

#### BICYCLE PARKING CALCULATION

BUILDING 1	SPACES REQUIRED	SPACES PROVIDED
99,800 S.F. FOOTPRINT		
PARKING REQUIRED	118 SPACES	
PARKING PROVIDED	130 SPACES	
VISITOR PARKING STALL (20% OF TOTAL PARKING = 26 SPACES)		
BICYCLE PARKING CALCULATION		
SHORT TERM (25' X 5') = 1.3 SPACES	(2 SPACES)	
LONG TERM (25' X 5') = 5.6 SPACES	(4 SPACES)	
BICYCLE RACK MODEL: ROLLING RACK BY AMERICAN BICYCLE COMPANY: <a href="http://WWW.AMBERBKE.COM">WWW.AMBERBKE.COM</a>	(6 SPACES)	
SHORT TERM RACK FINISH : GALVANIZED (2) IRON (SINGLE SIDED CONGS)		
LONG TERM BICYCLE PARKING -RACK FINISH: POWER COATED RAL 6005 (1) IRON (SINGLE SIDED CONGS)		

BUILDING 2	SPACES REQUIRED	SPACES PROVIDED
97,700 S.F. FOOTPRINT		
PARKING REQUIRED	125 SPACES	
PARKING PROVIDED	130 SPACES	
VISITOR PARKING STALL (20% OF TOTAL PARKING = 26 SPACES)		
BICYCLE PARKING CALCULATION		
SHORT TERM (25' X 5') = 1.3 SPACES	(2 SPACES)	
LONG TERM (25' X 5') = 5.6 SPACES	(4 SPACES)	
BICYCLE RACK MODEL: ROLLING RACK BY AMERICAN BICYCLE COMPANY: <a href="http://WWW.AMBERBKE.COM">WWW.AMBERBKE.COM</a>	(6 SPACES)	
SHORT TERM RACK FINISH : GALVANIZED (2) IRON (SINGLE SIDED CONGS)		
LONG TERM BICYCLE PARKING -RACK FINISH: POWER COATED RAL 6005 (1) IRON (SINGLE SIDED CONGS)		

#### AMENITY AREAS CALC.

BUILDING 1	SPACES REQUIRED	SPACES PROVIDED
97,700 S.F. FOOTPRINT		
PARKING REQUIRED	125 SPACES	
PARKING PROVIDED	130 SPACES	
VISITOR PARKING STALL (20% OF TOTAL PARKING = 26 SPACES)		
BICYCLE PARKING CALCULATION		
SHORT TERM (25' X 5') = 1.3 SPACES	(2 SPACES)	
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SHORT TERM RACK FINISH : GALVANIZED (2) IRON (SINGLE SIDED CONGS)		
LONG TERM BICYCLE PARKING -RACK FINISH: POWER COATED RAL 6005 (1) IRON (SINGLE SIDED CONGS)		

#### ZONING

INDUSTRIAL (I)  
APPLICANT:  
STALEY POINT CAPITAL  
11150 SANTA MONICA BLVD.  
SUITE 705  
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CONTACT: T: 310-929-8097  
F: 310-929-2270  
EMAIL: MIKE@STALEYPOINT.COM

#### APPLICANT'S REPRESENTATIVE

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IRVINE, CA 92612  
CONTACT: ANDY NYANTO  
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EMAIL: MIKE@STALEYPOINT.COM

#### PROPERTY OWNER

STALEY POINT CAPITAL  
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#### ADDRESS OF THE PROPERTY

2626 KANSAS AVENUE, 1989 AND 2069 MASSACHUSETTS AVENUE,  
RIVERSIDE, CA 92520  
ASSESSOR'S PARCEL NUMBER

210-130-015-1, 210-130-016-2

#### MASTER SITE PLAN

scale: 1" = 30'-0"

0 30' 60' 90'



#### AERIAL MAP



#### PROJECT DATA

BLDG. 1	BLDG. 2	BLDG. 3	BLDG. 4	BLDG. 5	BLDG. 6	BLDG. 7	BLDG. 8	BLDG. 9	BLDG. 10	BLDG. 11	BLDG. 12	BLDG. 13	BLDG. 14	BLDG. 15	BLDG. 16	BLDG. 17	BLDG. 18	BLDG. 19	BLDG. 20	BLDG. 21	BLDG. 22	BLDG. 23	BLDG. 24	BLDG. 25	BLDG. 26	BLDG. 27	BLDG. 28	BLDG. 29	BLDG. 30	BLDG. 31	BLDG. 32	BLDG. 33	BLDG. 34	BLDG. 35	BLDG. 36	BLDG. 37	BLDG. 38	BLDG. 39	BLDG. 40	BLDG. 41	BLDG. 42	BLDG. 43	BLDG. 44	BLDG. 45	BLDG. 46	BLDG. 47	BLDG. 48	BLDG. 49	BLDG. 50	BLDG. 51	BLDG. 52	BLDG. 53	BLDG. 54	BLDG. 55	BLDG. 56	BLDG. 57	BLDG. 58	BLDG. 59	BLDG. 60	BLDG. 61	BLDG. 62	BLDG. 63	BLDG. 64	BLDG. 65	BLDG. 66	BLDG. 67	BLDG. 68	BLDG. 69	BLDG. 70	BLDG. 71	BLDG. 72	BLDG. 73	BLDG. 74	BLDG. 75	BLDG. 76	BLDG. 77	BLDG. 78	BLDG. 79	BLDG. 80	BLDG. 81	BLDG. 82	BLDG. 83	BLDG. 84	BLDG. 85	BLDG. 86	BLDG. 87	BLDG. 88	BLDG. 89	BLDG. 90	BLDG. 91	BLDG. 92	BLDG. 93	BLDG. 94	BLDG. 95	BLDG. 96	BLDG. 97	BLDG. 98	BLDG. 99	BLDG. 100	BLDG. 101	BLDG. 102	BLDG. 103	BLDG. 104	BLDG. 105	BLDG. 106	BLDG. 107	BLDG. 108	BLDG. 109	BLDG. 110	BLDG. 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Owner:



Staley Point  
CAPITAL

STALEY POINT CAPITAL  
11180 SANTA MONICA BLV, SUITE 700  
LOS ANGELES, CA 90025  
TEL: 310-929-8088

Project:

MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

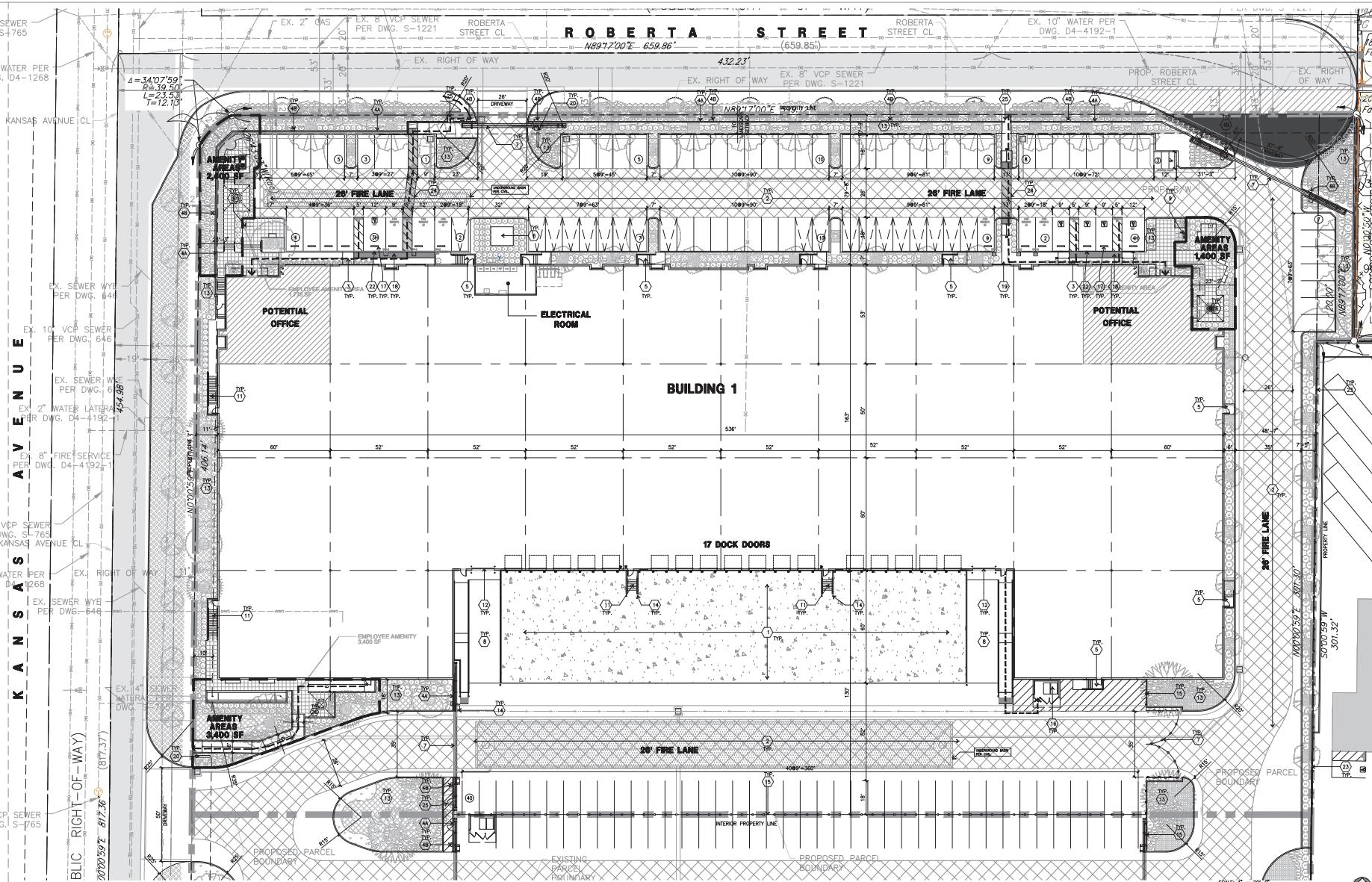
Consultants:

CIVIL  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE  
FIRE PROTECTION  
SOILS ENGINEER

HUNTER

Title: OVERALL SITE PLAN

Project Number: 21074  
Drawn by: AW  
Date: 04/11/25  
Revision:



