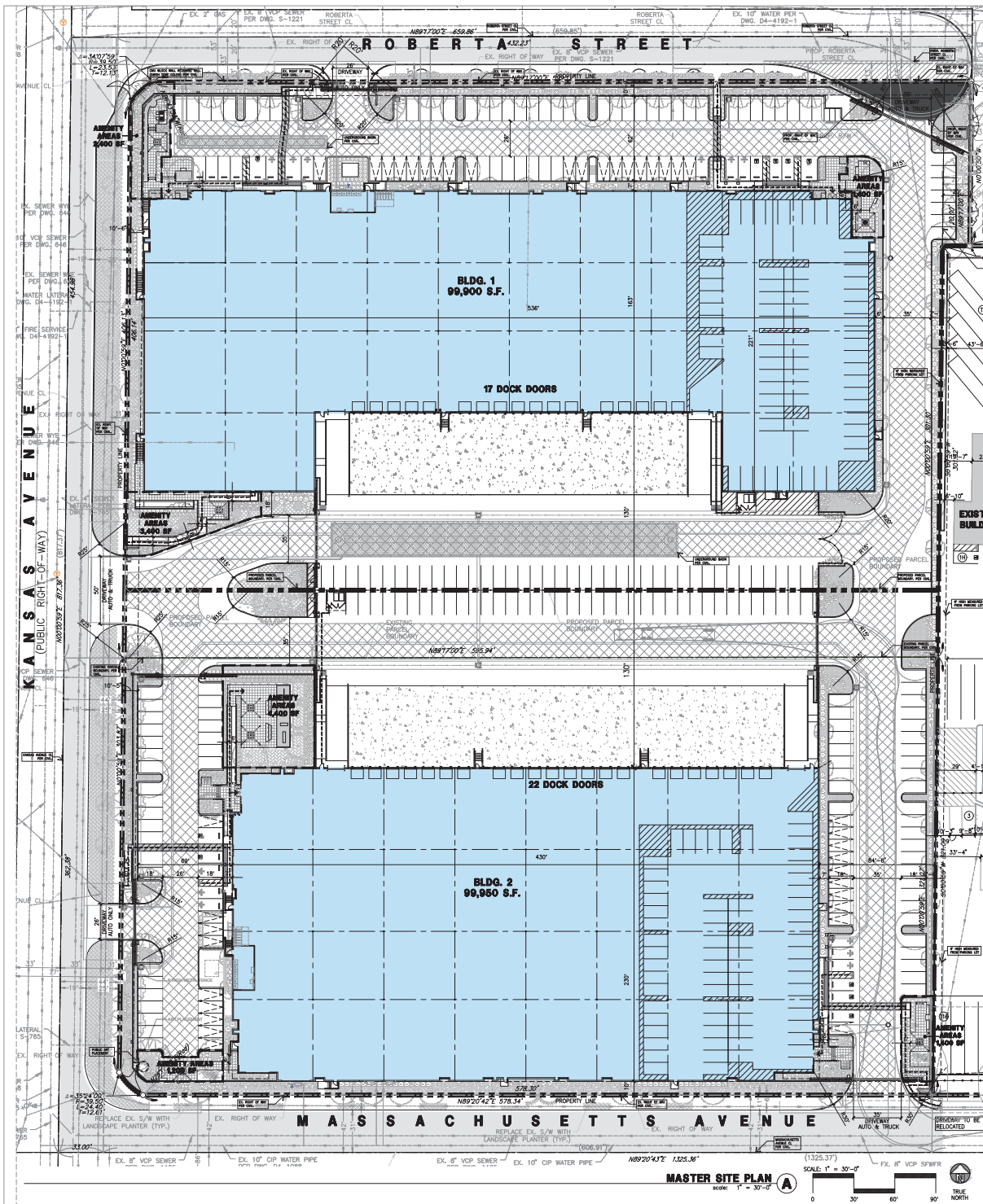




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PROPERTY OWNER

STALEY POINT CAPITAL
MIKE KANG
11150 SANTA MONICA BLVD., SUITE 700
LOS ANGELES, CA 90025
CONTACT: 310-929-5097
FAX: 310-929-5230
EMAIL: MIKE@STALEYPOINT.COM

ADDRESS OF THE PROPERTY

2626 KANSAS AVENUE, 1989 AND 2089 MASSACHUSETTS AVENUE,
RIVERSIDE, CA 92507

ASSESSOR'S PARCEL NUMBER

210-130-015-1, 210-130-016-2

ZONING

INDUSTRIAL (I)

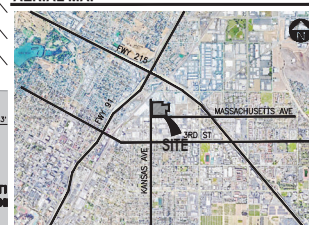
APPLICANT

STALEY POINT CAPITAL
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SUITE 700
LOS ANGELES, CA 90025
CONTACT: 310-929-5097
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APPLICANT'S REPRESENTATIVE

HPA, INC.
18831 BARDEEN AVE., SUITE 100
IRVINE, CA 92614
CONTACT: ANDY RIVANTO
TEL: 949-862-2161

AERIAL MAP



AMENITY AREAS CALC.

