSS SLOPE)
(22)	ADA COMPLIANT RAMP SLOPE EXCEEDING 5% SHALL HAVE RAMPS COMPLYING WITH CBC 1108.2 CBC CBC 1107.4 & 1108.7 SEE SHEET A13.3
(23)	DIRECTIONAL ARROWS
(24)	VEHICLE ACCESS CONTROL
(25)	PROVIDE 30" WIDE CONTINUOUS DETECTABLE WARNING WHERE THE PEDESTRIAN PATH CROSSES OR ADJACENT A VEHICULAR WAY



LEGEND	
SYMBOL	DESCRIPTION
[Hatched Box]	AREA OF LANDSCAPE (SEE LANDSCAPING PLAN FOR MORE INFORMATION)
[Stippled Box]	AREA OF CONCRETE PAVING
[Solid Black Box]	PROPOSED BUILDINGS
[Pole Mount Symbol]	POLE MOUNT AREA LIGHT (1 HEAD) 15'-0" MTD, HT 15'
[Pole Mount Symbol]	POLE MOUNT AREA LIGHT (2 HEAD) 15'-0" MTD, HT 15'
[Pole Mount Symbol]	POLE MOUNT AREA LIGHT (3 HEAD) 15'-0" MTD, HT 20'
[Wall Mount Symbol]	WALL MOUNT TYPE AREA FLOOD LIGHT
[Fire Symbol]	FIRE
[Handicap Path Symbol]	AREA OF FIRE LANE (MINIMUM 24' WIDTH) HANDICAP PATH OF TRAVEL (NOT TO EXCEED 2% SLOPE IN DIRECTION OF TRAVEL AND NOT TO EXCEED 2% CROSS SLOPE)
[Retaining Wall Symbol]	SITE RETAINING WALL. SEE CIVIL DRAWINGS

NO	DATE	REVISION	INITIAL

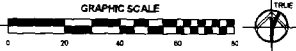
MARCA TECTS

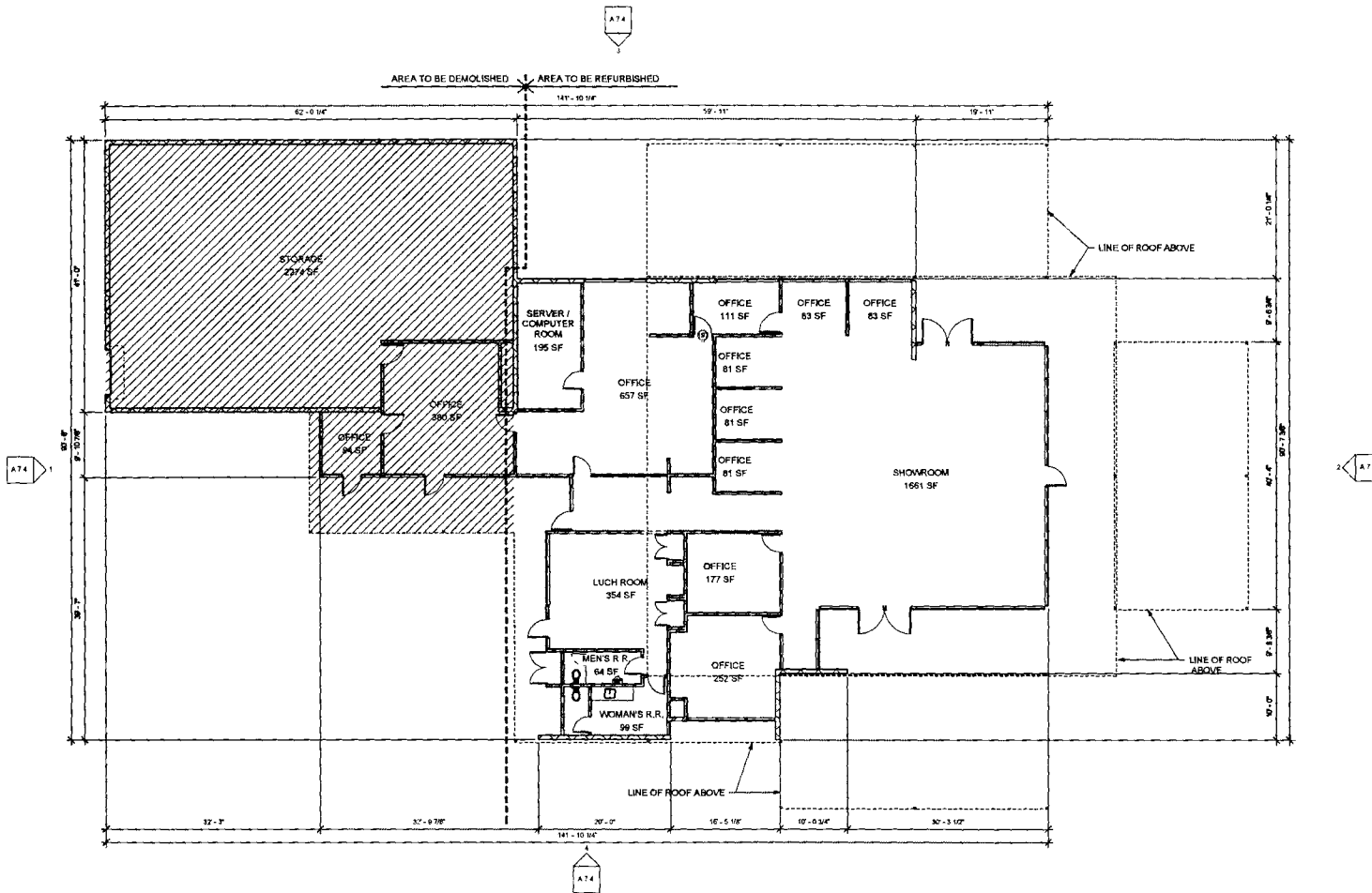
PROJECT NAME
HERITAGE BUILDING
(PROPOSED MODIFICATIONS)
801 AUTO DRIVE
NAPERVILLE, IL

PROJECT NO: 27517
SCALE: AS SHOWN
DRAWN BY: Author
CHECKED BY: Checker
DATE: 10/28/2014 11:31:20 AM

SHEET TITLE: **A 2.1**
SITE PLAN - HERITAGE BLDG

SITE PLAN - HERITAGE BLDG
1" = 30'-0"





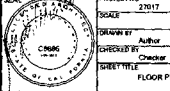
NO	DATE	REVISION	INITIAL

THIS DRAWING IS A MODIFICATION TO AN EXISTING DRAWING. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DRAWING. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FROM THE ARCHITECT OF RECORD AND THE CONTRACTOR. THE ARCHITECT OF RECORD SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONSTRUCTION OF THE PROJECT. THE USER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE PROJECT.