#### SITE PLAN KEYNOTES

- 1 HEAVY BROOM FINISH CONCRETE PAVING.
- 2 ASPHALT CONCRETE (AC) PAVING.
- 3 CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- 4 PAINTED BLACK 2" TUBULAR STEEL FENCE ON THE TOP 8' 6" CMU BLOCK WALL WITH CAP (ELEVATOR).
- 5 5"-7" X 4" THICK CONCRETE EXTERIOR LANDSCAPED AREAS FINISH TO MEDIUM BROOM FINISH.
- 6 TRANSFORMERS FOR ELECTRICAL DRAWINGS AND SERVICE 6"-7" HIGH METAL SLIDING GATES W/ ANKLE-BOX PER TO DESIGN & DRAWINGS. DRAWINGS AND CALCULATIONS FROM THE PROPERTY LINE.
- 7 5-SPACE BIKE RACK.
- 8 FIRE HYDRANT W/ CONC. FILLED STEEL GUARD POST.
- 9 EXTERIOR CONCRETE STAR.
- 10 12' W X 14'H OVERHEAD DOOR @ DRIVE THRU.
- 11 ALL LANDSCAPE AREAS INDICATED BY SHADING.
- 12 CONC. FILLED GUARD POST "6 DIA. UNO. 42" H.
- 13 6' H TUBULAR STEEL FENCE.
- 14 TRASH ENCLOSURE, REFER TO AD7.
- 15 PRE-CAST CONC. CIRCLE, STOP.
- 16 TRUNCATE DOME.
- 17 SMOKEY STICK POLE.
- 18 FUTURE MONUMENT SIGN.
- 19 ACCESSIBLE ENTRANCE SIGN.
- 20 ACCESSIBLE PARKING STALL SIGN.
- 21 6' H TUBULAR STEEL FENCE AT PROPERTY PERIMETER, OFF THE PROPERTY LINE.
- 22 COLOR CONCRETE REFER TO LANDSCAPE DRAWINGS.
- 23 6' H TUBE STEEL MUN. GATE.
- 24 COVERED BREAK AREA.

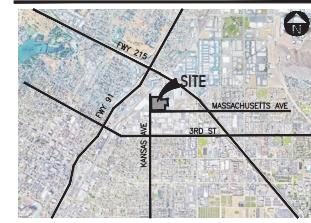
#### SITE PLAN GENERAL NOTES

1. ALL SPACES SHALL CONFORM WITH MUNICIPAL STANDARDS.
2. SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
3. CONCRETE CURB OR GRID LINE U.N.C. OR CONCRETE CURB OR GRID LINE U.N.C.
4. REFER TO CIVIL PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DESIGN OF CONCRETE ARE MINIMUM STANDARDS.
5. THE EXISTING PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. REFER TO CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONNECT TO EXISTING ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINS AWAY FROM BUILDING TO CIVIL DRAWINGS.
8. REFER TO CIVIL DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. REFER TO CIVIL DRAWINGS FOR FINAL GRADE ELEVATIONS.
10. CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOOLED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12' EA. WAY EXPANSION JOINTS TO BE A MINIMUM EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.C.
11. ALL SPACES SHALL CONFORM WITH MUNICIPAL STANDARDS.
12. PARK CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT FOR APPROVAL PRIOR TO PUBLIC FACILITIES DEVELOPMENT.
14. PRIOR TO FINAL CITY INSPECTION, THE OWNER SHALL PROVIDE A COPY OF THE AUTOMATIC IRRIGATION SYSTEM TO THE PUBLIC UTILITIES DEVELOPMENT.
15. SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENT.
16. ALL LANDSCAPE AND IRRIGATION DESIGN SHALL MEET CURRENT CITY STANDARDS AND REQUIREMENTS IN GUIDELINES OR AS OBTAINED FROM PUBLIC UTILITIES DEVELOPMENT.
17. WALLS SHALL BE TREATED WITH A GRANITOID-PROOF COATING ON SURFACES EXPOSED TO THE ELEMENTS. EXTERIOR WALLS, EXTERIOR FACE BLOCK WALL, DECORATIVE TILE, COLORED PANELING MATERIAL, ETC.).
18. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
19. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

#### SITE PLAN GENERAL NOTES

- CONCRETE PAVING - RE: CIVL DRAWINGS THICKNESS  
DRAWINGS: 9" X 18"
- ACCESSIBLE PARKING STALL, 9' X 18' + 5' W ACCESSIBLE AISLE
- VAN ACCESSIBLE, 12' X 18' + 5' W ACCESSIBLE AISLE
- FUTURE EV CHARGING STATION 9' X 18'
- EV CHARGING STATION NEED 9' X 18'
- NOTES:
  - 1. DECORATIVE Hardscape FINISH is PROPOSED WHEN INTERNAL WALKWAYS CROSS DRIVEWAYS, PARKING AREAS, OR LOADING AREAS.
  - 2. GATES TO REMAINED OPEN DURING BUSINESS HOURS.
- CONCRETE PAVING - RE: CIVL DRAWINGS THICKNESS  
DRAWINGS: 9" X 18"
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  - 2. GATES TO REMAINED OPEN DURING BUSINESS HOURS.

#### AERIAL MAP



Sheet:  
1-DAB-A1.1



Owner:

Staley Point CAPITAL

STALEY POINT CAPITAL  
11180 SANTA MONICA BLVD, SUITE 700  
LOS ANGELES, CA 90025  
TEL: 310-929-8088

Project:

MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

CIVIL  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE  
FIRE PROTECTION  
SOILS ENGINEER

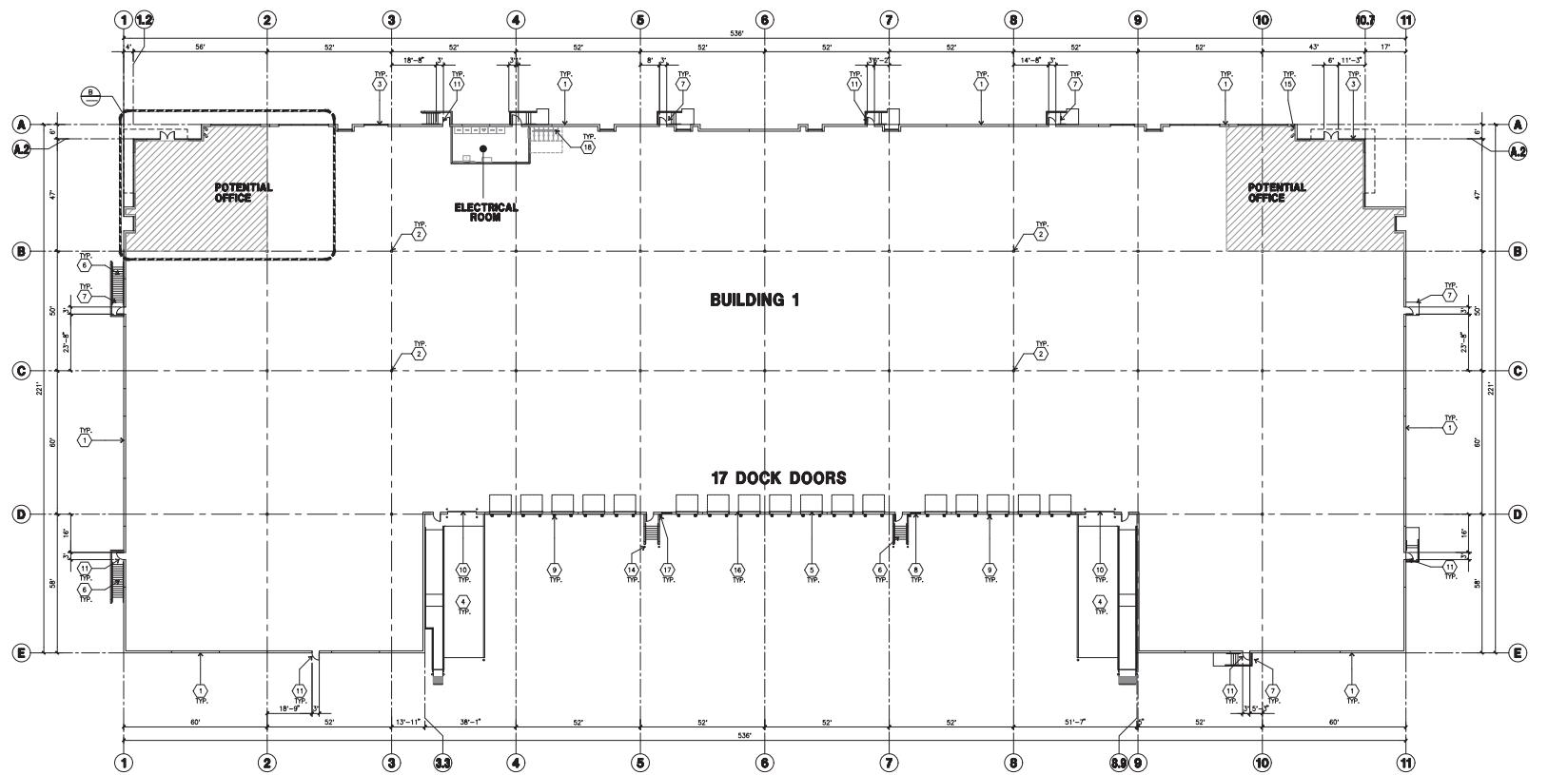
HUNTER

Title: OVERALL FLOOR PLAN

Project Number: 21074  
Drawn by: AW  
Date: 03/28/25  
Revision:

Sheet:

1-DAB-A2.1



#### KEYNOTES - FLOOR PLAN

- 1 CONCRETE TILT-UP PANEL.
- 2 STRUCTURAL STEEL COLUMNS.
- 3 GLAZED DOORS, TYPICAL, WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
- 4 CONCRETE RAMP W/ 4" HIGH CONC TILT-UP GUARD WALL, BLOW-UP AND WALL ON BOTH SIDE OF RAMP.
- 5 8'-0" X 10' TRUCK DOOR, SECTIONAL OH., STANDARD.
- 6 EXTERIOR CONCRETE STAIR.
- 7 TYPICAL AT ALL EXTERIOR MAN DOORS TO LANDSCAPED AREA. PROVIDE 1/2" MIN. CLEARANCE FROM DOOR TO SURFACE. 1/2" X 12" MAX. PROVIDED WALK TO HARD SURFACE FROM EXTERIOR DOORS.
- 8 LOUVERED OPENING FOR VENTILATION.
- 9 DOCK DOOR BUMPER.
- 10 12' X 14' DRIVE THRU, SECTIONAL OH., STANDARD GRADE.
- 11 3'X7' HOLLOW METAL EXTERIOR MAN DOOR.
- 12 SOFFIT LINE ABOVE.
- 13 ROOF HATCH ACCESS LADDER.
- 14 CONC. FILLED GUARD POST, 6" DIA. UNL., 42"
- 15 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- 16 Z GUARD FOR ALL OVERHEAD DOORS.
- 17 EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
- 18 6-SPACE BIKE RACK.