BUILDING 1
AREA A = 2,400 SF
AREA B = 1,400 SF
AREA C = 3,400 SF
TOTAL = 7,200 SF

BUILDING 2
AREA A = 4,400 SF
AREA B = 1,200 SF
AREA C = 1,400 SF
TOTAL = 7,000 SF

PROJECT DATA

ITEM	NO.	BLDG.	TOTAL
1.1.1	1	1.00	12.21
1.1.2	1	1.00	12.21
1.1.3	1	1.00	12.21
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1.1.5	1	1.00	12.21
1.1.6	1	1.00	12.21
1.1.7	1	1.00	12.21
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1.1.99	1	1.00	12.21
1.1.100	1	1.00	12.21

LEGAL DESCRIPTION

PARCEL 1: (APN: 210-130-015-1)

ALL THAT CERTAIN PORTION OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 5 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, ACCORDING TO THE OFFICIAL PLAT THEREOF, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 24; THENCE ALONG THE WESTERLY LINE OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 24, TO THE CENTERLINE OF ROBERTA STREET; THENCE EAST 817.37 FEET TO THE CENTERLINE OF ROBERTA STREET AS SHOWN BY A MAP OF RECORD OF SURVEY ON FILE IN BOOK 73, PAGE 17 OF RECORDS OF SURVEY, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA; THENCE ALONG SAID CENTERLINE OF ROBERTA STREET NORTH 89° 17' 00" EAST 659.86 FEET; THENCE SOUTH 0° 00' 50" EAST 30.00 FEET MORE OR LESS, TO THE NORTHEAST CORNER OF LOT II OF THE MARIE TRACT AS SHOWN BY THE ABOVE-MENTIONED RECORD OF SURVEY, SAID POINT BEING THE TRUE POINT OF BEGINNING; THENCE ALONG THE EASTERLY LINE OF SAID LOT II, SOUTH 0° 00' 50" EAST 133.65 FEET TO THE SOUTHEAST CORNER THEREOF, SAID SOUTHEAST CORNER BEING THE SOUTHWEST CORNER OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 24, AS SHOWN BY ABOVE-MENTIONED RECORD OF SURVEY; THENCE SOUTH 89° 17' 00" WEST 20.00 FEET; THENCE SOUTH 0° 00' 50" WEST 30.32 FEET; THENCE SOUTH 89° 17' 00" WEST 606.92 FEET, MORE OR LESS TO A POINT 33 FEET EASTERLY OF THE WESTERLY LINE OF SAID NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF THE NORTHWEST 1/4 OF SAID SECTION 24; THENCE NORTH 89° 17' 00" EAST 454.87 FEET TO THE NORTHWEST CORNER OF LOT I OF SAID MARIE TRACT; THENCE NORTH 89° 17' 00" EAST ALONG THE NORTHERLY LINE OF LOTS 1 AND 4 THROUGH 11 OF SAID MARIE TRACT, 626.85 FEET, MORE OR LESS, TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THAT PORTION GRANTED TO THE CITY OF RIVERSIDE, A MUNICIPAL CORPORATION, BY DOCUMENT RECORDED AUGUST 12, 1983 AS INSTRUMENT NO. 1983-164247 OF OFFICIAL RECORDS.
SAID LEGAL DESCRIPTION IS PURSUANT TO UNRECORDED PARCEL MAP WAIVER 16-434 AS DISCLOSED BY DOCUMENT RECORDED SEPTEMBER 16, 1986 AS INSTRUMENT NO. 1986-22535 OF OFFICIAL RECORDS.

PARCEL 2: (APN: 210-130-016-2)

ALL THAT CERTAIN PORTION OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 24, TOWNSHIP 2 SOUTH, RANGE 5 WEST, SAN BERNARDINO MERIDIAN, IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:
BEGINNING AT THE SOUTHWEST CORNER OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 24; THENCE ALONG THE SOUTHERLY LINE OF SAID NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 24, TO THE MOST SOUTHWEST CORNER OF SAID PARCEL 1, SAID CORNER ALSO BEING THE TRUE POINT OF BEGINNING; THENCE SOUTHERLY ALONG THE SOUTHERLY LINE OF THE WEST LINE OF SAID PARCEL 1, SAID SOUTH PROLONGATION ALSO BEING THE MOST WEST LINE OF PARCEL 2 OF THAT CERTAIN PARCEL OF LAND CONVEYED TO H.K. MARVIN, ET AL. BY DEED RECORDED JULY 3, 1979 AS INSTRUMENT NO. 1979-13980 OF OFFICIAL RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, A DISTANCE OF 284.00 FEET TO THE MOST SOUTHWEST CORNER OF LAST SAID PARCEL 2; THENCE NORTH 89° 17' 00" EAST ALONG THE SOUTH LINE OF SAID PARCEL 2, A DISTANCE OF 825.00 FEET TO THE MOST SOUTHEAST CORNER THEREOF; THENCE NORTH A DISTANCE OF 42.00 FEET TO A LINE WHICH IS PARALLEL WITH AND DISTANT 42.00 FEET NORTH AS MEASURED AT RIGHT ANGLE FROM THE SOUTH LINE OF LAST SAID PARCEL 2; THENCE SOUTH 89° 17' 00" WEST ALONG SAID PARALLEL LINE A DISTANCE OF 786.37 FEET TO THE BEGINNING OF A 100' - TANGENT CURVE CONCAVE TO THE NORTHWEST, HAVING A RADIUS OF 39.50 THE INITIAL RADIAL LINE AT SAID BEGINNING BEING NORTH 20° 17' 32" EAST; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 30° 34' 00" AN ARC LENGTH OF 24.52 FEET TO A LINE WHICH IS PARALLEL WITH AND DISTANT 11.00 FEET EAST AS MEASURED AT RIGHT ANGLE FROM THE MOST WEST LINE OF LAST SAID PARCEL 2; THENCE NORTH ALONG SAID PARALLEL LINE A DISTANCE OF 225.30 FEET TO THE MOST SOUTH LINE OF AFORESAID PARCEL 1; THENCE SOUTH 89° 17' 00" WEST ALONG SAID MOST SOUTH LINE A DISTANCE OF 11.00 FEET TO THE TRUE POINT OF BEGINNING.

