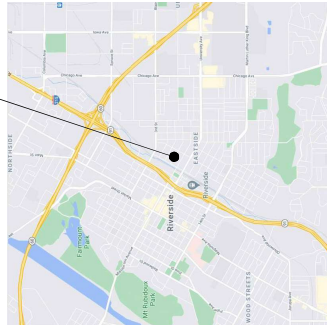




PROJECT LOCATION



VICINITY MAP NTS



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Iron Lofts, LLC
1201 Dove Street, Suite 520
Newport Beach, CA 92660

IRON LOFTS
RIVERSIDE, CALIFORNIA # 2020-0944

SCHEMATIC DESIGN
NOVEMBER 08, 2024

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01	TITLE SHEET
02	CONCEPTUAL LANDSCAPE PLAN
03	CONCEPTUAL FENCE AND WALL PLAN
04	COURTYARD A - POOL AREA ENLARGEMENT
05	COURTYARD B & C ENLARGEMENTS

TITLE SHEET
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A0-0

PROJECT SUMMARY

COMMERCE ST AND MISSION INN AVE
RIVERSIDE, CALIFORNIA

ZONING
CURRENT: BMP (BUSINESS MANUFACTURING AND PARK ZONE)
PROPOSED: MU-U (MIXED-USE URBAN)

AREA
PRE-DEDICATION: 7.03 AC (306,100 SF)
POST-DEDICATION: 6.94 AC (302,131 SF)
TOTAL DWELLING UNITS: 300 DU
DENSITY: 42.7 DU/AC
FAR: 0.95:1 (292,250 SF)

UNIT MIX
STUDIO: 51 UNITS (17%)
1-BED: 147 UNITS (49%)
2-BED: 93 UNITS (31%)
LIVEMORK: 9 UNITS (3%)
TOTAL: 300 UNITS
AVG. UNIT SIZE: 713 SF

VEHICLE PARKING

RESIDENTIAL REQUIRED: 474 SPACES
(1 SP/STUDIO + 1.5 SP/1-BED + 2 SP/2-BED)

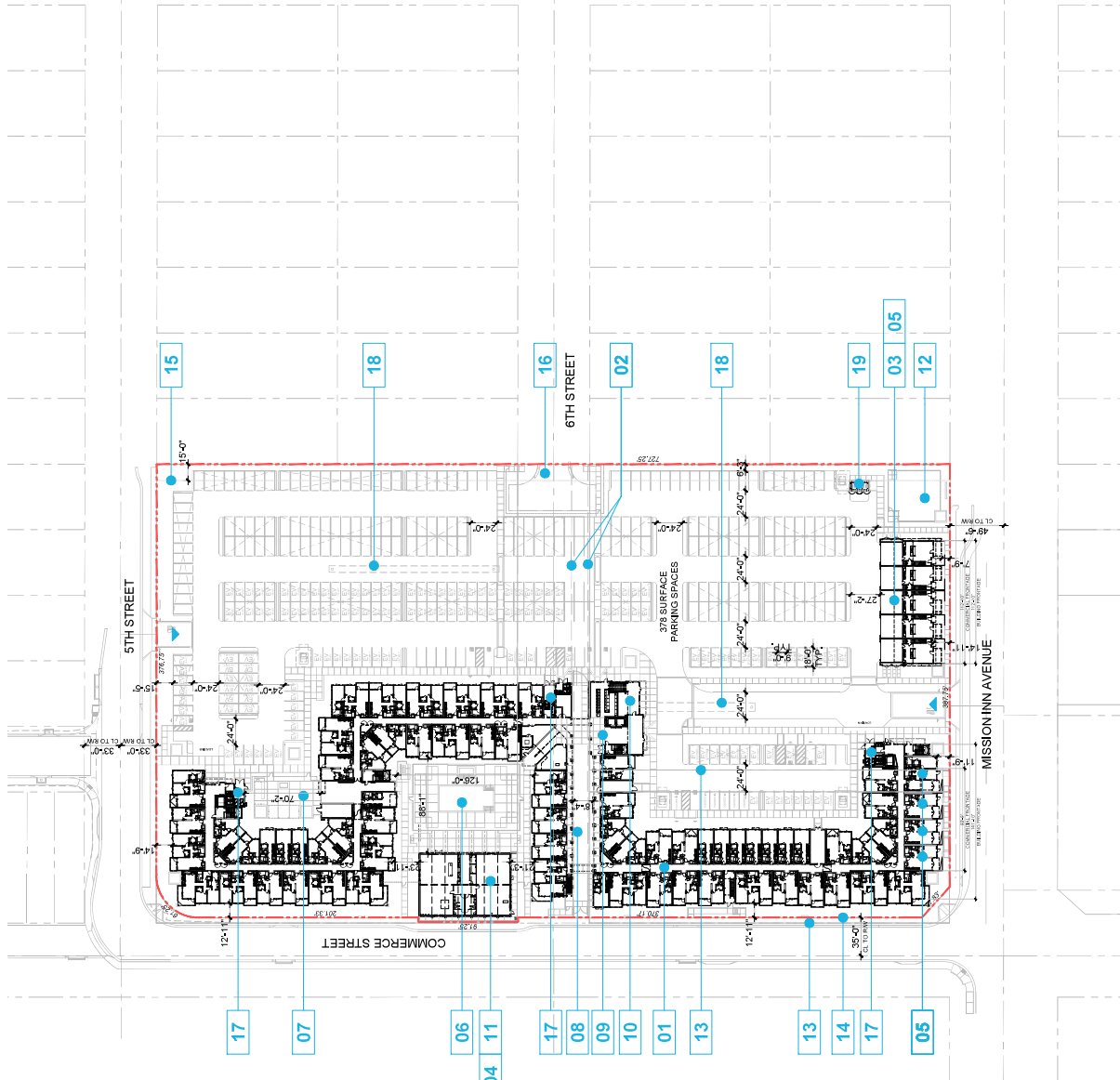
RESIDENTIAL PROVIDED: 388 SPACES
(1.29 SP/DU)