MARCA TECTS

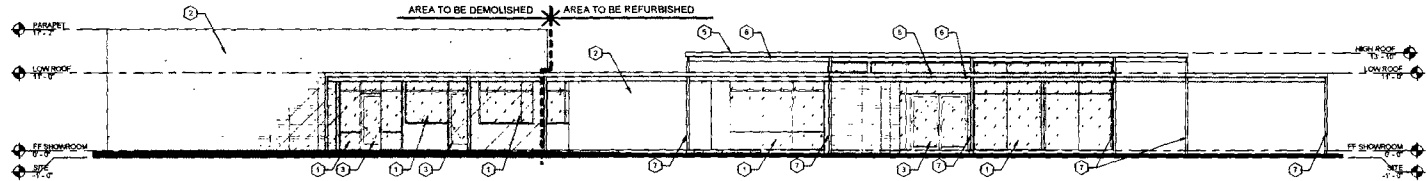
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(PROPOSED MODIFICATIONS)
4001 AUTO CENTER
BIRMINGHAM, AL
35202-1100

DATE: 10/20/17 11:30 AM

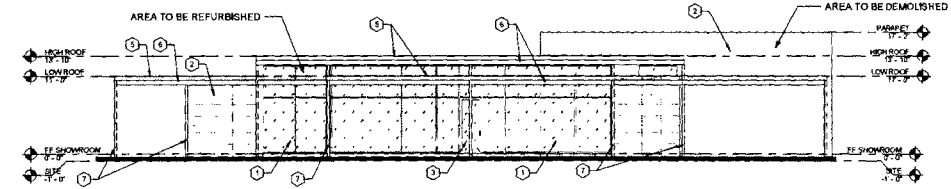
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FLOOR PLAN - HERITAGE BUILDING
1/8" = 1'-0"

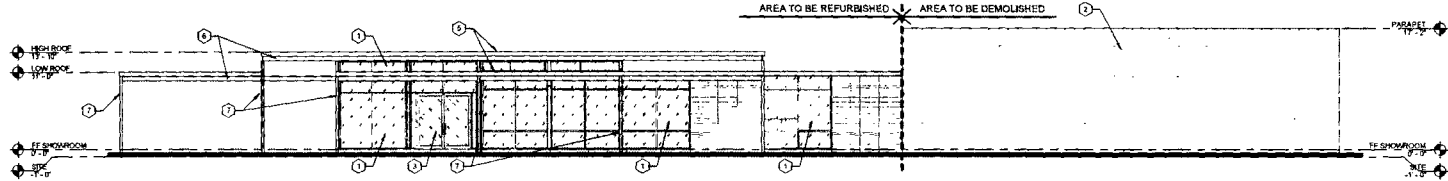




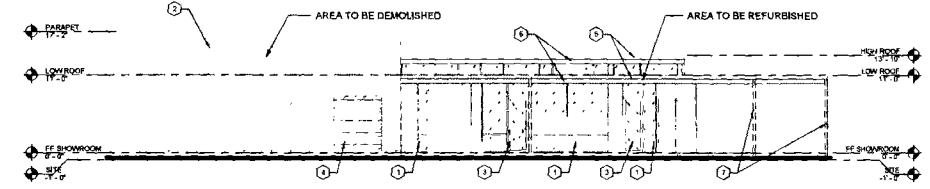
4 HERITAGE BLDG - WEST ELEVATION
1/8" = 1'-0"



2 HERITAGE BLDG - SOUTH ELEVATION
1/8" = 1'-0"



3 HERITAGE BLDG - EAST ELEVATION
1/8" = 1'-0"



1 HERITAGE BLDG - NORTH ELEVATION
1/8" = 1'-0"

ELEVATION NOTES

KEY NOTES

- 1 EXISTING STOREFRONT SYSTEM
- 2 MASONRY WALL
- 3 EXISTING DOOR
- 4 EXISTING OVERHEAD DOOR
- 5 EXISTING ROOF
- 6 EXISTING STRUCTURAL BEAM
- 7 EXISTING STRUCTURAL COLUMN

NO	DATE	REVISION	INITIAL

THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND AGENCIES.

MARCA TECTS

PROJECT NAME: **HERITAGE BUILDING**
(PROPOSED MODIFICATIONS)
800 ALTO DRIVE
RIVERSIDE CA

DATE: 07/26/2011 10:52:25 AM

PROJECT NO: 27017
SCALE: AS SHOWN
DRAWN BY: Author
CHECKED BY: Checker
DRAWING NO: A 7.4

SHEET TITLE: EXTERIOR ELEVATIONS - HERITAGE BLDG

EXISTING HERITAGE BLDG.



MARCA • TECTS

EXISTING HERITAGE BLDG.



MARCA • TECTS

EXISTING HERITAGE BLDG.

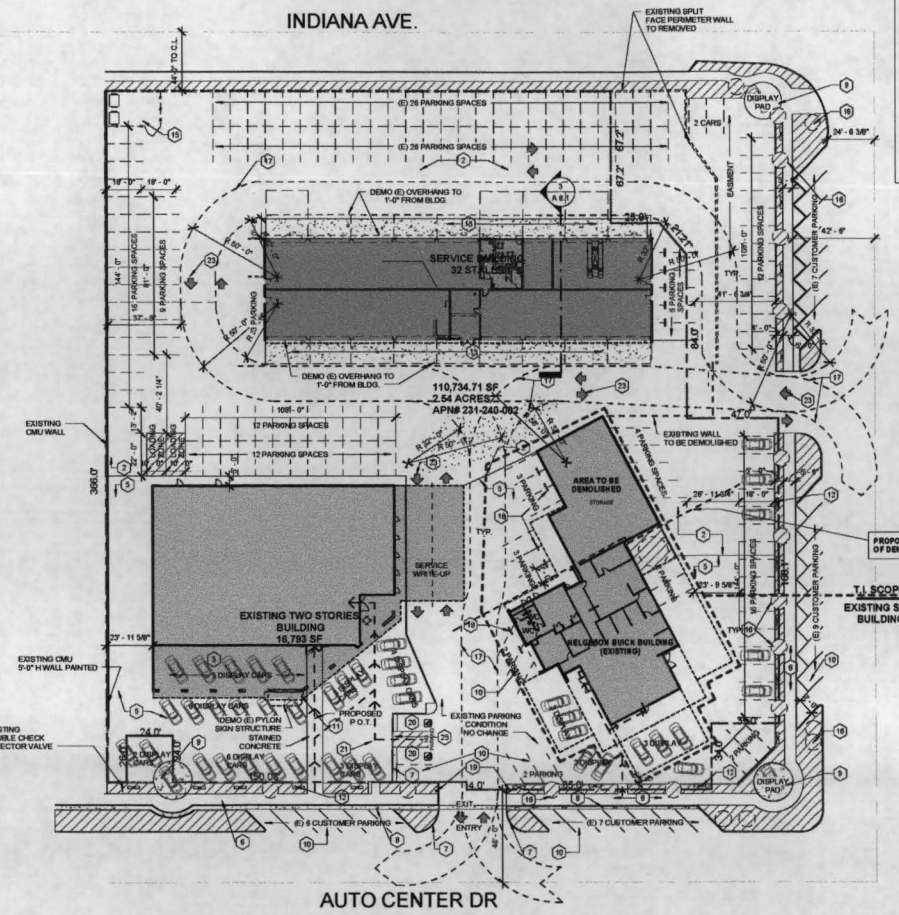


MARCA • TECTS

EXISTING HERITAGE BLDG.