#### GENERAL NOTES-FLOOR PLAN

A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYOR SYSTEMS.

B. FIRE PLUG LOCATIONS MUST BE APPROVED PER FIRE DEPARTMENT.

C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.

D. NOT USED.

E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLOR TO RECEIVE PRIMER ONLY. ALL GYPS. RE. WALLS IN WAREHOUSE TO RECEIVE COAT OF WHITE TO COVER EXTERIOR.

F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDORF EXITS.

G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL.

H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING, ELECTRICAL, AND AIR DUCTS TO BE LOCATED AS SHOWN.

I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET A-4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FRAMED.

J. CONTRACTOR TO PREPARE AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.

K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.

L. HIGH FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED IN STORES OR IN THE BUILDING.

M. EACH EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE SIGN. THE MOUNTING HEIGHT FOR SUCH SIGN SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.

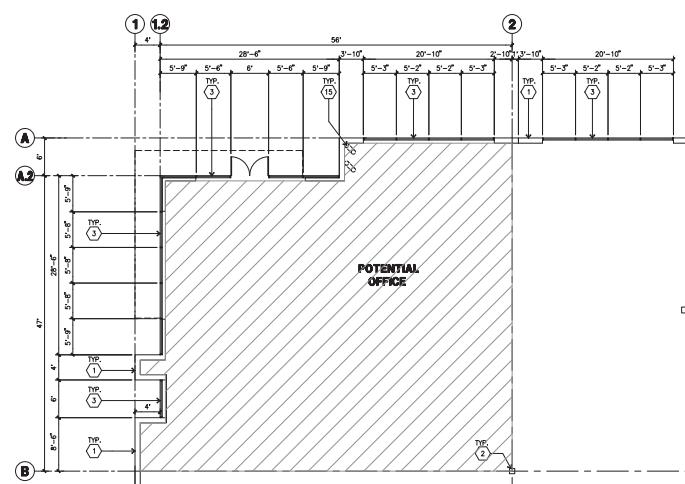
N. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE OF C.R. 1733.1.1

O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW. SEE A/A4, OFFICE SECTION.

#### FLOOR SLAB AND POUR STRIPS REQ.

THESE NOTES ARE VERY MIN. REQUIREMENT.

1. FLOOR COMPACTION - 95%
2. TRENCH COMPACTION - 90%
3. BUILDING FLOOR SLAB.
4. CONTRACTOR TO BUILD FOR CLASS V FLOOR FOR A.C.I. 302-R-96
5. NOT USED.
6. CONCRETE SLAB TO HAVE STEEL FLOOR HARD TROWEL BURNISHED FINISH.
7. FOR SLAB CURING, COORDINATE WITH THE OWNER.
8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
10. SLAB TO BE FT50 FL35 MEASURED WITHIN 24 HOURS.
11. NO FLY ASH IN THE CONCRETE.
12. WHERE  INDICATES PROVIDED VAPOR BARRIER, CONCRETE SLAB OVER 2" SAND OVER 10ML VISQUEEN, OVER 2" SAND, OVER COMPACT SOIL. ENGINEER OR MANUFACTURER'S RECOMMENDATION.
13. SEAL CONCRETE SLAB W/ "LAPIDOTH" SEALER





Owner:



STALEY POINT CAPITAL  
1150 SANTA MONICA BLVD, SUITE 700  
LOS ANGELES, CA 90025  
TEL: 310-929-6088

Project:

MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

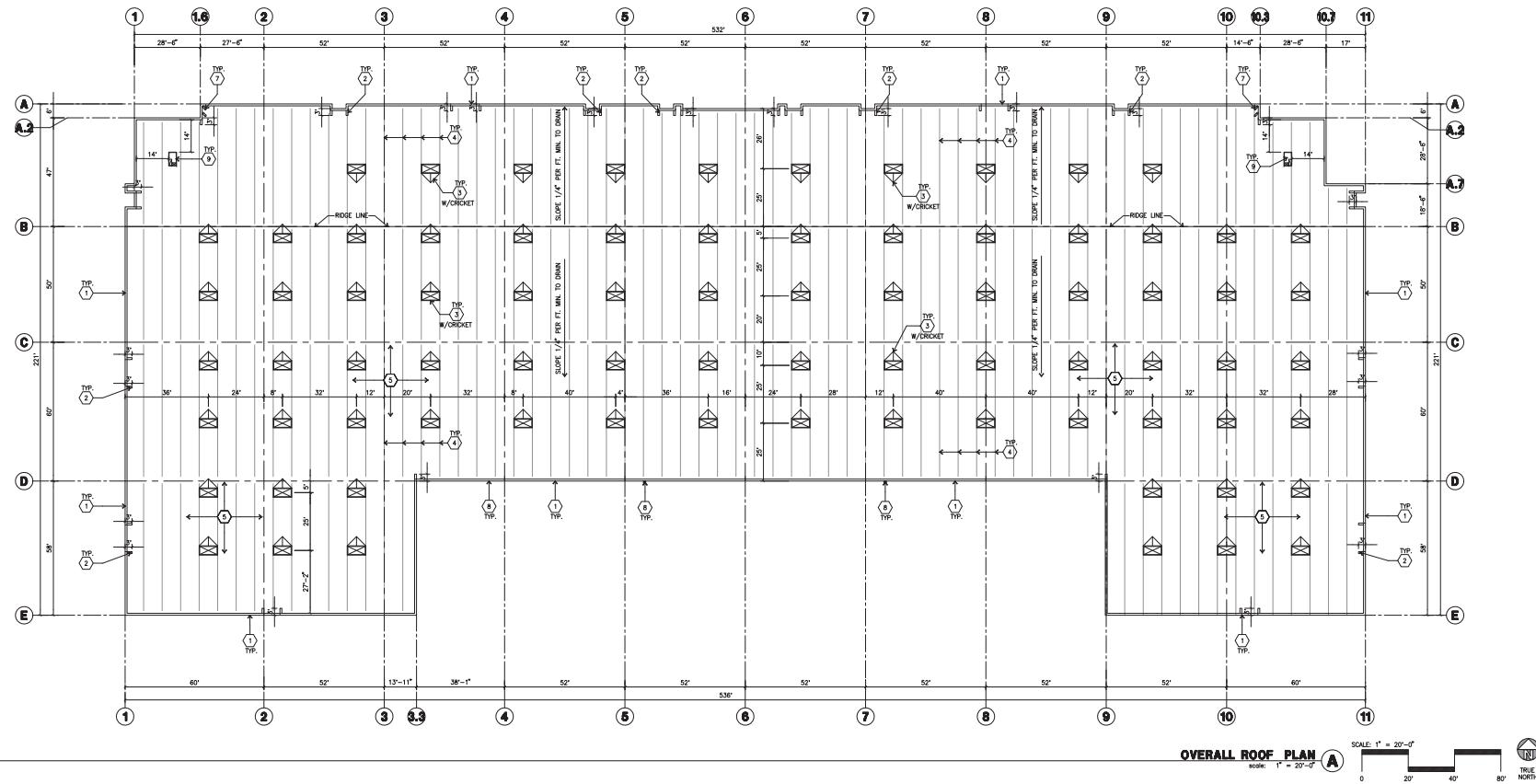
CIVIL  
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MECHANICAL  
PLUMBING  
ELECTRICAL  
FIRE PROTECTION  
LANDSCAPE  
SOILS ENGINEER

TITLE: OVERALL ROOF PLAN

Project Number: 21074  
Drawn by: AW  
Date: 08/01/24  
Revision:

Sheet:

1-DAB-A2.10



#### ROOF PLAN KEYNOTES

- ① CONCRETE PARAPET. SEE "S" DRAWINGS FOR THICKNESS
- ② PARAPET RETURN.
- ③ 4"X6" CURB MOUNTED SKYLIGHT.
- ④ STRUCTURAL JOIST. SEE "S" DRAWINGS.
- ⑤ PROVIDE CERTIFIED 4-1/2" BUILT-UP ROOFING, OVER ROOF SHEATHING OVER ROOF FRAMING. U.N.C. TO YEAR NO. COLOR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
- ⑥ INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
- ⑦ INTERIOR ROOF DRAIN WITH OVERFLOW INTERIOR DRAIN.
- ⑧ EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS
- ⑨ FUTURE ROOF TOP UNIT

#### ROOF PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GROUTLINE, OR FACE OF STUD. (U.N.C.)
- B. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE(1/4" FT.) PRIOR TO ROOF INSULATION.
- C. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINS.
- D. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
- E. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 6, 9, 10/AD.3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
- F. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
- G. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- H. ALL SKYLIGHTS TO BE DESIGNED FOR WIND SPEED DESIGN CRITERIA W/ SMOKE VENTS, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM IN WRITING.
- I. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 6" DIAM. SEE "P" DRAWINGS FOR DETAILS.
- J. PROVIDE SHAPED CRICKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN.).
- K. BUILT UP ROOFING TO BE DESIGNED FOR I-90 AND TO BE A U.L. CLASS A ROOF. FLASHING: GAF TYPE 54B MOVED AP SHEET, U.L. TYPE 63 BUR.
- L. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROVIDED REQUIREMENTS ARE PROJECT REQUIREMENT AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.