378 SURFACE SPACES
10 GARAGE SPACES (2 SP/TH)

*COVERED: 301 SPACES (1 SP/DU)

CALLOUT LEGEND

- 01 BUILDING A (4-STORY ON GRADE)
- 02 AT&T EASEMENT
- 03 BUILDING C (2-STORY TOWNHOMES)
- 04 BUILDING D (HISTORIC)
- 05 LIVE-WORK UNITS
- 06 COURTYARD A (ACTIVE - POOL)
- 07 COURTYARD B (PASSIVE)
- 08 OPEN AIR BREEZEWAY
- 09 LOBBY
- 10 LEASING
- 11 AMENITIES
- 12 DOG PARK
- 13 EXISTING PROPERTY LINE
- 14 NEW PROPERTY LINE
- 15 PROPOSED SETBACK
- 16 6TH STREET HAMMERHEAD
- 17 IN-BUILDING TRASH ROOM
- 18 AQUA-SWIRL
- 19 ON-GRADE TRASH ENCLOSURE



COMMERCIAL FRONTAGE

MIXED-USE COMMERCIAL FRONTAGE COMPLIANCE
(PER SECTION 15.120.050)

LOCATION	FRONTAGE LENGTH*	85% LINEAL GROUND FLOOR FRONTAGE REQUIRED	COMMERCIAL FRONTAGE PROPOSED
MISSION AVENUE	254.27 FT	203.73 FT	208.58 FT (81.1%)

* EXCLUDING NONBUILDING SITE AREA (DRIVEWAYS OR PEDESTRIAN ENTRANCES)



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Iron Lofts, LLC
1201 Dove Street, Suite 520
Newport Beach, CA 92660

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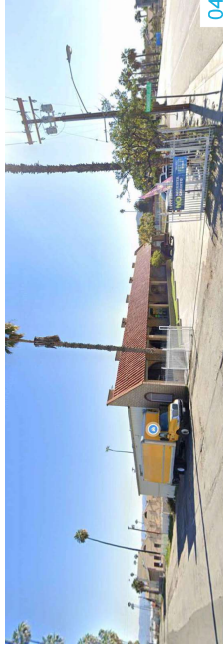