MARCA • TECTS



1 SITE PLAN - HELGESON BLDG (EXISTING)
1" = 30'-0"

PROJECT INFO		KEY NOTES	
APN# 231-240-002		KEY #	DESCRIPTION
SITE.....110,734.71 SF 2.54 ACRES		1	'NOT USED'
EXISTING BUILDING.....7,064 SF		2	ASPHALT EXISTING
AREA TO BE DEMO.....2,825 SF		3	CONCRETE WALK & CURB
AREA TO BE REFURBISHED.....4,239 SF		4	LANDSCAPING EXISTING
		5	CONCRETE SLAB EXISTING
		6	PUBLIC SIDE WALK (EXISTING)
		7	1" CONCRETE CURB (EXISTING)
		8	1" CONCRETE CURB AND GUTTER (EXISTING)
		9	CONCRETE DISPLAY PAD EXISTING
		10	PARKING SPACES SEE DET 3A2.1 (TYPICAL) (EXISTING)
		11	NEW BLUE FEATURE BLDG SIGN @ TOP OF THE FACADE SEE DET 1 OF A2.1
		12	EXISTING SITE LIGHTING TO BE REPLACED FOR NEW LIGHTS
		13	DEMO EXISTING
		14	EXISTING BUILDING NO CHANGE
		15	TRASH ENCL. CURB (EXISTING)
		16	EXISTING 8" TREE OR PALM
		17	TRASH AND FIRE TRUCK LINE
		18	EXISTING WHEEL STOP
		19	EXISTING BOLLARD
		20	NEW ACCESSIBLE PARKING
		21	NEW 48" WIDE ACCESSIBLE PATH OF TRAVEL (NOT TO EXCEED 3% SLOPE / 2% CROSS SLOPE)
		22	ADAM COMPLIANT RAMP SLOPE: SLOPE EXCEEDING 5% SHALL HAVE RAMPS COMPLYING WITH CBC 11033.5, CBC 11078 & 11038.7. SEE SHEET A1.3
		23	DIRECTIONAL ARROWS SEE DET. 13A2.1
		24	NEW DOUBLE HEAD 20' H LITE POLE (TO MATCH ALL SITE LIGHTS) SEE DET 7B.1
		25	PROVIDE 30" WIDE CONTINUOUS DETECTABLE WARNING WHERE THE PEDS TRAVEL PATH CROSSES OR ADJACENT A VEHICULAR WAY.

LEGEND

SYMBOL	DESCRIPTION
[Pattern]	AREA OF LANDSCAPE (SEE LANDSCAPING PLAN FOR MORE INFORMATION)
[Pattern]	AREA OF CONCRETE PAVING
[Pattern]	PROPOSED BUILDINGS
[Symbol]	POLE MOUNT AREA LIGHT (2 HEADS NEW) (1 = MTD, WT 30" SEE DET 7 A2.1)
[Symbol]	WALL MOUNT TYPE AREA FLOOD LIGHT
[Symbol]	FIRE
[Symbol]	AREA OF FIRE LANE (MINIMUM 24' WIDTH)
[Symbol]	HANDICAP PATH OF TRAVEL. NOT TO EXCEED 3% SLOPE IN DIRECTION OF TRAVEL AND NOT TO EXCEED 2% CROSS SLOPE.
[Symbol]	SITE RETAINING WALL. SEE CIVIL DRAWINGS

NO.	DATE	REVISION	INITIALS

THE ARCHITECT, MARCA ARCHITECTURE GROUP HEREBY REPRESENTS ITS CONSULTING CONTRACTOR AND ENGINEERING DESIGNER. ALL DESIGN, CONSTRUCTION AND/OR INSTALLATION SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND CONDITIONS OF CONTRACT AND SHALL BE THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE ARCHITECT'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE ARCHITECT'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE ARCHITECT'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

SAUERS LOPEZ CONSTRUCTION, INC.

MARCA TECTS

PROJECT NAME: **HELGESON BUICK BLDG. (PROPOSED MODIFICATIONS)**

8001 ALTO DRIVE
RIVERSIDE, CA 92504

PROJECT NO: 21117

SCALE: AS SHOWN

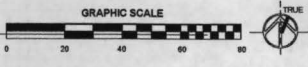
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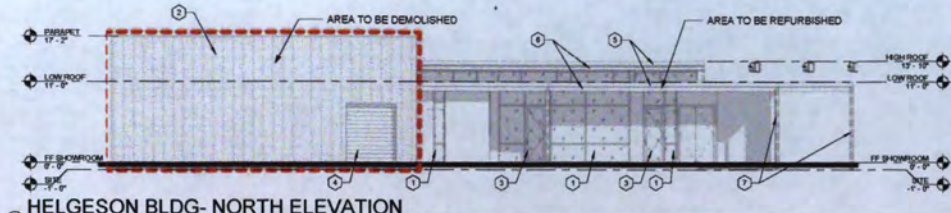
CHECKED BY: J. MARCA

SHEET TITLE: SITE PLAN - HELGESON BLDG.

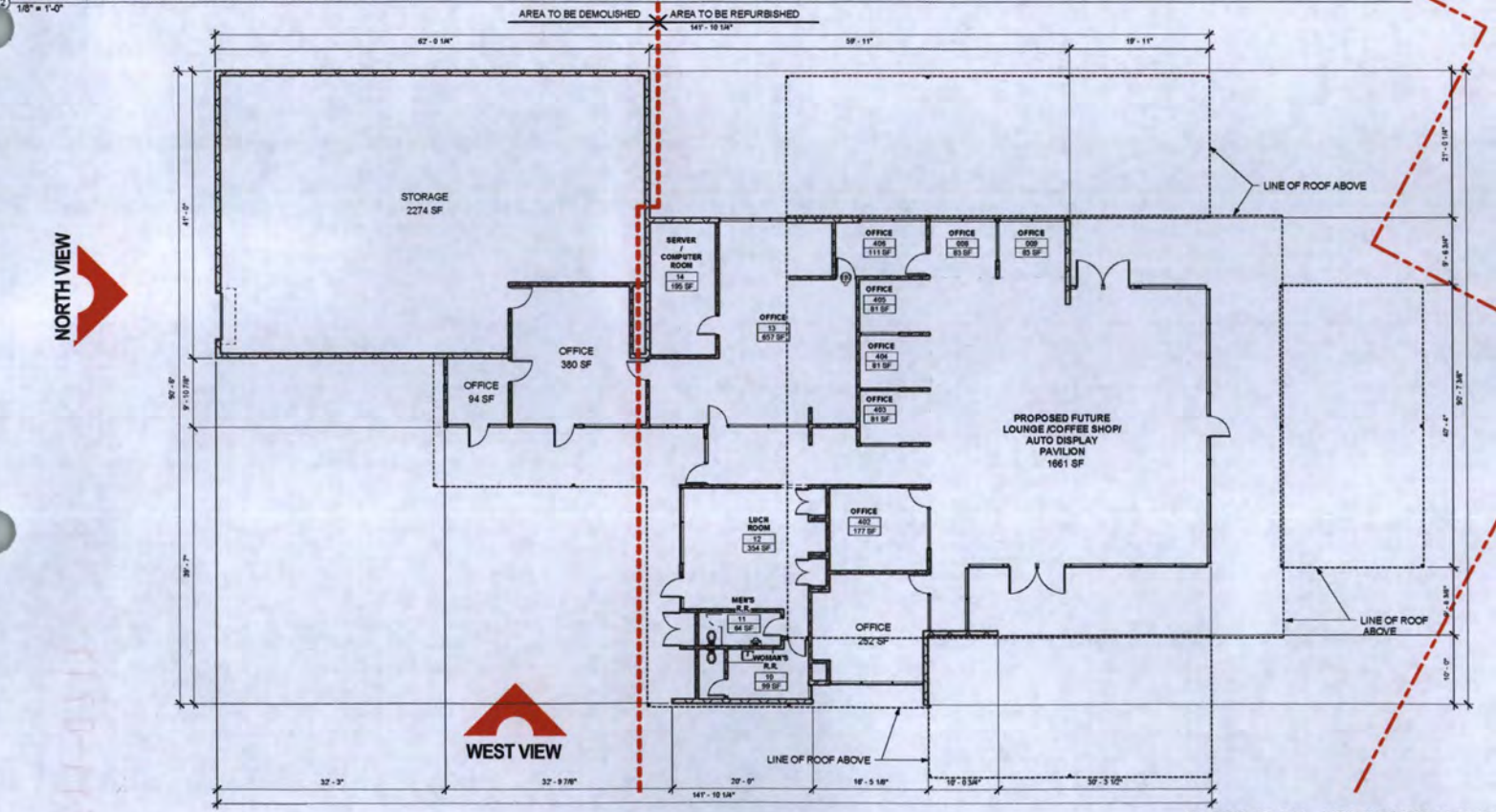
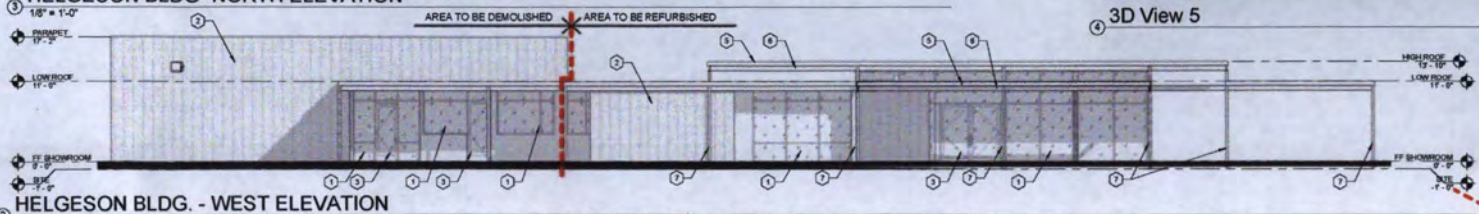
DATE: 12/27/2012 11:43:52 AM