#### ROOF LEGEND

	4' x 8' SKYLIGHT SEE DETAIL 5/AD.3
	ROOF HATCH
	FUTURE ROOF TOP UNIT
	BUILDING PARAPET LINE
	EXTERIOR DOWNSPOUT W/ OVERFLOW SCUPPER
	INTERIOR ROOF DRAIN W/ OVERFLOW SCUPPER

#### SKYLIGHT CALCULATION

PROJECT: CLEAR HEIGHT = 32 FT. CLEAR

REQUIRED:

BUILDING FOOTPRINT = 99, 900 S.F. / 93, 900 S.F. WITHOUT OFFICE SKYLIGHT REQUIRED = VOLUME OF 78 SKYLIGHTS = 1, 194, 800 C.F. (VOLUME OF BUILDING / 9, 000 S.F. = 355.2 S.F. X 196 800 C.F. / 9,000 S.F. = 355.2 S.F.) SKYLIGHT REQUIRED = 2.5 % = 2,497.5 S.F. (78 SKYLIGHTS, 32 S.F. EA)

PROVIDED:

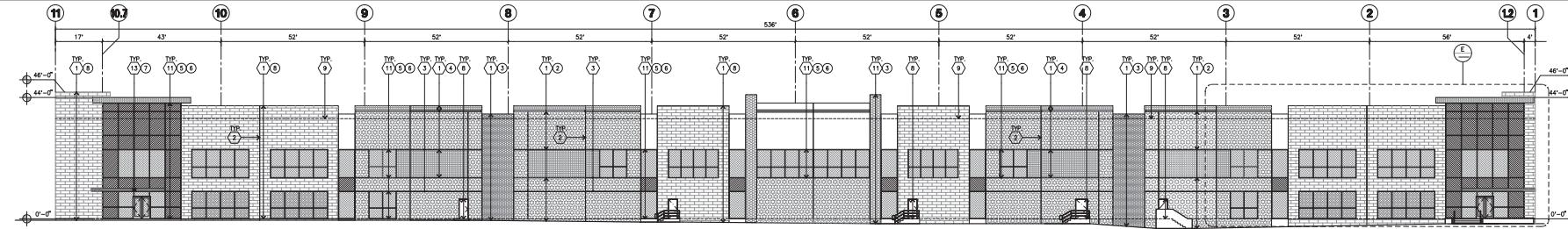
SKYLIGHT PROVIDED = 2.5 % = 2,497.5 S.F. (78 SKYLIGHTS, 32 S.F. EA)

MODEL:

SKYLIGHT MODEL = MANUFACTURED BY BRIESTONE SKYLIGHTING SYSTEM MODEL # T48R-55-C44-A-H51 OR EQUAL

BULGAR BAR MODEL = PROVIDED BULGAR BAR AT ALL SKYLIGHT LOCATION-TYP.

1-DAB-A2.10



NORTH ELEVATION A



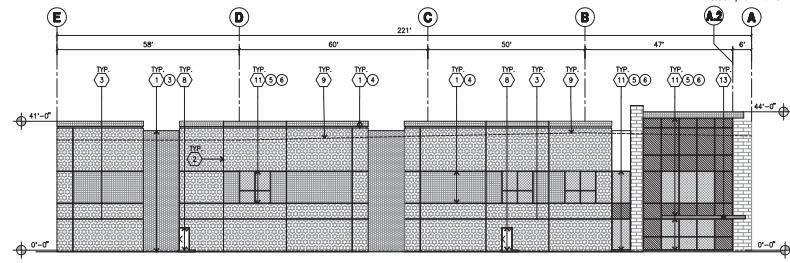
HPA, INC.  
18831 Bardsen Avenue - Ste. #100  
Irvine, CA 92612  
Tel: 949 863 1770  
email: hpa@parcs.com



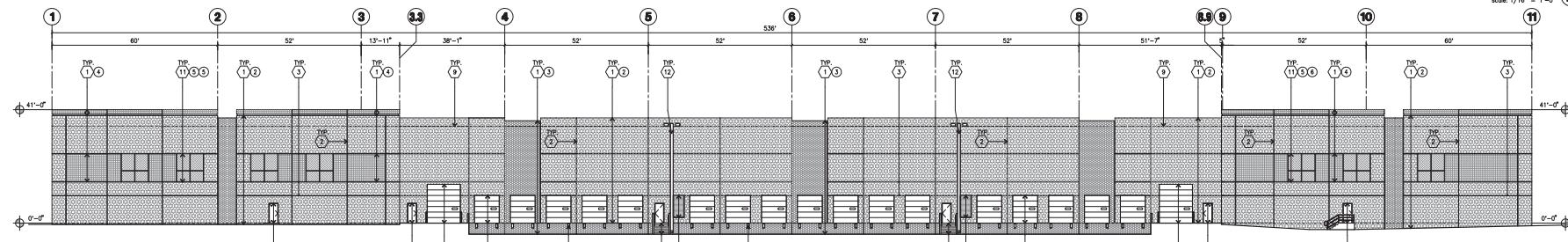
Owner:



STALEY POINT CAPITAL  
11150 SANTA MONICA BLVD, SUITE 700  
LOS ANGELES, CA 90025  
TEL: 310-929-8088



EAST ELEVATION B



SOUTH ELEVATION C

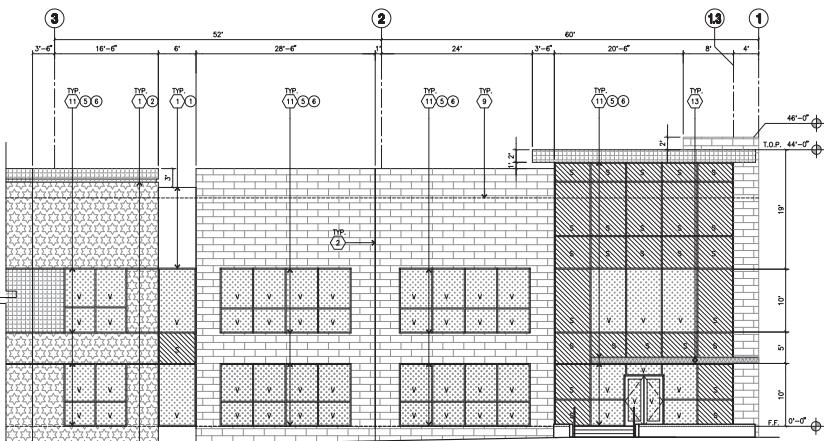
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FIRE PROTECTION  
SOILS ENGINEER

HUNTER

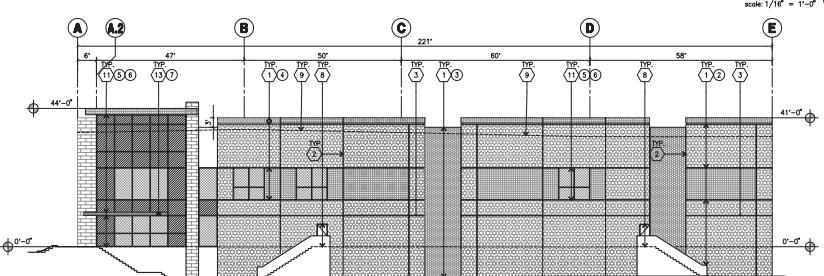
Consultants:

TILOS: ELEVATIONS

Project Number: 21074  
Drawn by: AW  
Date: 08/01/24  
Revision:



ENLARGED NORTH ELEVATION E



WEST ELEVATION D

#### KEYNOTES - ELEVATIONS

- ① CONCRETE TILT-UP PANEL-FRAMED BRICK GRILLE VINES. SEE C- DRAWINGS. WATERPROOF ALL WALLS WHERE GRADE IS HIGHER AND EXPOSED TO THE HEAVY SIDE. WATERPROOFING SHALL BE APPLIED WITH PRE-EMBEDDED ROOFING NAILS. ALL ROOFING NAILS SHALL BE APPLIED IN A DRAUGHT TO CLIMB OR TAKE TO STORM DRAIN AND NOT TO CLIMB AT DOCK HIGH CONDITION OR AT RAFT WALLS.
- ② PANEL JOINT.
- ③ PANEL REVEL. ALL REVELS TO HAVE A MAX. OF 3/8" CHAMFER PROFILE. REVELS TO BE PAINTED IN COLOR U.O. 12X14' OVERHEAD DOOR & DRIVE THRU. PROVIDE 1/2" X 1/2" REVELS TO MATCH DOOR. PAINT COLOR TO MATCH FIELD COLOR. PROVIDE 1/2" X 1/2" REVELS TO MATCH DOOR. PROVIDE COMPLETE WEATHER STRIPPING PROTECTION ALL AROUND.
- ④ CONCRETE STAIR, LANDINGS AND GUARDRAIL BY METAL PIPE HANDELL. PROVIDE METAL PIPE HANDELL TO PROVIDE CONCRETE STAIR, LANDINGS AND GUARDRAIL BY METAL PIPE HANDELL. PROVIDE METAL PIPE HANDELL TO PROVIDE CONCRETE STAIR, LANDINGS AND GUARDRAIL BY METAL PIPE HANDELL.
- ⑤ METAL LOUVER, PAINT COLOR TO MATCH FIELD COLOR.
- ⑥ HOLLOW METAL DOOR. PROVIDE METAL WEATHER STRIPPING ALL AROUND DOOR. PROVIDE METAL WEATHER STRIPPING ALL AROUND DOOR.
- ⑦ ROOF LINE BEYOND.
- ⑧ DOCK BUMPER.
- ⑨ ALUMINUM STOREFRONT FRAMING WITH TEMPERED GLAZING AT ALL DOORS. ISOLATED ADJACENT TO DOORS AND GLAZING.
- ⑩ EXTERIOR DOWNPOT WITH OVERFLOW SCOPERS.
- ⑪ EXTERIOR DRAINS.
- ⑫ STEEL ROOF DRAIN WITH OVERFLOW SCOPERS.
- ⑬ F.F. - FINISH FLOOR ELEVATION.
- ⑭ DOCK BUMPER. PROVIDE METAL ATTACHMENTS AND LATELL. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO CONCRETE DOCK BUMPER. OWNER SHALL APPROVE PRIOR TO PAINTING.
- ⑮ SPINDLE GLAZING. ALLOW SPACE BEHIND SPINDLE TO BREATH. USE SPINDLE GLAZING TO PROVIDE A COOLING EFFECT. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE PAINTED.
- ⑯ EXTERIOR WALL SHALL BE PROVIDED WITH A GRANITE-RESISTANT COATING OR FINISH. EXTERIOR WALL SHALL NOT BE PAINTED ON SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPLIT-FACE BLOCK, DECORATIVE TILE, ETC.).

A

B

C

D

E

A2

B2

C2

D2

E2

GENERAL NOTES - ELEVATIONS

A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED.

B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.

C. EXTERIOR DRAINS ARE TO BE PROVIDED.

D. F.F. - FINISH FLOOR ELEVATION.

E. DOCK BUMPER. PROVIDE METAL ATTACHMENTS AND LATELL.

F. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO INSTALLATION.

G. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO CONCRETE DOCK BUMPER. OWNER SHALL APPROVE PRIOR TO PAINTING.

H. BACK SIDE OF PANELS TO HAVE SMOOTH FINISH AND BE PAINTED WITH EXTERIOR PAINT.

I. FOR SPINDLE GLAZING, ALLOW SPACE BEHIND SPINDLE TO BREATH.

J. USE SPINDLE GLAZING TO PROVIDE A COOLING EFFECT.

K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE PAINTED.

L. EXTERIOR WALL SHALL BE PROVIDED WITH A GRANITE-RESISTANT COATING OR FINISH. EXTERIOR WALL SHALL NOT BE PAINTED ON SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPLIT-FACE BLOCK, DECORATIVE TILE, ETC.).