SITE PLAN
PROJECT SUMMARY

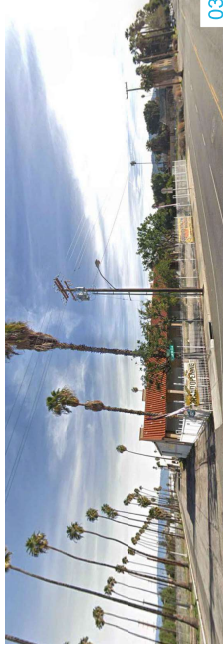
A1-0



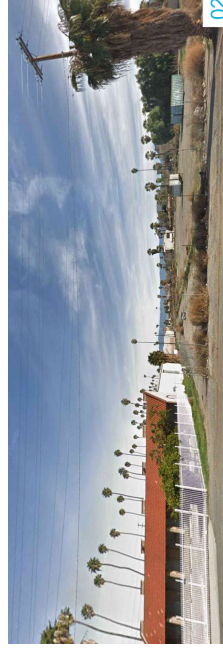
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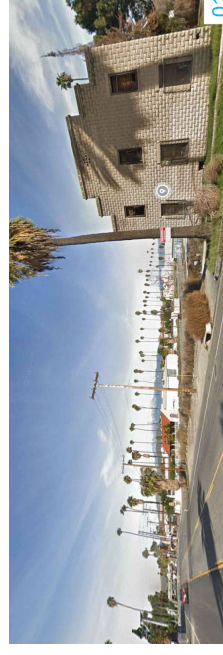
04



03

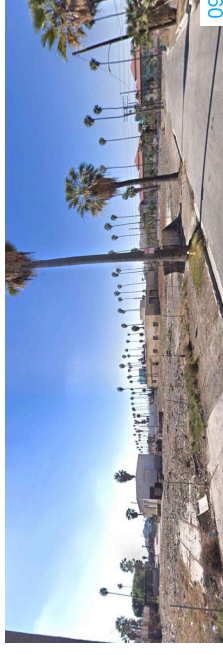


02



01

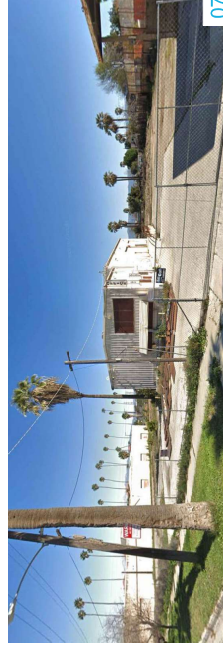
AS A RESULT OF THE 11/20/2023 COLLAPSE, THE REMAINDER OF THE SODA WORKS BUILDING HAS BEEN DEMOLISHED



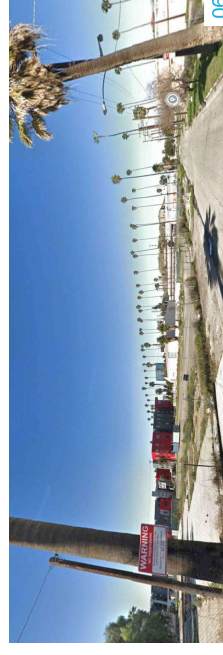
09



08



07



06



OPEN SPACE

REQUIRED

COMMON OPEN SPACE: 15,000 SF
(>50 SF/DU)

PRIVATE OPEN SPACE: 7,500 SF
(50 SF/DU FOR AT LEAST 50% OF THE UNITS)