DATE: 12/27/2012 11:43:52 AM





3D View 5



NORTH VIEW

WEST VIEW

FLOOR PLAN - HELGESON BUILDING
1/8" = 1'-0"

NO.	DATE	REVISION	INITIALS

sl SAUERS LOPEZ CONSTRUCTION, INC.

MARCA TECTS
Professional Engineer
No. 10000
State of California
Exp. 12/31/2011

PROJECT NAME: **HELGESON BUICK BLDG. (PROPOSED MODIFICATIONS)**

PROJECT ADDRESS: 8001 AUTO DRIVE, RIVERSIDE, CA 92504

SCALE: 1/8" = 1'-0"

DRAWN BY: OCLR

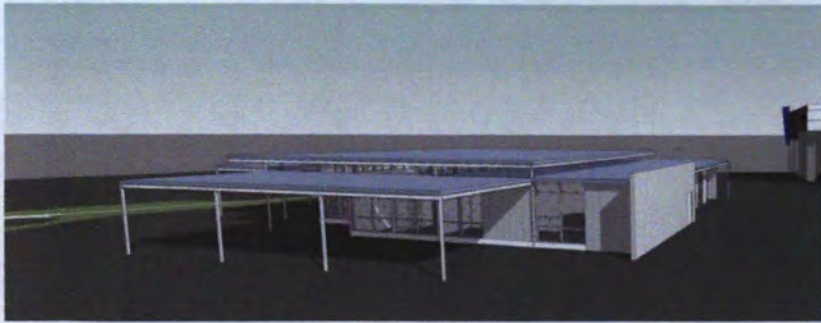
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PROJECT NO: 21117

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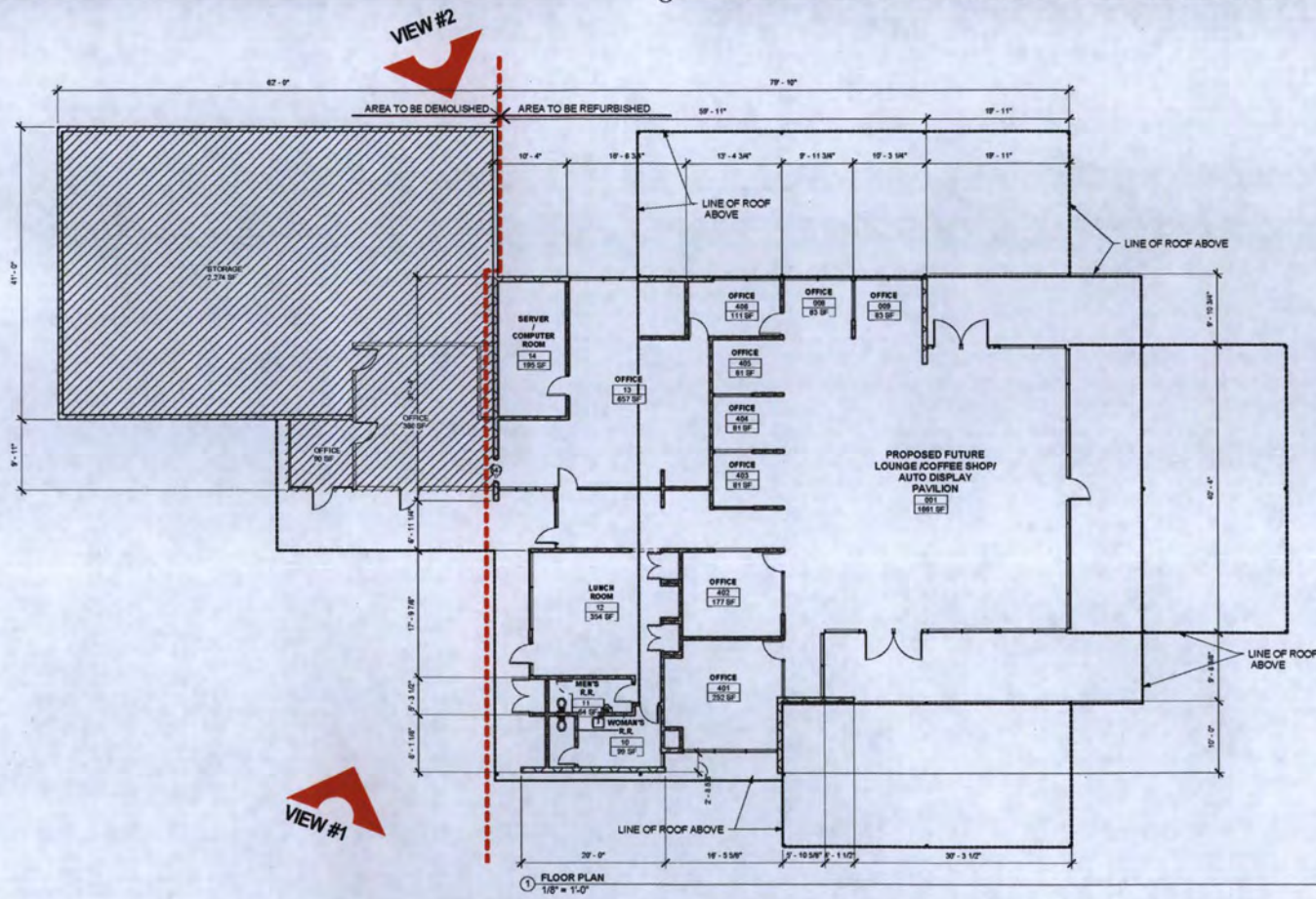
SHEET TITLE: FLOOR PLAN - EXISTING BLDG.