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## KEYPLAN

(PUBLIC RIGHT - OF - WAY)

N89°17'00"E 659.86' (659.85')

432.23'

This detailed architectural site plan illustrates a public right-of-way (ROW) project, likely for a bridge or overpass. The plan is bounded by a dashed black line and features a grid system for dimensions. Key dimensions include a total width of 432.23' (659.85') and a total length of 406.4'. The plan shows various construction details, including a central concrete structure with a height of 11', and a foundation area with a height of 11'. A red dashed line highlights a specific section of the structure, and a blue dashed line indicates a different path or boundary. The plan is annotated with labels A through H, each accompanied by a circular arrow symbol and the text '1-06-M1'. Specific coordinates are marked: N89°17'00"E 659.86' (659.85') and N002°05'59"E 301.30'. The plan also includes a north arrow and a scale bar.

## KEY NOTES

-  ① A) 4'H CMU BLOCK WALL WITH CAP
-  ② B) 6'H CMU BLOCK WALL WITH CAP (PLASTIC)
-  ③ C) PAINTED BLACK 2'H TUBULAR STEEL FENCE
-  ④ D) PAINTED BLACK 6'H METAL SLIDING GATES
-  ⑤ E) PAINTED BLACK 6'H TUBULAR STEEL FENCE
-  ⑥ F) 6'H CMU BLOCK

HPA, INC.  
18831 Bardeen Avenue - ste.  
#100 Irvine, CA 92612

Tel: 949 863 1770  
email: hpa@hparchs.com

#### COLOR LEGEND

SPLIT FACE LIGHT  
CMU BLOCK WALL  
WITH CAP



(1)



Owner:

Staley Point  
CAPITAL

STALEY POINT CAPITAL  
11150 SANTA MONICA BLVD. SUITE 700  
LOS ANGELES, CA 90025  
TEL: 310-429-8088

■ Project:

MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE  
FIRE PROTECTION  
HUNTER

**Title: KEYPIAN SCREENWALL**

Project Number: 21074  
Drawn by: AW  
Date: 04/11/25

She

1-DAB-A4.0



Owner:

Staley Point CAPITAL

STALEY POINT CAPITAL  
11150 SANTA MONICA BLVD, SUITE 700  
LOS ANGELES, CA 90025  
TEL: 310-929-8088

Project:

MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

CIVIL  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE  
FIRE PROTECTION  
SOILS ENGINEER

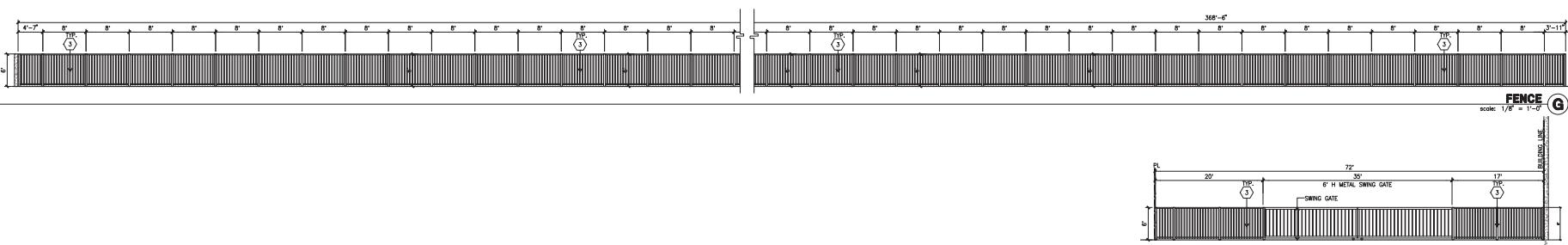
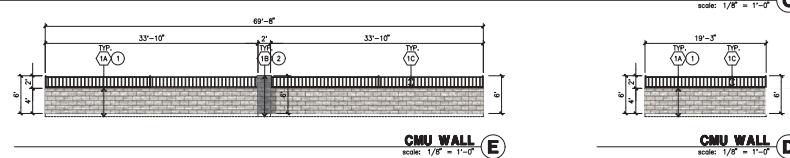
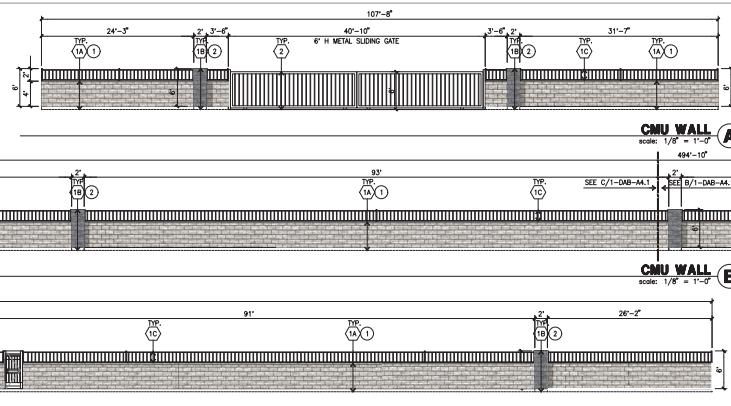
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FENCE ELEVATIONS

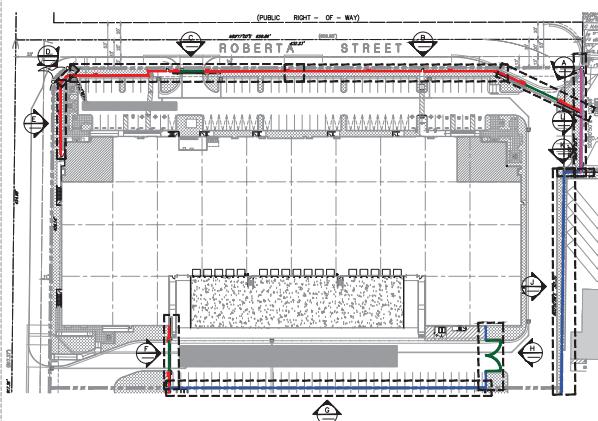
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Drawn by: AW  
Date: 04/11/25  
Revision:

Sheet:

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## KEYPLAN

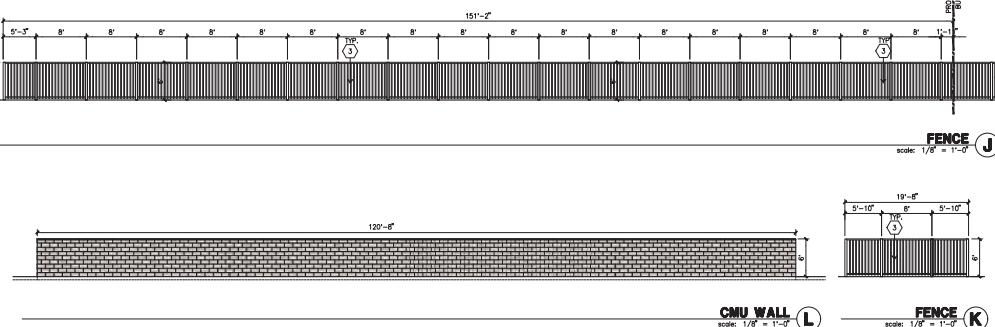


### KEY NOTES

- ① A) 41" CMU BLOCK WALL WITH CAP
- ② B) 61" CMU BLOCK WALL WITH CAP (PLASTER)
- ③ C) PAINTED BLACK 21" TUBULAR STEEL FENCE
- ④ D) PAINTED BLACK 6'H METAL SLIDING GATES
- ⑤ E) PAINTED BLACK 6'H TUBULAR STEEL FENCE
- ⑥ F) 6'H CMU BLOCK

### COLOR LEGEND

- ① SPLIT FACE LIGHT  
CMU BLOCK WALL  
WITH 24"
- ② SMOOTH DARK GRAY  
CMU BLOCK WALL



CMU WALL L  
scale: 1/8" = 1'-0"

FENCE K  
scale: 1/8" = 1'-0"



Owner:

 Staley Point CAPITAL

STALEY POINT CAPITAL  
1150 SANTA MONICA BLVD, SUITE 700  
LOS ANGELES, CA 90025  
TEL: 310-929-0088

Project:

MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

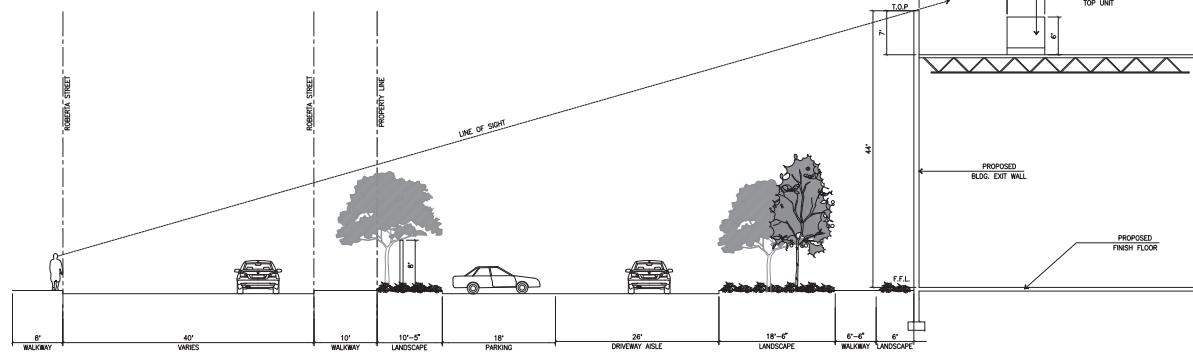
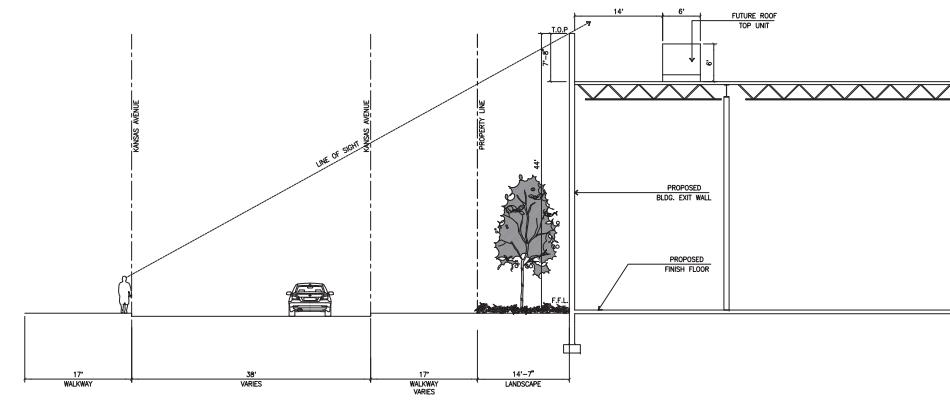
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MECHANICAL  
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LANDSCAPE  
FIRE PROTECTION  
SOILS ENGINEER  
HUNTER