TOTAL REQUIRED: 22,500 SF

PROVIDED

COMMON OPEN SPACE: 19,660 SF
PRIVATE OPEN SPACE: 17,120 SF

TOTAL PROVIDED: 36,770 SF

COLOR LEGEND

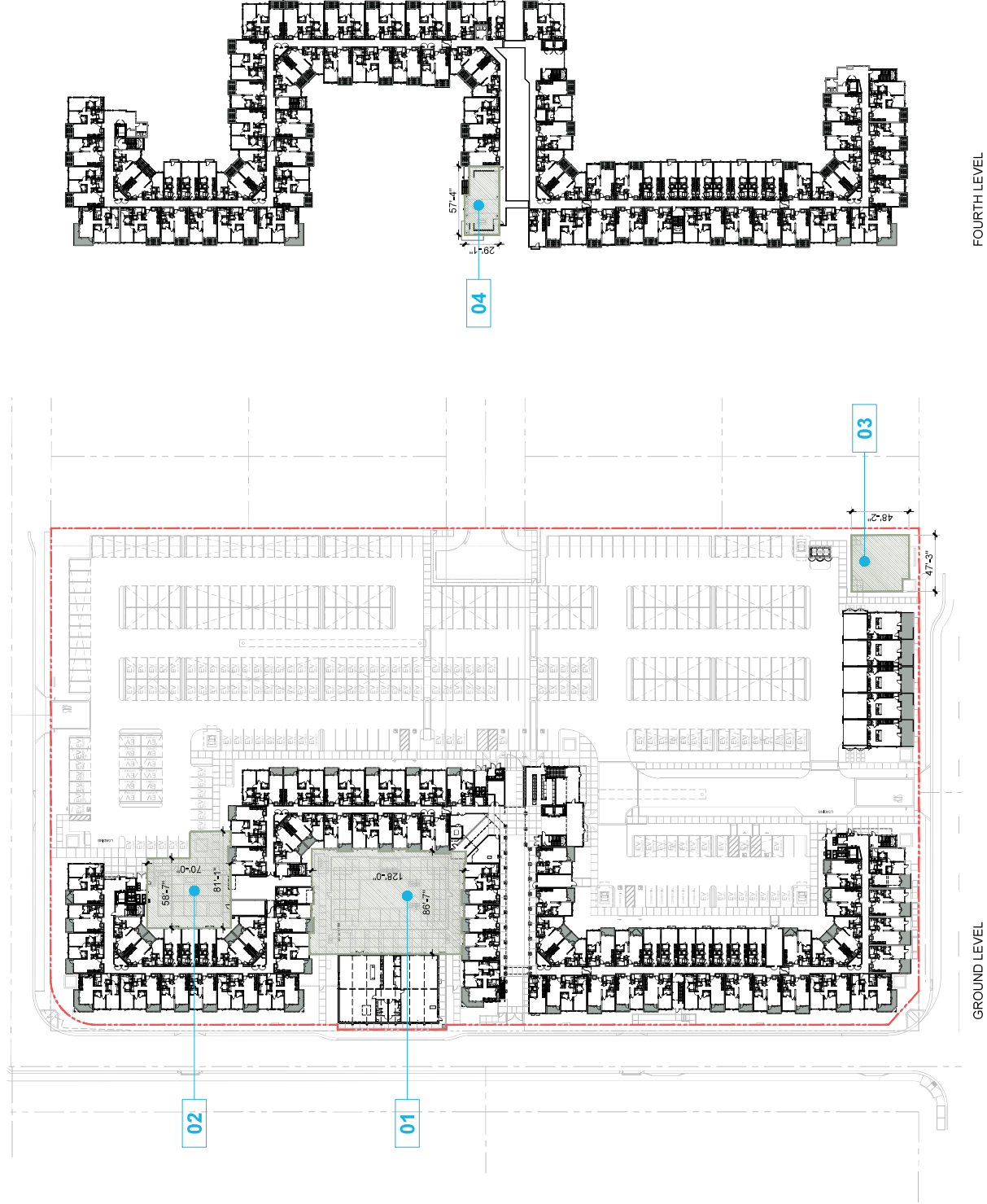
- COMMON OPEN SPACE
- PRIVATE OPEN SPACE

AREA LEGEND

- 01 COURTYARD A 11009 SQ. FT.
- 02 COURTYARD B 4850 SQ. FT.
- 03 DOG PARK 2218 SQ. FT.
- 04 ROOF DECK 1572 SQ. FT.

OPEN SPACE EXHIBIT

A1-2



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PARKING PLAN

RESIDENTIAL

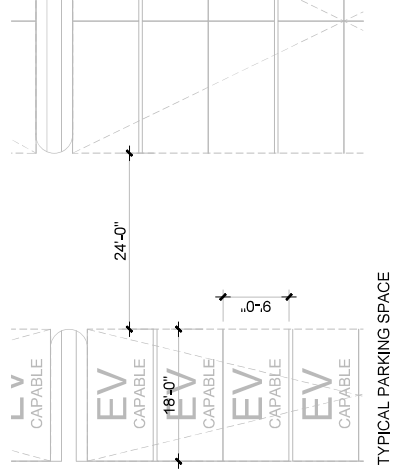
- 74 STANDARD - OPEN
- 288 STANDARD - COVERED
- 6 ACCESSIBLE - OPEN
- 3 ACCESSIBLE - COVERED
- 10 GARAGE - COVERED
- 381 TOTAL SPACES PROVIDED

*301 COVERED SPACES
(1 SPACE PER DWELLING UNIT MIN.)