NOTES:
1. DECORATIVE HARDSCAPE FINISH IS PROPOSED WHEN INTERNAL WALKWAYS CROSS DRIVEWAYS, PARKING AREAS, OR LOADING AREAS.
2. ZONES TO REMAINED OPEN DURING BUSINESS HOURS



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TEL: 310-929-0888

Project:

MASSACHUSETTS AVE.
& KANSAS AVE. BY
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

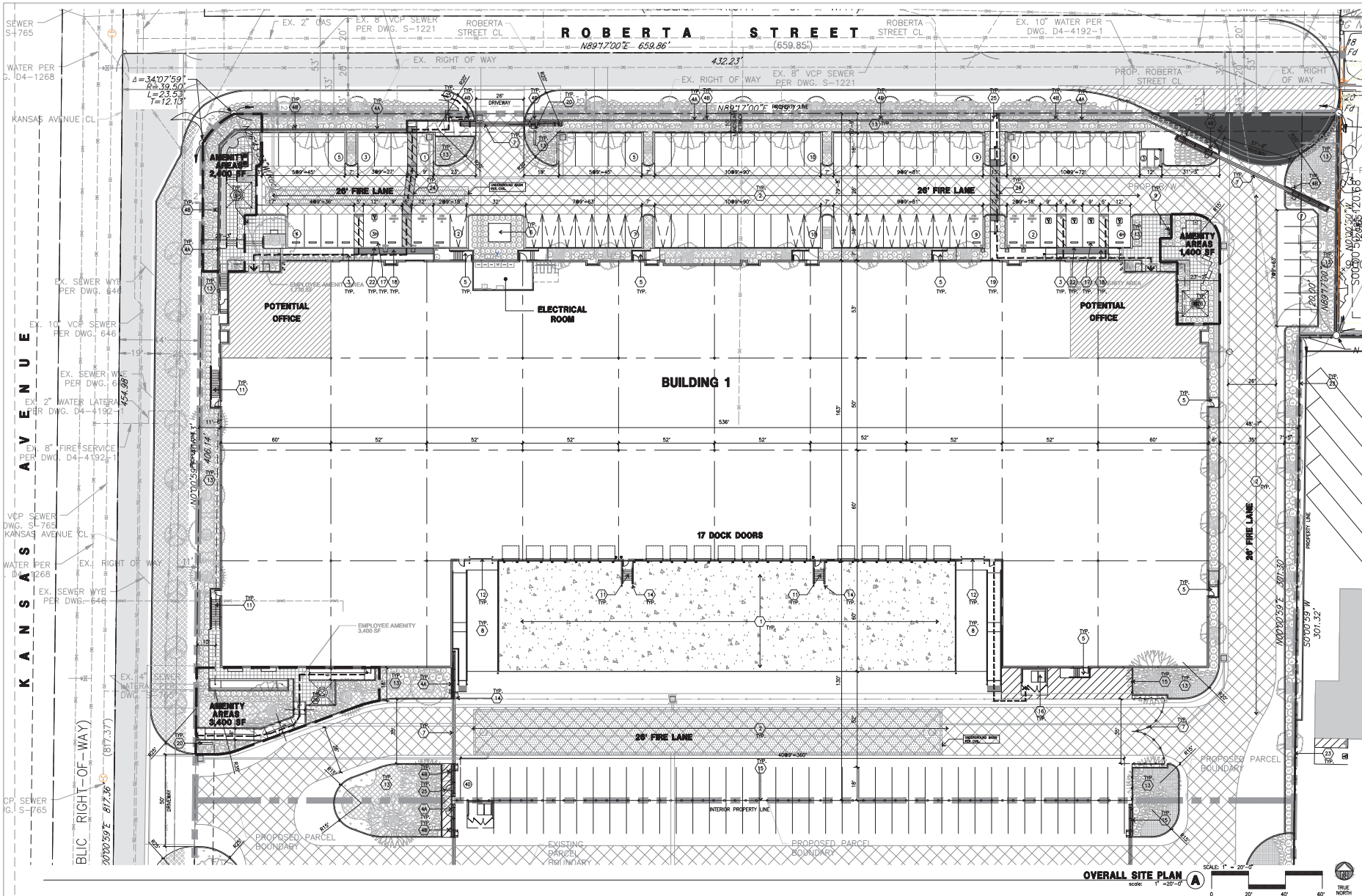
CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
HUNTER
SOLIS ENGINEER

Title: MASTER SITE PLAN
(ALTERNATIVE PARKING)

Project Number: 21074
Drawn by: AW
Date: 04/11/25
Revision:

Sheet:

0-DAB-A1.0B



SITE PLAN KEYNOTES

1. HEAVY BROOM FINISH CONCRETE PAVEMENT.
2. ASPHALT CONCRETE (AC) PAVING.
3. CONCRETE WALKWAY, MEDIUM BROOM FINISH.
4. 4" CMU BLOCK WALL WITH CAP & PAINTED BLACK 2" TUBULAR STEEL FENCE ON THE TOP.
5. 6" CMU BLOCK WALL WITH CAP (PLASTER) - REFER TO SHEET 04-11 FOR ELEVATIONS.
6. 5'-0" X 2'-0" X 4" THICK CONCRETE EXTERIOR LANDING PAD TYP. AT ALL EXTERIOR MAIN DOORS.
7. LANDSCAPED AREAS, FINISH TO BE MEDIUM BROOM FINISH, PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
8. TRANSFORMERS FOR ELECTRICAL, DRAWINGS AND SERVICE PROVIDER.
9. 6'-0" HIGH METAL SLIDING GATES W/ 1/2" X 1/2" X 1/2" PER FIRE DEPARTMENT STANDARDS PER DEPARTMENT. CONTRACTOR TO DESIGN & INSTALL GATES, DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION. PROVIDE CONDUIT FOR FUTURE. REMAIN OPEN DURING OFFICE HOURS.
10. CONCRETE RAMP.
11. 5-SPACE BIKE RACK.
12. FIRE HYDRANT W/ CONC. FILLED STEEL GUARD POST.
13. EXTERIOR CONCRETE STAIR.
14. 12" W X 14" OVERHEAD DOOR @ DRIVE THRU.
15. ALL LANDSCAPE AREAS INDICATED BY SHADING.
16. CONC. FILLED GUARD POST 5 DIA. U.L.O. 42" H.
17. 4" TUBULAR STEEL FENCE.
18. TRASH ENCLOSURE, REFER TO AD-7.
19. PRE-CAST CONC. WHEEL STOP.
20. TRUNCATED DOME.
21. SMOKERS' TRASH POLE.
22. FUTURE MONUMENT SIGN.
23. ACCESSIBLE ENTRY SIGN.
24. ACCESSIBLE PARKING STALL SIGN.
25. 4" TUBULAR STEEL FENCE AT PROPERTY PERMITTER.
26. 4" TUBULAR STEEL FENCE AT PROPERTY LINE.
27. COLOR CONCRETE REFER TO LANDSCAPE DRAWINGS.
28. 4" TUBE STEEL MAIN GATE.
29. COVERED BREAK AREA.

SITE PLAN GENERAL NOTES

1. ALL LIGHTING SHALL CONFORM WITH MUNICIPAL STANDARDS.
2. SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
3. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE WALL, FACE OF CONCRETE CURB OR GRID LINE U.L.O.
4. REFER TO CIVIL PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET AD-1 ARE MINIMUM STANDARDS.
5. THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
6. REFER TO CIVIL DWGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
7. PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. REFER TO CIVIL DRAWINGS.
8. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
9. REFER TO CIVIL DRAWINGS FOR FRESH GRADE ELEVATIONS.
10. CONCRETE SLOPES TO BE A MINIMUM OF 1/4" THICK W/ TOOLED JOINTS AT 6' OFFSET 6" FROM THE PROPERTY LINE.
11. COLOR CONCRETE REFER TO LANDSCAPE DRAWINGS.
12. 4" TUBE STEEL MAIN GATE.
13. COVERED BREAK AREA.
14. ALL SIGNAGE SHALL CONFORM WITH THE MUNICIPAL STANDARD.
15. PAINT CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LANES AS REQUIRED BY FIRE DEPARTMENT.
16. CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC FACILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
17. PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC FACILITIES DEVELOPMENT.
18. SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENT.
19. ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OF 65 OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
20. WALLS SHALL BE FINISHED WITH A GRAFT-PROOF COATING ON SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPLIT-FACE BLOCK WALL, DECORATIVE TILE, COLORED PAVING MATERIAL, ETC.).
21. ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
22. D.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MAXIMUM 12" EA. WAY. EXPANDED JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.L.O.
23. HIGH CURB.

SITE PLAN GENERAL NOTES

- CONCRETE PAVING - RE: CIVIL DRAWINGS THICKNESS
 - STANDARD PARKING STALL 9'X18'
 - ACCESSIBLE PARKING STALL 9'X18' + 5' W ACCESSIBLE AISLE
 - VAN ACCESSIBLE 12'X18' + 5' W ACCESSIBLE AISLE
 - FUTURE EV CHARGING STATION 9' X 18'
 - EV CHARGING STATION NEEDED 9' X 18'
 - LIGHTING FIXTURE 30" WIDE FIRE LANE, PROVIDE RED CURBS AND SIGNAGE
 - LANDSCAPE
 - PROPERTY LINE
 - ACCESSIBILITY PATH OF TRAVEL
- NOTES:
1. DECORATIVE, HARDCAPE FINISH IS PROPOSED WHEN INTERNAL WALKWAYS CROSS DRIVEWAYS, PARKING AREAS, OR LOADING AREAS.
2. GATES TO REMAINED OPEN DURING BUSINESS HOURS

AERIAL MAP



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Owner:



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TEL: 310 924-0808

Project:

MASSACHUSETTS AVE.
& KANSAS AVE. BY
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

HUNTER

Title: OVERALL SITE PLAN

Project Number: 21074
Drawn by: AWW
Date: 04/11/25
Revision:

Sheet:

1-DAB-A1.1



HPA, INC.
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Project:

MASSACHUSETTS AVE.
& KANSAS AVE. BY
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