Title: SECTION SIGHT LINE STUDY

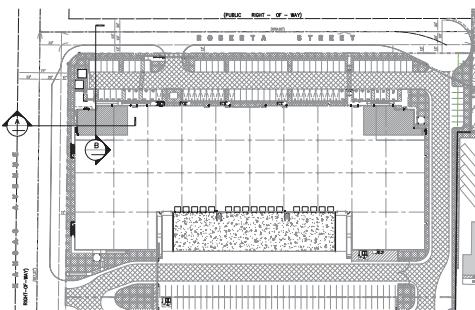
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Date: 08/01/24  
Revision:

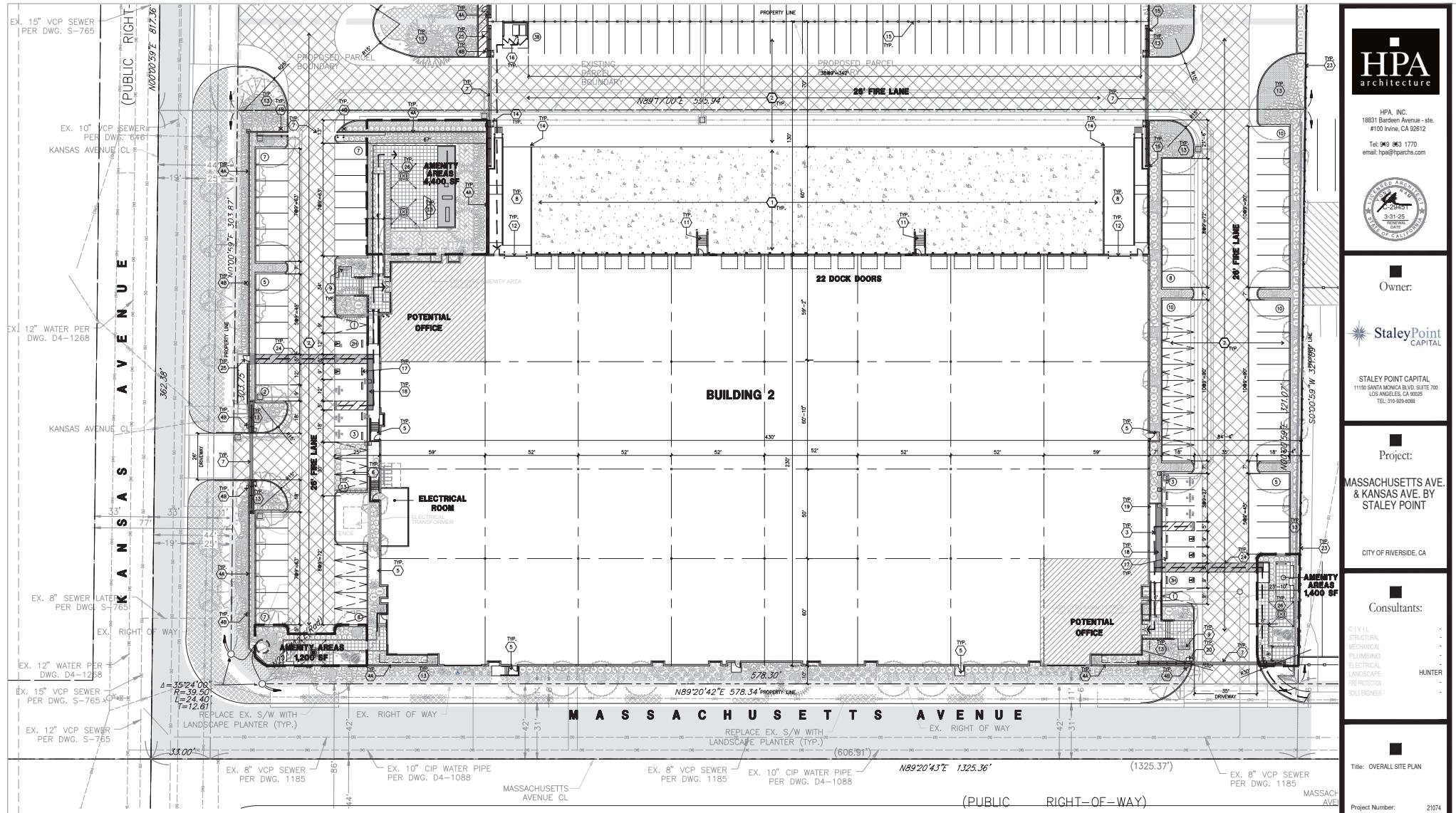
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KEYPLAN





## **SITE PLAN KEYNOTES**

1) HEAVY BROWN FLOOR CONCRETE PAVING.  
ASPHALT CONCRETE (AC) PAVING.

3) CONCRETE WALKWAY, BROWN BRUSH.

4) 4'X12' CMU BLOCK WALL WITH CAP +  
ANCHORS, BROWN BRUSH. 10' HIGHEST ON THE TOP  
5) 4'X12' CMU BLOCK WALL WITH CAP (PLASTERED)  
ANCHORS, BROWN BRUSH. 10' HIGHEST ON THE TOP

2'-4"X2'-4"X4" THICK CONCRETE EXTERIOR  
LANDING, BROWN BRUSH.

PAD, AT THE EXTERIOR MAN DOOR, 10' X 12' X 4",  
BROWN BRUSH.

WALKWAY TO PUBLIC WAY OR DRIVE WAY AS RECD.  
BY CITY PLANNING DEPT. BROWN BRUSH.

TRANSFORMERS FOR ELECTRICAL DRAWINGS AND SERVICE

6'-0" HIGH METAL SLIDING GATES W/ KNOB-BOX PER  
DRAWINGS. 10' HIGHEST ON THE TOP. CONTRACTOR  
TO DESIGN & DETAIL GATES. DRAWINGS AND CALCULATIONS  
FOR GATES. OPENING, CROOK FOR CONDUIT FOR  
OPENING, OPENING DURING OFFICE HOURS.

CONCRETE RAMP.

5'-8" BRICK BENCH.

10' FIRE HYDRANT W/ CNG. FILLED STEEL GUARD POST.

11) EXTERIOR CONCRETE STAIR.

12) 12'W X 14'H OVERHEAD DOOR @ DRIVE THRU.

ALL 14' LANDSCAPE INDICATED BY SHADING.

14) CONG. FILLED GUARD POST @ 8' DIA. UNQ. 2" H.

6'x12" TUBULAR STEEL FENCE.

16) TRASH ENCLOSURE, REFER TO AD7.

17) PRE-CAST CONC. WHEEL STOP.

18) TRUNCATED CONE.

19) LANDSCAPE TRIM.

FUTURE MONUMENT SIGN.

ACCESSIBLE ENTRY SIGN.

ACCESSIBLE PARKING STALL SIGN.

6'x12" TUBULAR STEEL FENCE AT PROPERTY PERIMETER,  
OFFSET @ 6' FROM THE PROPERTY LINE.

14) CONCRETE RENDER TO LANDSCAPE DRAWINGS.

15) 6'x12" TUBE STEEL MAN. GATE.

COVERED BREAK AREA.

## **SITE PLAN GENERAL NOTES**

1. ALL LIGHTING SHALL CONFORM WITH MUNICIPAL STANDARDS.
2. SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB, OR CENTER LINE OF CONCRETE CURB.
4. REFER TO CIV. PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AC-1 ARE MINIMUM STANDARDS.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH NO TEMPORARY CONSTRUCTION MATERIALS.
6. REFER TO CIV. PLANS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAWDRAWS FROM BLDG. ALIGN. TO CIV. DRAWINGS. DIMENSIONS ARE TO THE DRAWN ALIGN. ALL STANDEDRAWN CONTROL DIMENSIONS ARE FOR REFERENCE AND ARE NOT STANDEDRAWN LAYOUT POINTS.
9. REFER TO CIV. DRAWINGS FOR FINISH GRADE ELEVATIONS.
10. CONCRETE SEDIMENTALS SHALL BE A MINIMUM OF 4" THICK W/ TOJED TOLLS AT 6' O.D. EXPANSION/CONCRETE JOINTS SHALL BE A MAXIMUM 12' EA. EXPANSION JOINTS ARE TO BE COMPLETED WITH FIBER FILLED MATERIAL OF 1/4", FINISH TO BE A MEDIUM BROWN FINISH.
11. ALL SIGNAGE SHALL CONFORM WITH THE MUNICIPAL STANDARD.
12. PANT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
13. OWNER'S REQUIREMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
14. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL PROVIDE A COPY OF THE LANDSCAPE AND IRRIGATION DESIGN DOCUMENT. SITE PLAN SHALL MEET ALL ENGINEERING AND CODE REQUIREMENTS.
15. ALL LANDSCAPE AND IRRIGATION DESIGN SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUEDLICH OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
17. WALLS SHALL BE TREATED WITH A GRAFT-PRO<sup>TM</sup> COATING ON SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPLAT-FACE BLOCK WALL, CONCRETE, STONE, BRICK, AND OTHER MATERIALS).
18. ALL VERTICAL MOUNTING POLES FOR CHAIN LINK FENCING SHALL BE CAPPED.
19. LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCHES (6") HIGH CURB.