3 HELGESON BLDG. VIEW #2



3 HELGESON BLDG. VIEW #1 (BACK OF BLDG. AFTER MASONRY AREA REMOVED)



NO.	DATE	REVISION	BY/TM

THE ARCHITECT, ENGINEER, ARCHITECTURAL DESIGNER, INTERIOR DESIGNER, LANDSCAPE ARCHITECT, AND OTHER PROFESSIONALS SHALL BE SEVERAL INDEPENDENT CONTRACTORS AND NOT EMPLOYEES OF ARCHITECTURAL DESIGN GROUP. THE ARCHITECT, ENGINEER, ARCHITECTURAL DESIGNER, INTERIOR DESIGNER, LANDSCAPE ARCHITECT, AND OTHER PROFESSIONALS SHALL BE SEVERAL INDEPENDENT CONTRACTORS AND NOT EMPLOYEES OF ARCHITECTURAL DESIGN GROUP. THE ARCHITECT, ENGINEER, ARCHITECTURAL DESIGNER, INTERIOR DESIGNER, LANDSCAPE ARCHITECT, AND OTHER PROFESSIONALS SHALL BE SEVERAL INDEPENDENT CONTRACTORS AND NOT EMPLOYEES OF ARCHITECTURAL DESIGN GROUP.

sl SAUERS LOPEZ CONSTRUCTION, INC.

MARCA TECTS
 240 Market Pl.
 Escondido, CA 92029
 Phone: (760) 743-4100
 Fax: (760) 743-4100
 www.marcaTECTS.com
 www.sauerslopez.com

PROJECT NAME
HELGESON BUICK BLDG. (PROPOSED MODIFICATIONS)

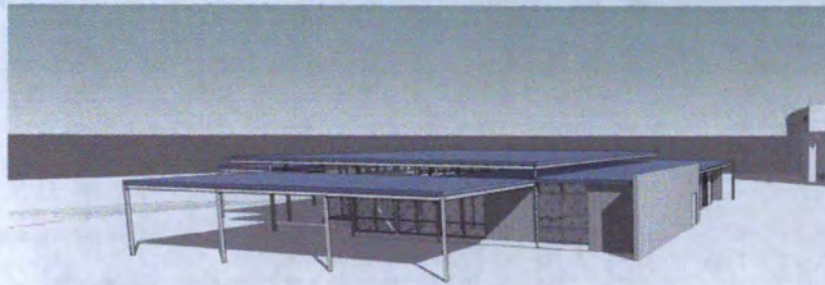
8001 AUTO DRIVE
 RIVERSIDE, CA 92504

PROJECT NO. 21117
 SCALE
 DRAWN BY: OCLM
 CHECKED BY: JMARCA
 SHEET TITLE: PROPOSED BUILDING

DATE: 10/20/12 10:58:41 AM

1/8" = 1'-0"

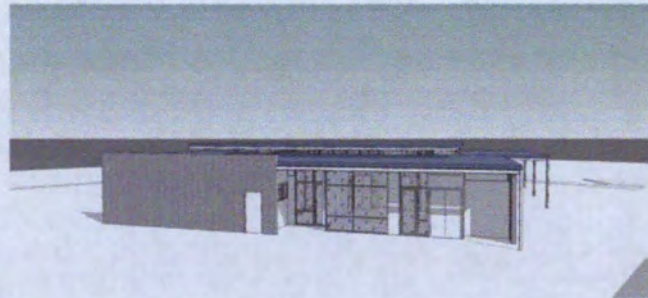
H A 7.5



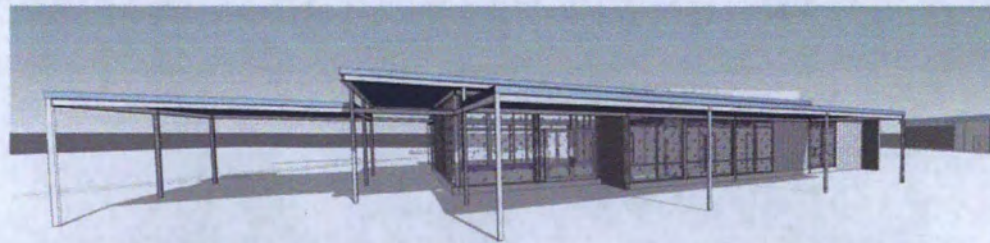
④ HERITAGE 4



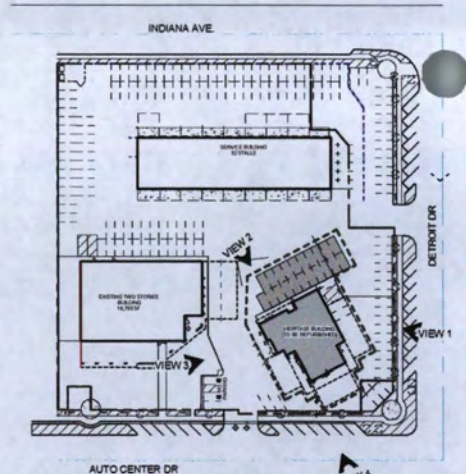
③ HERITAGE 3



② HERITAGE 2 (BACK OF BLDG. AFTER MASONRY AREA REMOVED)



① HERITAGE 1



⑤ SITE PLAN KEY LEGEND
1" = 60'-0"

NO.	DATE	REVISION	BY/TA

The architect, engineer and other professionals are not responsible for compliance with local, state or federal laws, codes, ordinances, regulations, rules, orders, decrees, judgments, judgments, orders, or other legal requirements, and shall not be held liable for any damages, including reasonable attorneys' fees, arising from any claims, actions, suits, or proceedings, whether or not caused in whole or in part by the professional's negligence. The client, contractor, subcontractor, and other parties shall be responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities. The professional shall not be held liable for any damages, including reasonable attorneys' fees, arising from any claims, actions, suits, or proceedings, whether or not caused in whole or in part by the professional's negligence.