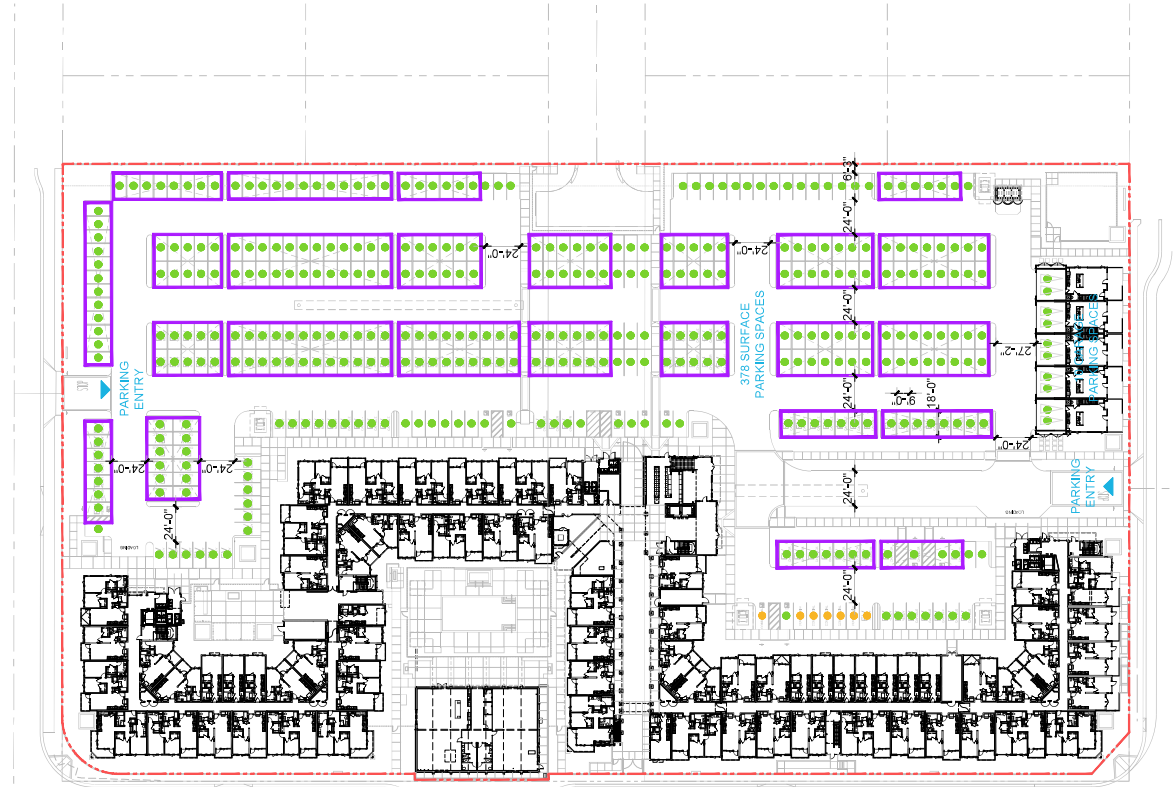
LEASING / COMMERCIAL

- 6 STANDARD - OPEN
- 1 ACCESSIBLE - OPEN
- 7 TOTAL SPACES PROVIDED

388 TOTAL PARKING SPACES ON SITE



TYPICAL PARKING SPACE



GROUND LEVEL

COLOR LEGEND

- RESIDENTIAL PARKING
- LEASING / COMMERCIAL PARKING
- CARPORT SPACES

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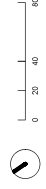