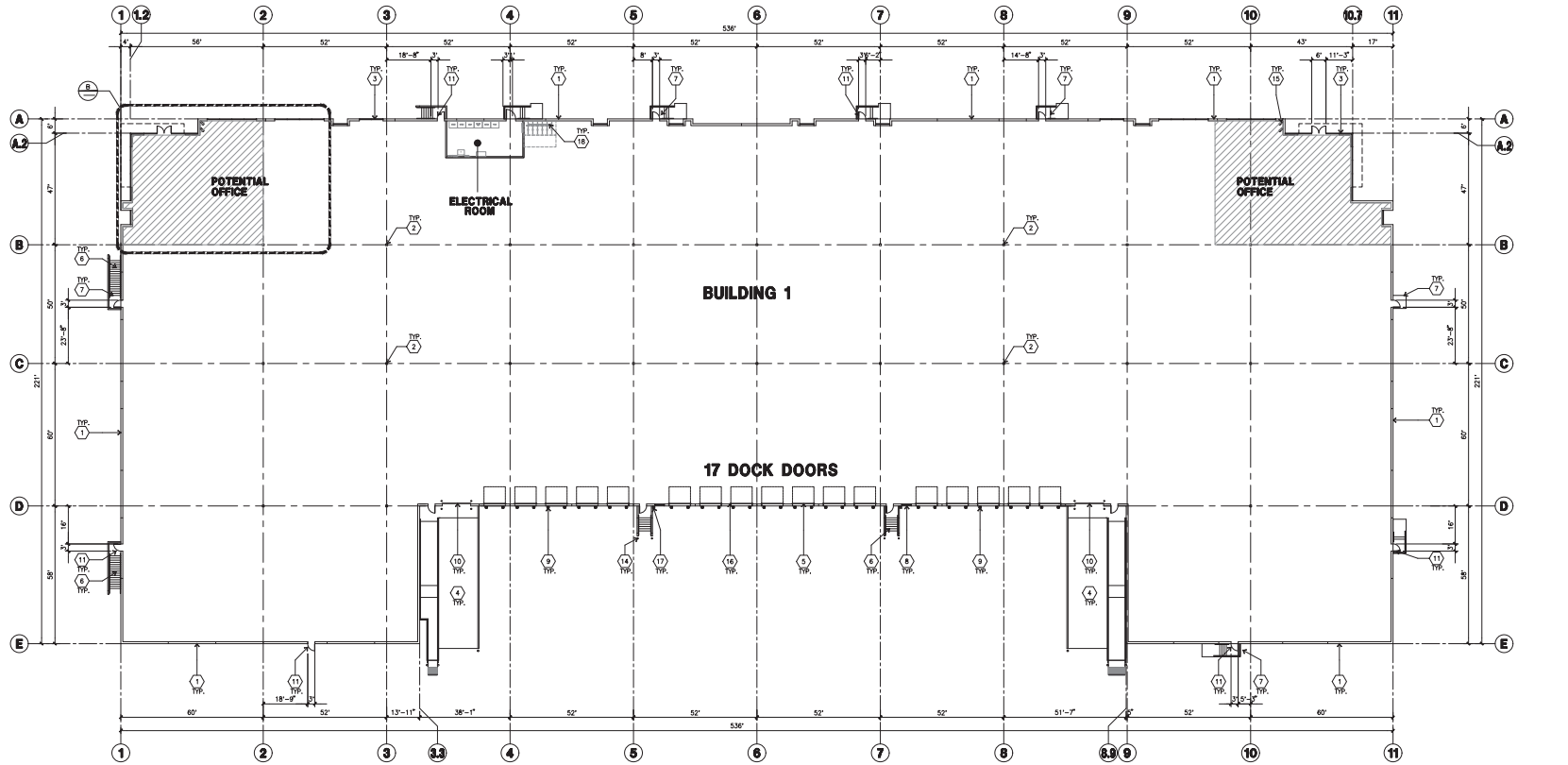
HUNTER

Title: OVERALL FLOOR PLAN

Project Number: 21074
Drawn by: AWW
Date: 03/28/25
Revision:

Sheet:

1-DAB-A2.1



OVERALL FLOOR PLAN
scale: 1" = 20'-0"

KEYNOTES - FLOOR PLAN

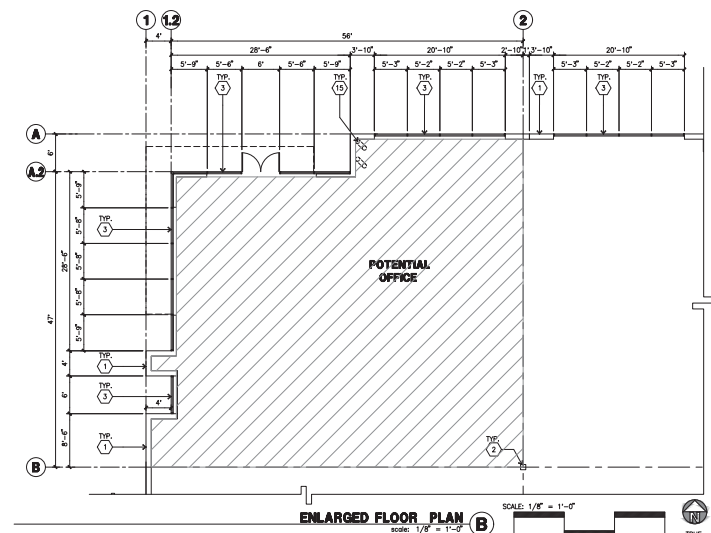
1. CONCRETE TILT-UP PANEL.
2. STRUCTURAL STEEL COLUMN.
3. TYPICAL STOREFRONT SYSTEM WITH GLAZING. SEE OFFICE BLOW-UP AND ELEVATIONS FOR SIZE, COLOR AND LOCATIONS.
4. CONCRETE RAMP W/ 42" HIGH CONC TILT-UP GUARD WALL. BLOW-UP AND WALL ON BOTH SIDE OF RAMP.
5. 9'-0" X 10' TRUCK DOOR, SECTIONAL, 0%L, STANDARD GRADE.
6. EXTERIOR CONCRETE STAIR.
7. 5'-0" X 10'-0" THICK CONCRETE EXTERIOR LANDING PAD TYPICAL AT ALL EXTERIOR MAIN DOORS TO LANDSCAPED AREA. FINISH TO BE MEDIUM BLOOM FINISH. SLOPE TO BE 1/4" IN 12". MAX. PROVIDE WALK TO WARD SURFACE PER CITY REQUIREMENTS.
8. COVERED OPENING FOR VENTILATION.
9. DOCK DOOR BUMPER.
10. 12' X 14' DRIVE THRU, SECTIONAL, 0%L, STANDARD GRADE.
11. 37X7" HOLLOW METAL EXTERIOR MAIN DOOR.
12. SOFFIT LINE ABOVE.
13. ROOF HATCH ACCESS LADDER.
14. CONC. FILLED GROUT POST, 6" DIA. U.N.O., 42"H.
15. INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
16. Z GUARD FOR ALL OVERHEAD DOORS.
17. EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
18. 6-SPACE BIKE RACK.