MARCA TECTS
 280 Market Pl
 Encinitas, CA 92024
 Phone: (760) 743-4100
 Fax: (760) 743-8100
 www.marca.com

PROJECT NAME
**HERITAGE BUILDING
 (PROPOSED MODIFICATIONS)**
 801 AUTO DRIVE
 REVERSHIDE, CA 92504

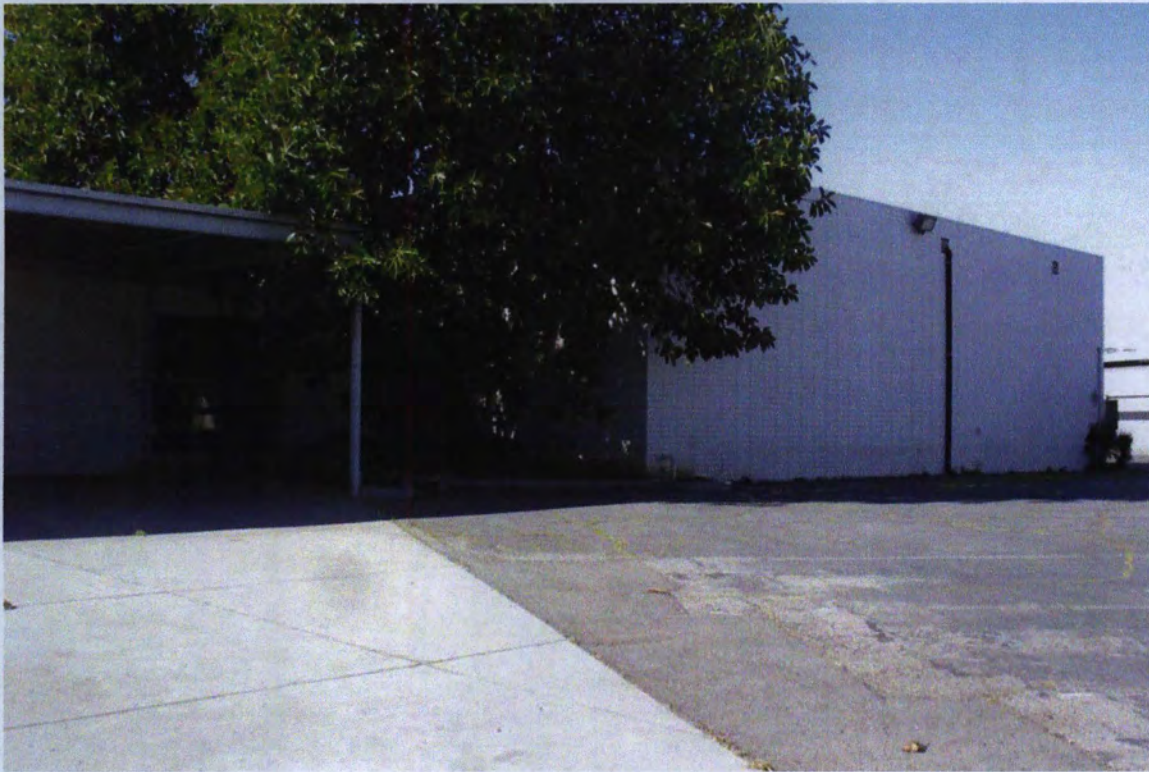
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	PROJECT NO.	21117	DRAWING NO.	H A7.5
	SCALE		CHECKED BY:	JAMARCA
	DRAWN BY:	OCUR	CHECKED BY:	JAMARCA
	SHEET TITLE	3D VIEWS PROPOSED		



P11-0711, Exhibit 4
Current Photos

1110-119

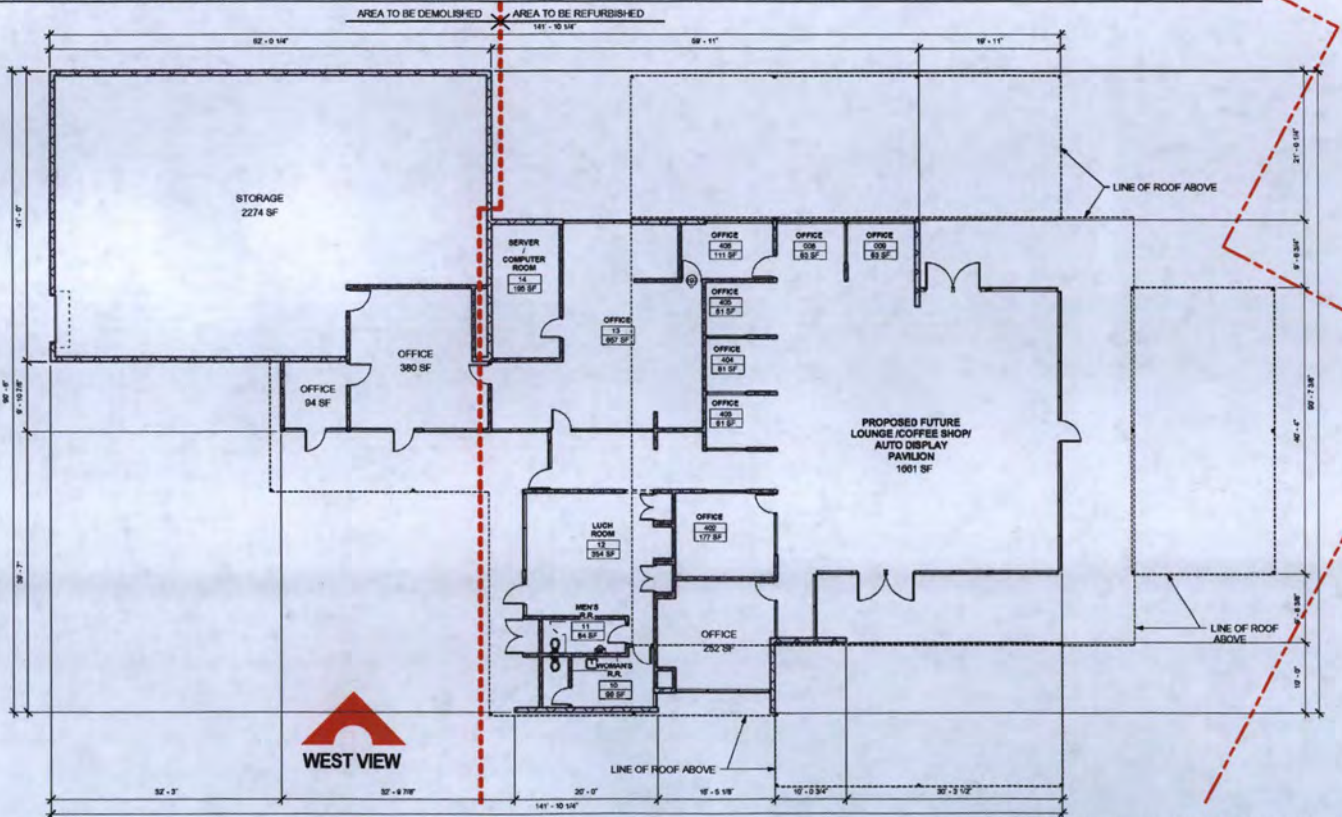
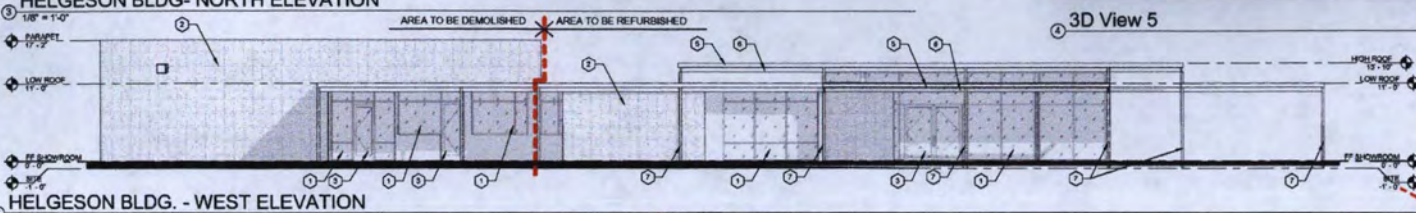
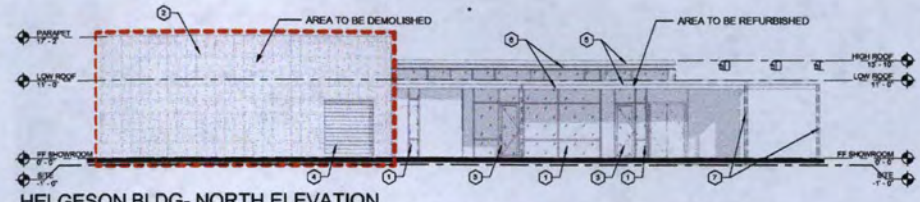