## **SITE PLAN GENERAL NOTES**

Legend for site plan symbols and text labels:

- CONCRETE PAVING - RE: CIVIL DRAWINGS THICKNESS
- STANDARD PARKING STALL 9'X18"
- ACCESSIBLE PARKING STALL 9'X18" + 5' W ACCESSIBLE AISLE
- VAN ACCESSIBLE 12'X18" + 5' W ACCESSIBLE AISLE
- FUTURE EV CHARGING STATION 9' X 18"
- LIGHTING FIXTURE
- 20' X 20' LINE PROVIDE RED CURBS AND SIGNAGE
- LANDSCAPE
- PROPERTY LINE
- ACCESSIBILITY PATH OF TRAVEL

NOTES:  
1.DECORATIVE Hardscape Finish is proposed when internal walkways cross driveways, parking areas, or loading areas.  
2.Gates to remained open during business hours

## AERIAL MAP



2-DAB-A1.1



Owner:

**Staley Point CAPITAL**

STALEY POINT CAPITAL  
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LOS ANGELES, CA 90025  
TEL: 310-929-8088

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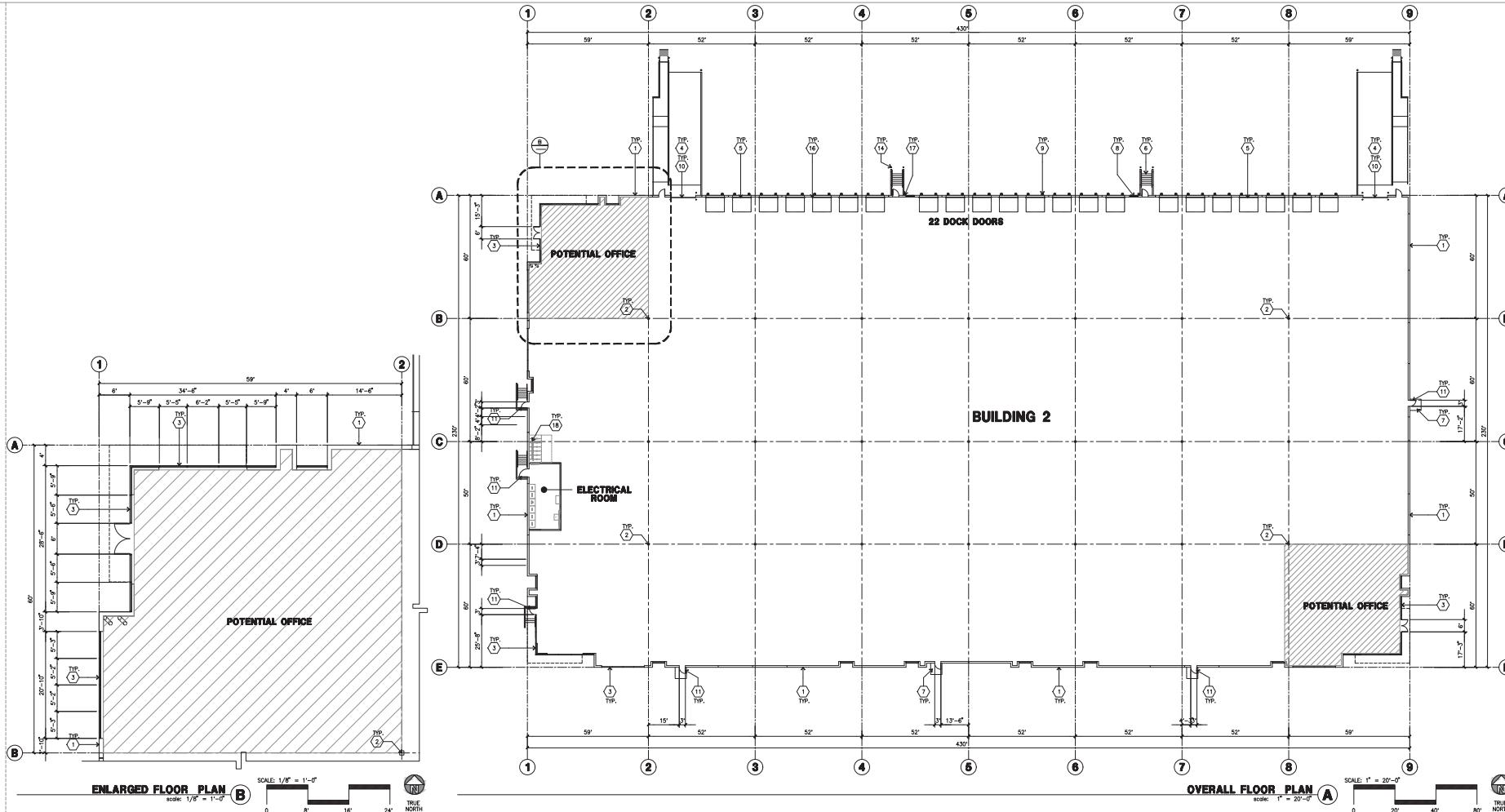
MASSACHUSETTS AVE.  
& KANSAS AVE. BY  
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

CIVIL  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE  
FIRE PROTECTION  
SOILS ENGINEER

HUNTER



#### KEYNOTES - FLOOR PLAN

- ① CONCRETE TILT-UP PANEL
- ② STRUCTURAL STEEL COLUMN
- ③ TYPICAL STOREFRONT SYSTEM WITH GLAZING, SEE OFFICE ELEVATION FOR DETAILS. USE FOR SIDE COLOR PAD LOCATIONS.
- ④ CONCRETE RAMP W/ 42" HIGH CONG TILT-UP GUARD WALL
- ⑤ BLOW-UP WALL ON BOTH SIDE OF RAMP.
- ⑥ 9'-0" x 10' TRUCK DOOR, SECTIONAL OHL, STANDARD GRADE.
- ⑦ EXTERIOR CONCRETE STAR
- ⑧ 8'-0" x 8'-0" CONCRETE EXTERIOR LINING PAD FINISH TO BE MEDIUM BLOOM FINISH, SLOPE TO BE 1/4" PER SIDE, EXTERIOR BALA TO HARD SURFACE PER CITY REQUIREMENTS.
- ⑨ LOUVERED OPENING FOR VENTILATION.
- ⑩ DOCK DOOR BUMPER
- ⑪ 12' X 14' DRIVE THRU, SECTIONAL OHL, STANDARD GRADE.
- ⑫ SOFTLINE ABOVE
- ⑬ ROOF HATCH ACCESS LADDER
- ⑭ CONC. ROOF GUARD POST, 6" DIA U.H.O., 42" H
- ⑮ INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- ⑯ G GUARD FOR ALL OVERHEAD DOORS
- ⑰ EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS
- ⑲ 6-SPACE BIKE PARK

#### GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH ROLL STORAGE WITH FIRE ACC. MAN DOORS AT TOP MAXIMUM ONLY. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVERTER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE APPROVED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FLOOR SURFACE ELEVATIONS.
- D. NOT USED.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. CONCRETE EXTERIOR CONCRETE WALLS ARE PAINTED WHITE, OIL CURE, ALL CURE, 100% SOLID. WALLS IN WAREHOUSE TO BE COAT OF WHITE COLOR.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXIT.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GROUTING OR FACE OF STEEL U.H.O.
- H. CONTRACTOR TO PROVIDE ALL CONDUIT CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS: PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR DOOR SCHEDULE SEE METAL SHEET AD-A. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FRESH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN, ALL CONCRETE TO BE DIAPESED INCLUDING CARS AND TRUCKS. K. ALL EXIT MAN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN. (X)
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN BUILDING.
- M. EXTERIOR DOOR GUARD PANELS BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE TACTILE EXIT SIGN SHALL BE 6' FROM FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR, PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 113.8.1.1.1
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/A-1 OFFICE SECTION.

#### FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT.
- 1. FLOOR COMPACTOR - 95%
- 2. TRENCH COMPACTOR - 100%
- 3. BUILDING FLOOR SLAB
- 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR FOR ACJ. J02-IR-96
- 5. NOT USED
- 6. CONCRETE SLAB TO HAVE STEEL FLOAT HAND TROWEL, BURNISHED FINISH.
- 7. FOR SLAB CURING, COORDINATE WITH THE OWNER.
- 8. NO CRANES, CONCRETE TRUCKS OR CONCRETE BEAMER WILL BE PLACED ON THE SLAB.
- 9. SLAB TO BE FTSO FLJS MEASURED WITHIN 24 HOURS.
- 10. NO FLY ASH IN THE CONCRETE
- 11. WHERE (X) INDICATED, PROVIDE VAPOR BARRIER, CONCRETE SLAB OVER 2" SAND FILLER, TOME, 1/2" OVER 2" SAND, OIL COMPACT SOIL, ENRICHED OR MANUFACTURED RECOMMENDED.
- 12. CONCRETE SLAB IN FUTURE OFFICE AREAS, WHERE SAND OVER VAPOR BARRIER ARE REQUIRED, SHALL BE NATURALLY HYDRATED WITHOUT USE OF BURLINE, CURING COMPOUND, OR RELEASE AGENT.
- 13. CONCRETE JOINTS SHALL NOT BE FILLED WITH MM-80 JOINT FILLER IN FUTURE OFFICE AREAS.
- 14. SEAL CONCRETE SLAB W/ "LAPOLITH" SEALER

Title: OVERALL FLOOR PLAN

Project Number: 21074

Drawn by: AW

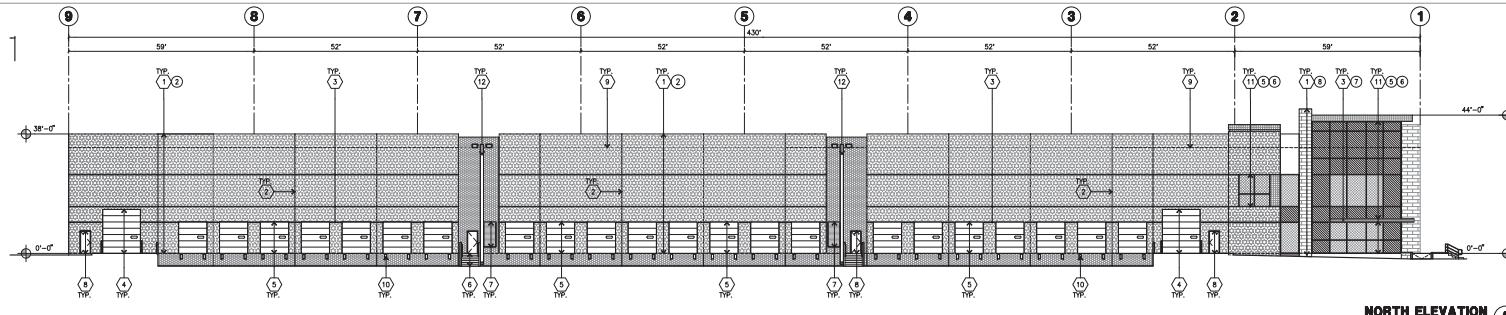
Date: 03/28/25

Revision:

Sheet:

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—  
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CITY OF RIVERSIDE, CA