GENERAL NOTES-FLOOR PLAN

- A. THIS BUILDING IS DESIGNED FOR HIGH PILE STORAGE WITH FIRE ACCESS MAIN DOORS AT 100' MAXIMUM O.C. A SEPARATE PERMIT WILL BE REQUIRED FOR ANY RACKING/CONVEYER SYSTEMS.
- B. FIRE HOSE LOCATIONS SHALL BE PROVIDED PER FIRE DEPARTMENT.
- C. THE BUILDING FLOOR SLAB IS SLOPED, SEE "C" DRAWINGS FOR FINISH SURFACE ELEVATIONS.
- D. NOT USED.
- E. WAREHOUSE INTERIOR CONCRETE WALLS ARE PAINTED WHITE. COLUMNS ARE TO RECEIVE PRIMER ONLY. ALL OYP. RD. WALLS IN WAREHOUSE TO RECEIVE COAT OF WHITE TO COVER.
- F. SLOPE POUR STRIP 1/2" TO EXTERIOR AT ALL MANDOR EXITS.
- G. ALL DIMENSIONS ARE TO THE FACE OF CONCRETE PANEL WALL, GROUNDLINE, OR FACE OF STUD U.N.O.
- H. SEE CIVIL DRAWINGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR TO VERIFY ACTUAL UTILITY LOCATIONS. PLUMBING/ELECTRICAL COORDINATION.
- I. FOR DOOR TYPES AND SIZES, SEE DETAIL SHEET AD-4. NOTE: ALL DOORS PER DOOR SCHEDULE ARE FINISH OPENINGS.
- J. CONTRACTOR TO PROTECT AND KEEP THE FLOOR SLAB CLEAN. ALL EQUIPMENT TO BE DIAPERED INCLUDING CARS AND TRUCKS.
- K. ALL EXIT MAIN DOORS IN WAREHOUSE TO HAVE ILLUMINATED EXIT SIGN.
- L. HIGHLY FLAMMABLE AND COMBUSTIBLE MATERIAL SHALL NOT BE USED OR STORED IN THIS BUILDING.
- M. EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS "EXIT". THE MOUNTING HEIGHT FOR SUCH SIGNAGE SHALL BE 60" FROM FINISH FLOOR LEVEL TO THE CENTER OF THE SIGN.
- N. NON-ACCESSIBLE DOOR. PROVIDE WARNING SIGN LOCATED IN THE INTERIOR SIDE PER CBC 11.03.01.1.1.1.
- O. ALL ROOF MOUNTED MATERIALS SHALL BE FULLY SCREENED FROM PUBLIC VIEW, SEE A/M-1.01 OFFICE SECTION.

FLOOR SLAB AND POUR STRIPS REQ.

- THESE NOTES ARE VERY MIN. REQUIREMENT.
1. FLOOR COMPACTION - 90%.
 2. TRENCH COMPACTION - 90%.
 3. BUILDING FLOOR SLAB:
 4. CONTRACTOR TO BUILD FOR CLASS V FLOOR PER A.C.I. 302-IR-96.
 5. NOT USED.
 6. CONCRETE SLAB TO HAVE STEEL FLOAT HARD TROWEL BURNISHED FINISH.
 7. FOR SLAB CURING, COORDINATE WITH THE OWNER.
 8. ALL EQUIPMENT & MOVING VEHICLES SHALL BE DIAPERED.
 9. NO CRANES, CONCRETE TRUCKS, OR ANYTHING HEAVIER WILL BE PLACED ON THE SLAB.
 10. SLAB TO BE FFSO FLS. MEASURED WITHIN 24 HOURS.
 11. NO FLY ASH IN THE CONCRETE.
 12. WHERE INDICATED, PROVIDE VAPOR BARRIER, CONCRETE SLAB OVER 2" SAND OVER YOM. VIGGSEN, OVER 2" SAND OVER COMPACT SOIL. ENGINEER OR MANUFACTURER'S RECOMMENDATION.
 13. SEAL CONCRETE SLAB W/ "LAPDOLPH" SEALER.



ENLARGED FLOOR PLAN
scale: 1/8" = 1'-0"



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Consultants:

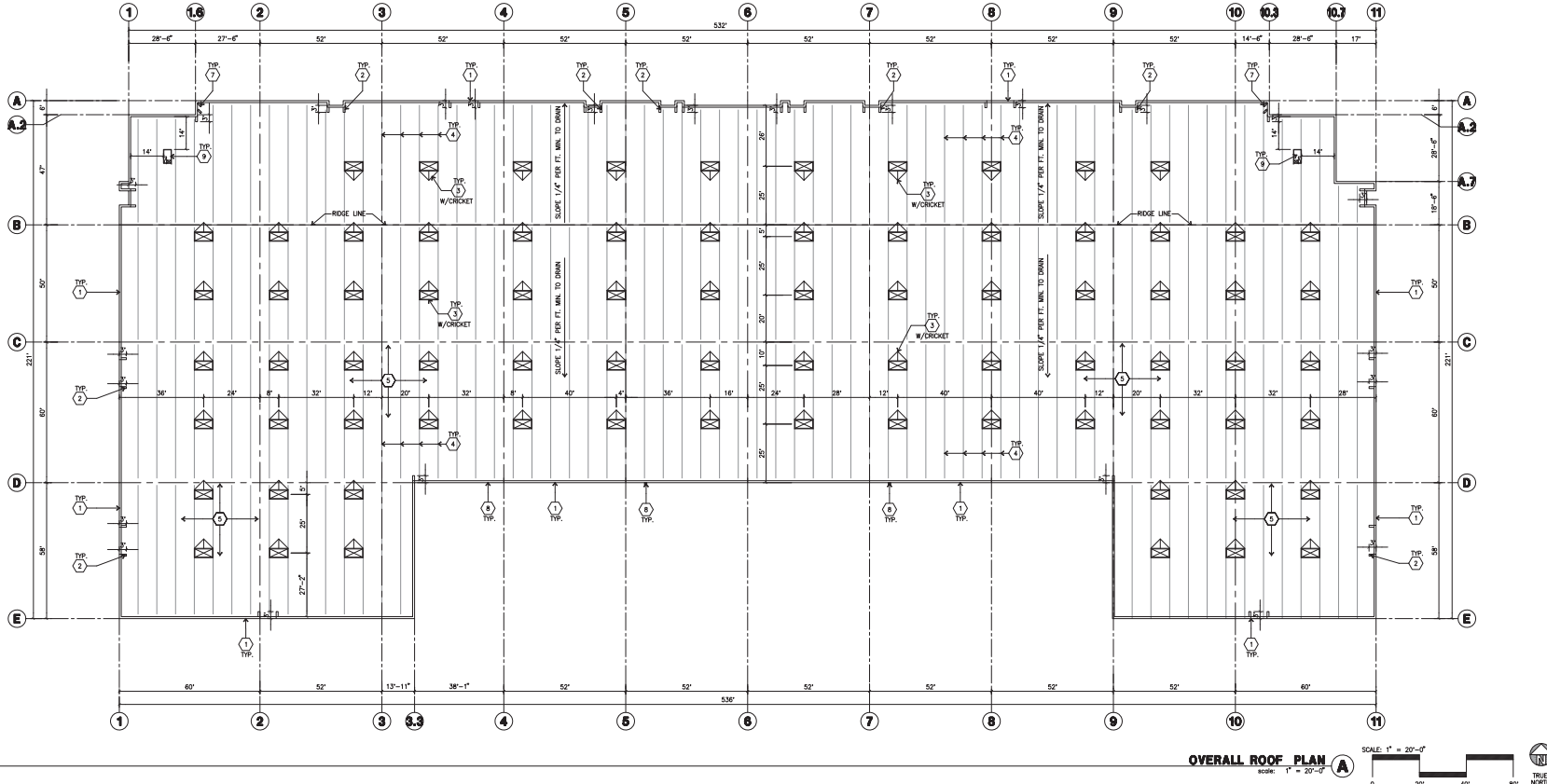
CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: OVERALL ROOF PLAN

Project Number: 21074
Drawn by: AIV
Date: 08/01/24
Revision:

Sheet:

1-DAB-A2.10



ROOF PLAN KEYNOTES

1. CONCRETE PARAPET. SEE "S" DRAWINGS FOR THICKNESS.
2. PARAPET RETURN.
3. 4"X6" CURB MOUNTED SKYLIGHT.
4. STRUCTURAL JOIST. SEE "S" DRAWINGS.
5. PROVIDE CERTAINTED 4-PLY BUILT-UP ROOFING, OVER ROOF SHEATHING OVER ROOF FRAMING. U.N.O. 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
6. INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
7. INTERIOR ROOF DRAIN WITH OVERFLOW INTERIOR DRAIN.
8. EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
9. FUTURE ROOF TOP UNIT.

ROOF PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRIDLINE, OR FACE OF STUD. (U.N.O.)
- B. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.) PRIOR TO ROOF INSULATION INSTALLATION.
- C. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
- D. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
- E. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 8.9, 10/AD3. CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
- F. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
- G. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- H. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM IN WRITING.
- I. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "T" DRAWINGS FOR EXACT SIZE.
- J. PROVIDE SHAPED CROCKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN.).
- K. BUILT UP ROOFING TO BE DESIGNED FOR 1.90 AND TO BE A U.L. CLASS A ROOF. FLASHING 60# TYPE SMB MOPPED AP SHEET, U.L. TYPE 63 BUR.
- L. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND INSULATION REQUIREMENTS. PROVIDE REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.

ROOF LEGEND

- | | | | |
|--|--------------------------------------|--|---|
| | 8" X 8" SKYLIGHT
SEE DETAIL 5/AD3 | | BUILDING PARAPET LINE |
| | ROOF HATCH | | EXTERIOR DOWNSPOUT
W/ OVERFLOW SCUPPER |
| | FUTURE ROOF TOP UNIT | | INTERIOR ROOF DRAIN
W/ OVERFLOW SCUPPERS |

SKYLIGHT CALCULATION

PROJECT: CLEAR HEIGHT = 32 FT. CLEAR

REQUIRED:

BUILDING FOOTPRINT = 90, 900 S.F. / 93, 900 S.F. WITHOUT OFFICE
SKYLIGHT REQUIRED = VOLUME OF BUILDING / 7000 WITH AUTOMATIC SPRINKLER
VOLUME OF BUILDING = 3, 198, 900 C.F.
3, 198, 900 C.F. / 7,000 S.F. = 456.9 S.F.