P11-0711, Exhibit 4
Current Photos

050-059



P11-0711, Exhibit 4
Current Photos



NO.	DATE	REVISION	INITIAL

The contractor shall be responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities. The contractor shall be responsible for obtaining all necessary permits, licenses, and approvals from the appropriate authorities.

sl SAUERS LOPEZ CONSTRUCTION, INC.

MARCA • TECTS

240 Market Pl
Escondido, CA 92029
Phone: (760) 743-4109
Fax: (760) 743-4108
www.sauerslopez.com

PROJECT NAME: **HELGESON BUICK BLDG. (PROPOSED MODIFICATIONS)**

8801 AUTO DRIVE
ESCONDIDO, CA, 92029

PROJECT NO: 21117

DESIGNED BY: J. MARCA

DRAWN BY: COLR

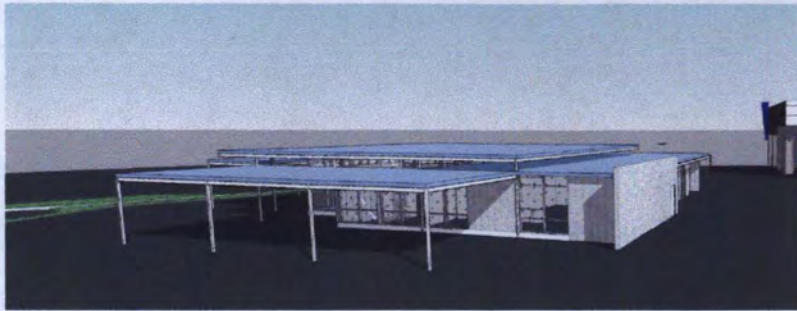
CHECKED BY: J. MARCA

DATE: 10/28/2016 11:52 AM

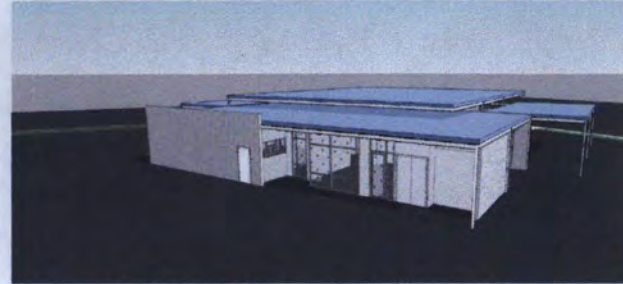
SCALE: HA 3.4

FLOOR PLAN - EXISTING BLDG.

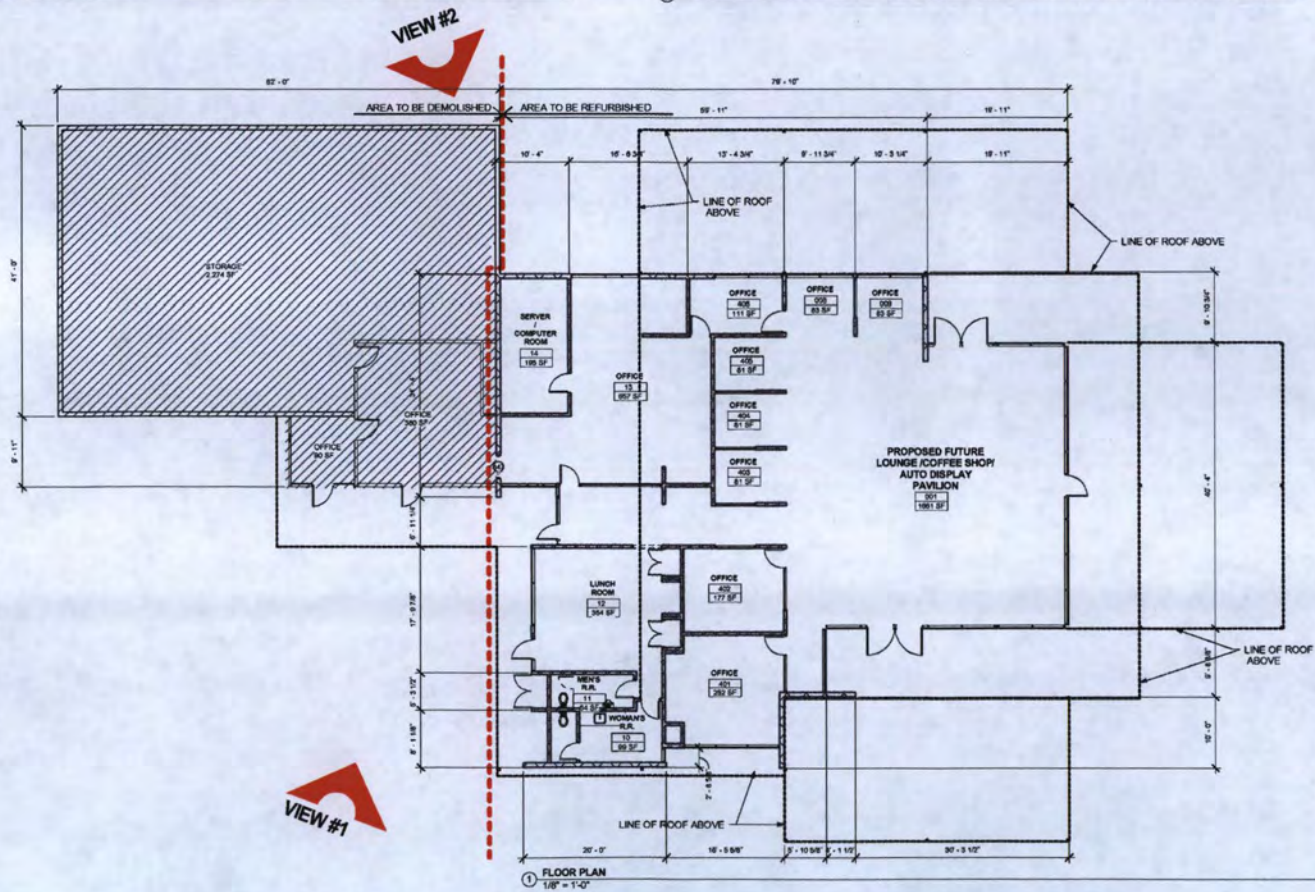
FLOOR PLAN - HELGESON BUILDING
1/8" = 1'-0"