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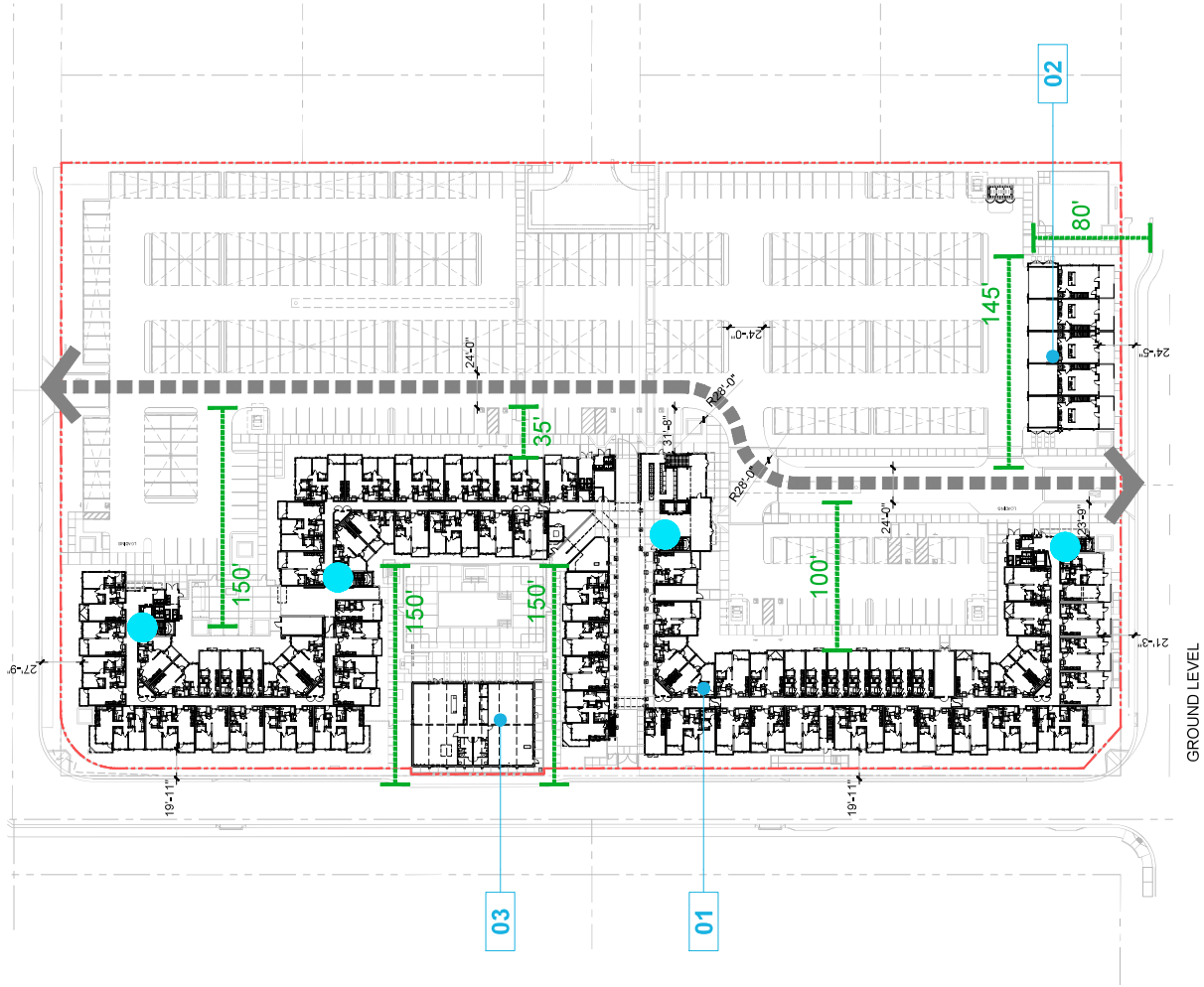
200-0944

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PARKING EXHIBIT

A1-3



ARROW LEGEND

-  FIRE ACCESS
(20' WIDTH MIN.)
-  FIRE LANE
(20' WIDTH MIN.)
-  STANDPIPE
(AT ALL LEVELS / ROOF ACCESS)
-  HOSE PULL BUILDING COVERAGE
(EXTERIOR)

BUILDING LEGEND

- 01 BLDG A - TYPE V 4-STORIES ON GRADE
- 02 BLDG C - TYPE V 2 STORIES ON GRADE
- 03 BLDG D - TYPE V 1 STORY ON GRADE

FIRE ACCESS PLAN

A1-4

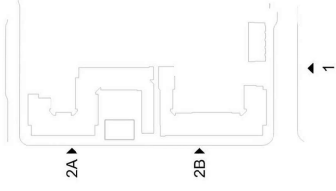
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1. MISSION INN AVENUE ELEVATION