### Consultants:

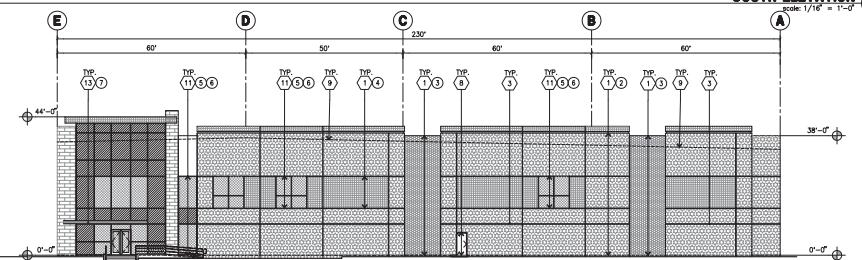
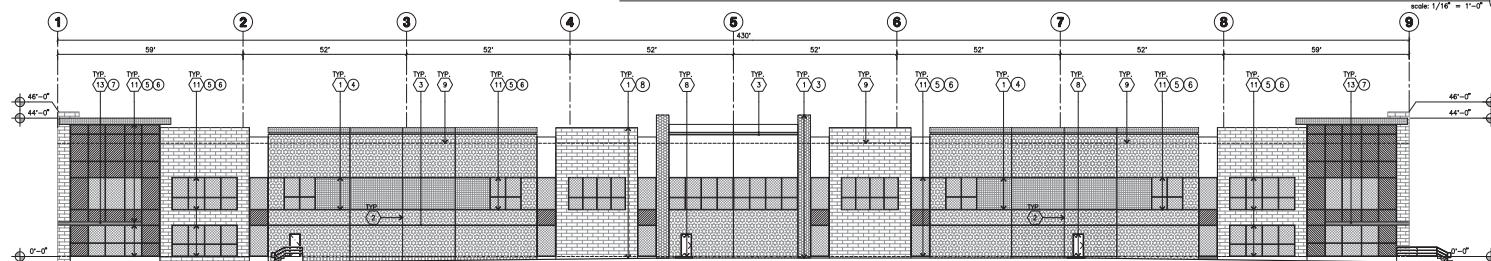
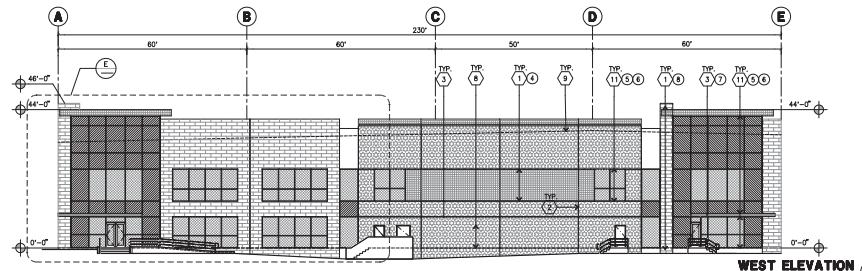
CIVIL  
STRUCTURAL  
MECHANICAL  
LUMBERING  
ELECTRICAL  
LANDSCAPE

Title: ELEVATIONS

Project Number: 21074  
Drawn by: AW  
Date: 08/01/24

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## 2-DAB-A3.1



## KEYNOTES - ELEVATIONS

#### GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR IN INEDED CORNERS UNLESS NOTED
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. EL. TOP OF PAINTING
- D. T.O.F. TOP OF FLOOR ELEVATION
- E. STOREFRONT CONSTRUCTION GLASS, METAL ATTACHMENTS AND LUMPS.
- F. CONTRACTOR SHALL SUMIT SHOP DRAWINGS PRIOR TO COMMENCEMENT.
- G. COLOR, DECORATIVE, AND FINISHES SHALL APPROVE PRIOR TO PAINTING COMMENCEMENT.
- H. BACK SIDE OF GLAZING MUST BE SMOOTH AND PAINTED WITH DULUX PAINT.
- I. FOR SPANDEREL GLAZING, ALLOW SPACE BEHIND SPANDEREL TO BREATH.
- J. FOR SPANDEREL GLAZING, ALLOW 1/4" AIR GAP.
- K. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE SPRAYED - ON.
- L. EXTERIOR SURFACES SHALL BE PROVIDED WITH A GRANITE-RESISTANT COATING OR PAINT TO A HEIGHT OF 12" FOR BUILDING OR STRUCTURE SURFACES THAT ARE TO BE EXPOSED TO THE ELEMENTS AND ARE TO BE PAINTED (E.G. SPOT-FACE BLOCK, DECORATIVE STONE, ETC.).

## COLOR SCHED. - ELEVATIONS

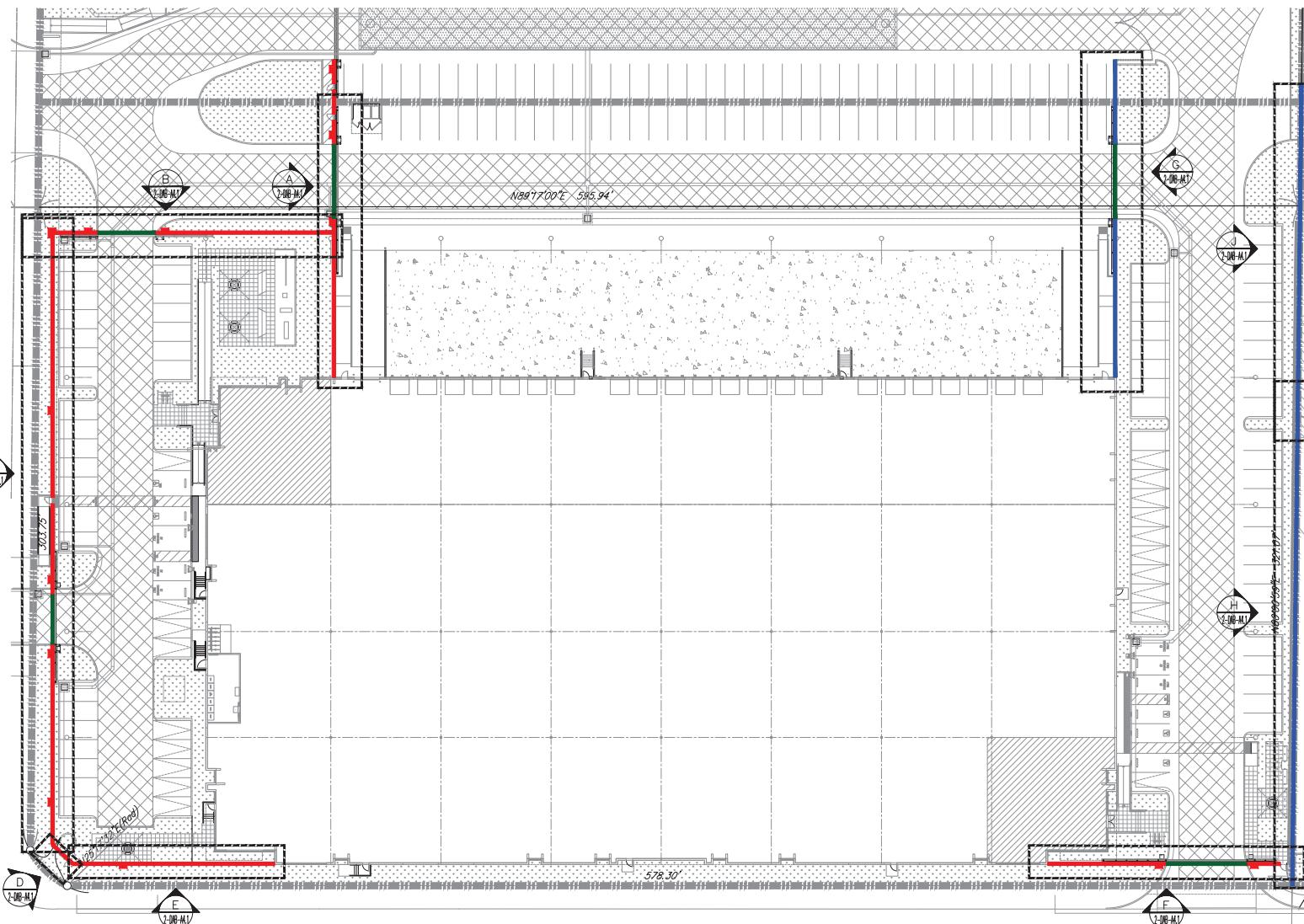
- 1 CONCRETE TILT-UP PANEL, PAINT BRAND: SHERWIN-WILLIAMS SW7005 PURE WHITE
- 2 CONCRETE TILT-UP PANEL, PAINT BRAND: SHERWIN-WILLIAMS SW7043 WORLDLY GRAY
- 3 CONCRETE TILT-UP PANEL, PAINT BRAND: SHERWIN-WILLIAMS SW7045 INTELLECTUAL OR
- 4 CONCRETE TILT-UP PANEL, PAINT BRAND: SHERWIN-WILLIAMS SW7042 SIMPLICITY
- 5 MILLIONS COLOR: SHERWIN-WILLIAMS SW7027 CYBERSPACE
- 6 GLAZING COLOR: BLUE REFLECTIVE GLAZING
- 7 METAL CANOPY SHERWIN-WILLIAMS ACRYLIC LATEX SYSTEM PAINT BRAND: SHERWIN-WILLIAMS PERFORMANCE SW5242 COMM
- 8 CORONADO STONE COLOR: LA JULIA BLUENO
- 9 SIZE: 2 1/2" X 8"

## GLAZING LEGEND

 TEMPERED SPANDREL GLASS	 TEMPERED VISION INSULATED GLASS PPG: VISTACOOL, (2) PACIFICA + SOLARBAN SOLARBAN 40 (3) CLEAR U VALUE: 0.27, SHGC: 0.21 AND VLT: 26% 1" INSULATED GLASS WTH 1/2" AIRSPACE AND (2) 1/4" LITES.
---	--

**ENLARGED WEST ELEVATION**

## KEYPLAN



### KEY NOTES

- ① A) 4' H CMU BLOCK WALL WITH CAP
- ② B) 6' H CMU BLOCK WALL WITH CAP (PLASTER)
- ③ C) PAINTED BLACK 2' H TUBULAR STEEL FENCE
- ④ D) PAINTED BLACK 6' H METAL SLIDING GATES
- ⑤ E) PAINTED BLACK 6' H TUBULAR STEEL FENCE

### COLOR LEGEND

- ① SPLIT FACE LIGHT CMU BLOCK WALL
- ② SMOOTH DARK GRAY CMU BLOCK WALL
- ③ SMOOTH DARK GRAY CMU BLOCK WALL



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CIVIL  
STRUCTURAL  
MECHANICAL  
PLUMBING  
ELECTRICAL  
LANDSCAPE  
FIRE PROTECTION  
SOILS ENGINEER

HUNTER

Title: KEYPLAN SCREENWALL

Project Number: 21074

Drawn by: AW

Date: 04/11/25

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