② HELGESON BLDG. VIEW #2



③ HELGESON BLDG. VIEW #1 (BACK OF BLDG. AFTER MASONRY AREA REMOVED)



NO.	DATE	REVISION	INITIAL

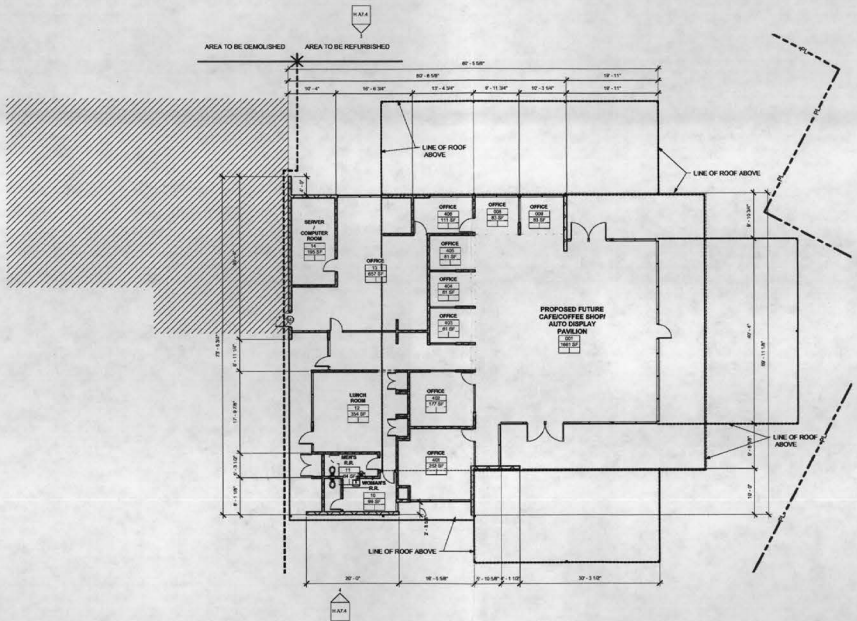
sl SAUERS LOPEZ CONSTRUCTION, INC.

MARCA • TECTS
 240 Market Pl
 Escondido, CA 92029
 Phone: (760) 743-4109
 Fax: (760) 743-4106
 www.sla.com
 www.marcaTECTS.com

PROJECT NAME: **HELGESON BUICK BLDG. (PROPOSED MODIFICATIONS)**

8061 AUTO DRIVE
 RIVERSIDE, CA 92504

SCALE: 2/11/17	DATE: 1/25/2017 10:00:11 AM
DRAWN BY: OOUR	CHECKED BY: J MARCA
DESIGNED BY: H A7.5	SHEET TITLE: PROPOSED BUILDING



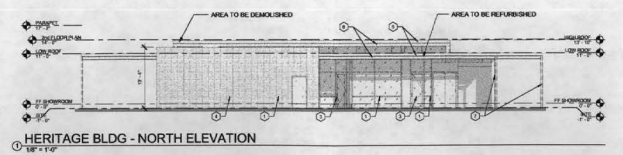
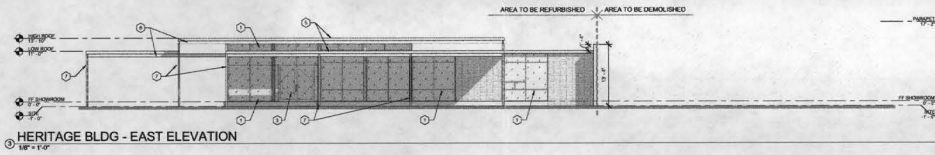
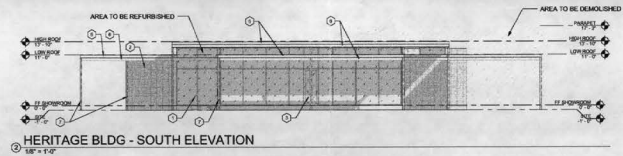
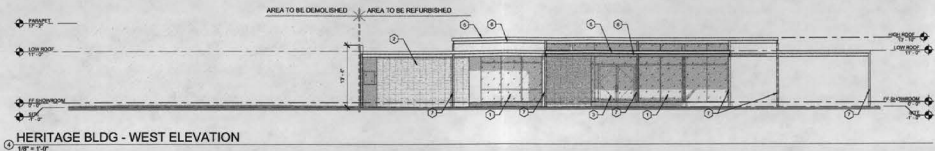
FLOOR PLAN - HERITAGE BUILDING
1/8" = 1'-0"

NO.	DATE	REVISION	BY

MARCA TECTS
 1000 W. 10th Street
 Redwood City, CA 94063
 Phone: (415) 742-4999
 Fax: (415) 742-3142
 WWW.MARCA-TECTS.COM

HERITAGE BUILDING
 (PROPOSED MODIFICATIONS)
 1000 W. 10th Street
 Redwood City, CA 94063

PROJECT NO. 2117
 BLDG. C
 HA 3.4
 1000 W. 10th Street - HERITAGE BLDG.



ELEVATION NOTES	
KEY SYMBOL	
○	EXISTING STOREFRONT SYSTEM
○	EXISTING WALL
○	EXISTING DOOR
○	EXISTING OVERHEAD DOOR
○	EXISTING WINDOW
○	EXISTING STRUCTURAL BEAM
○	EXISTING STRUCTURAL COLUMN

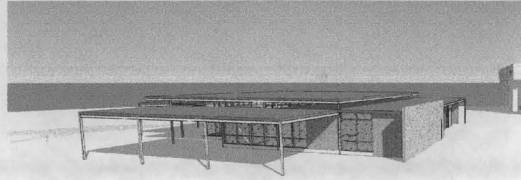
NO.	DATE	REVISION

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 WWW.MARCATECTS.COM

HERITAGE BUILDING
 (PROPOSED MODIFICATIONS)
 800 S. G STREET
 HERESIDE, CA 94508

PROJECT NO. 21117
 SHEET NO. H A7.4
 DATE PLOTTED: 08/08/2017 10:58:00 AM
 PLOT FROM ELEVATIONS - HERESIDE BLDG



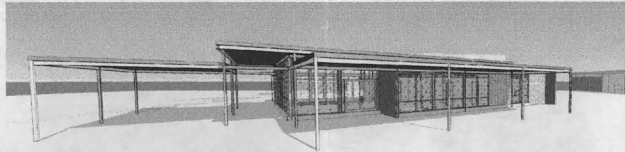
④ HERITAGE 4



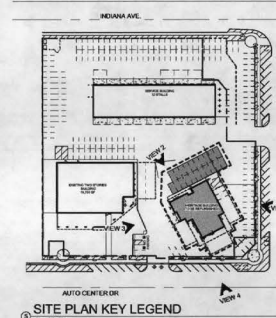
④ HERITAGE 3



④ HERITAGE 2 (BACK OF BLDG. AFTER MASONRY AREA REMOVED)



④ HERITAGE 1



④ SITE PLAN KEY LEGEND
1" = 60'-0"

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240 Mission St. San Francisco, CA 94102 Phone: (415) 442-8100 Fax: (415) 212-8100 www.marcaitects.com	
HERITAGE BUILDING PROPOSED MODIFICATIONS	
101 CALIFORNIA SAN FRANCISCO, CA 94104	
PROJECT NO.	2117
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BY THESE PROVISIONS	