2A. PARTIAL COMMERCE STREET ELEVATION



2B. PARTIAL COMMERCE STREET ELEVATION



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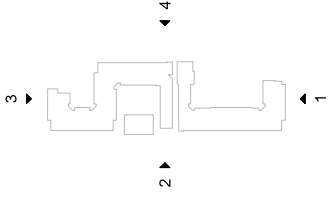
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SCHEMATIC DESIGN
NOVEMBER 08, 2024

0 12 1/2 25 50

STREET ELEVATIONS

A2-0



1. BUILDING A - SOUTH ELEVATION



2. BUILDING A - WEST ELEVATION



3. BUILDING A - NORTH ELEVATION



4. BUILDING A - EAST ELEVATION

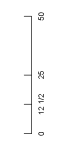


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Iron Lofts, LLC
1201 Dove Street, Suite 520
Newport Beach, CA 92660

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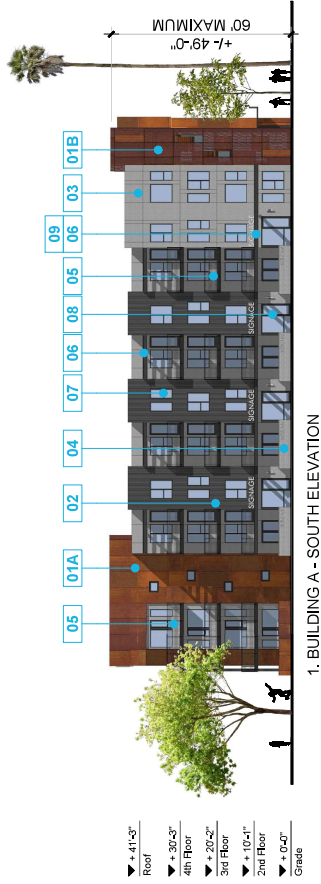
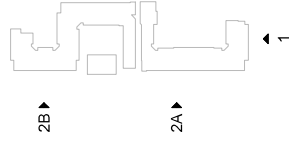


BUILDING ELEVATIONS
BUILDING A

A2-1

NOTE

4" WINDOW RECESSES TO OCCUR AT WINDOWS VISIBLE FROM THE STREET. SEE SHEET A9-1 FOR DETAIL.



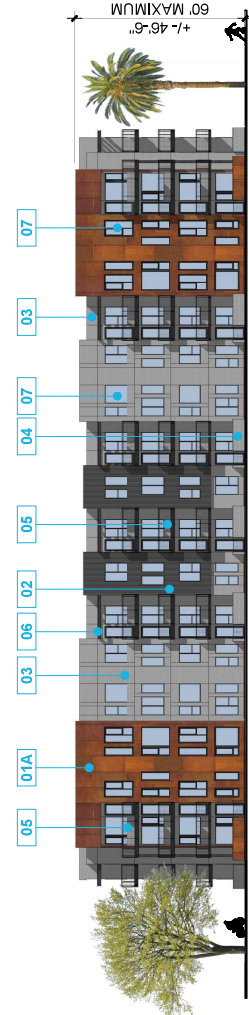
1. BUILDING A - SOUTH ELEVATION

- ▼ +41'-3" Roof
- ▼ +30'-3" 4th Floor
- ▼ +20'-2" 3rd Floor
- ▼ +10'-1" 2nd Floor
- ▼ +0'-0" Grade



2A. BUILDING A - PARTIAL WEST ELEVATION (RIGHT)

- ▼ +41'-3" Roof
- ▼ +30'-3" 4th Floor
- ▼ +20'-2" 3rd Floor
- ▼ +10'-1" 2nd Floor
- ▼ +0'-0" Grade



2B. BUILDING A - PARTIAL WEST ELEVATION (LEFT)

- ▼ +41'-3" Roof
- ▼ +30'-3" 4th Floor
- ▼ +20'-2" 3rd Floor
- ▼ +10'-1" 2nd Floor
- ▼ +0'-0" Grade

CALLOUT LEGEND

- 01A WEATHERED STEEL - FLAT
- 01B WEATHERED STEEL - PERFORATED
- 02 CORRUGATED METAL
- 03 STUCCO
- 04 BURNISHED CMU
- 05 STEEL GRATE RAILING
- 06 AWNING
- 07 VINYL WINDOW
- 08 STOREFRONT
- 09 SIGNAGE



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BUILDING ELEVATIONS
BUILDING A