SKYLIGHT REQUIRED = 2.5 % = 2,497.5 S.F. (78 SKYLIGHTS, 32 S.F. EA)

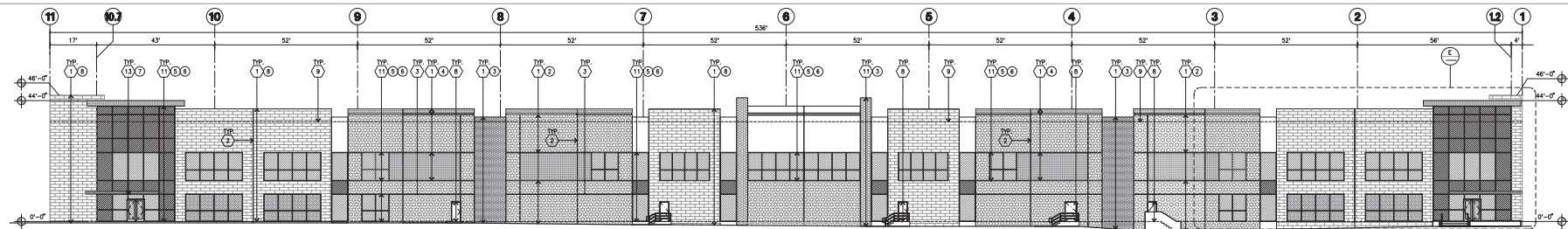
PROVIDED:

SKYLIGHT PROVIDED = 2.5 % = 2,497.5 S.F. (78 SKYLIGHTS, 32 S.F. EA)

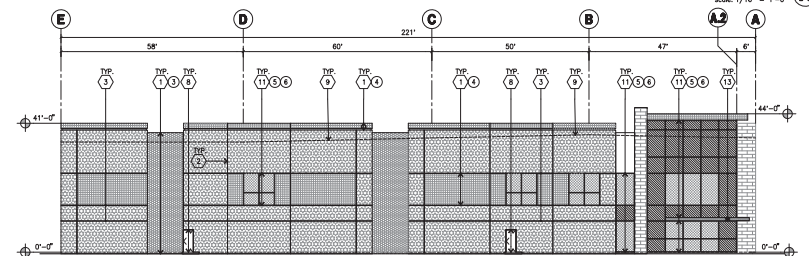
MODEL:

SKYLIGHT MODEL = MANUFACTURED BY BRISTOLITE DAYLIGHTING SYSTEM
MODEL # 1488-35-36-A-101 OR EQUAL

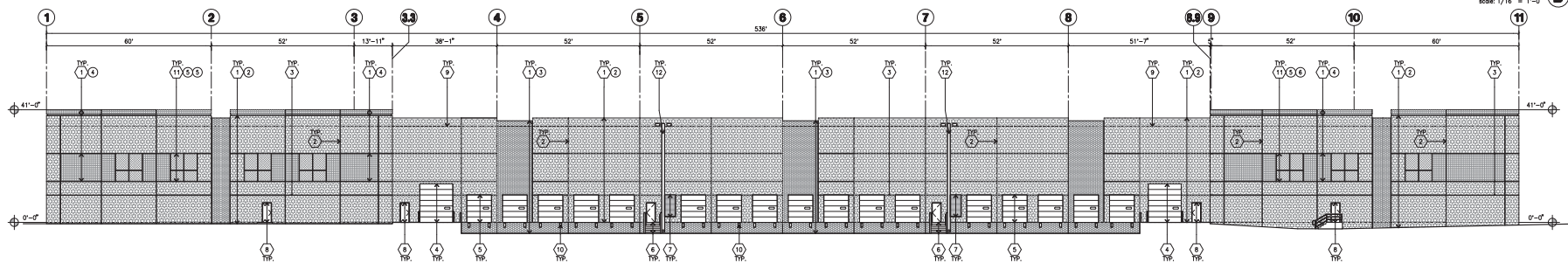
BULGAR BAR MODEL = PROVIDED BULGAR BAR AT ALL SKYLIGHT LOCATION-TYP.



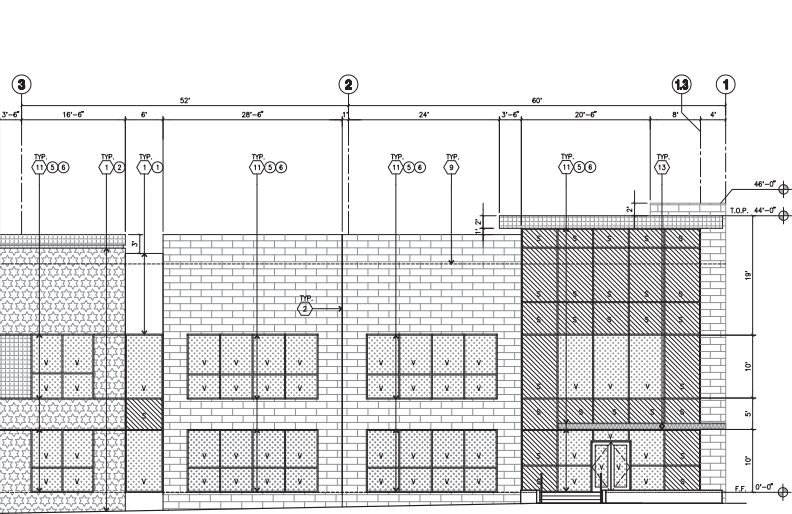
NORTH ELEVATION
scale: 1/16" = 1'-0"



EAST ELEVATION
scale: 1/16" = 1'-0"



SOUTH ELEVATION
scale: 1/16" = 1'-0"



WEST ELEVATION
scale: 1/16" = 1'-0"

ENLARGED NORTH ELEVATION
scale: 1/8" = 1'-0"

KEYNOTES - ELEVATIONS

- 1 CONCRETE TILT-UP PANEL (FINISHES)
- 2 ALUMINUM STOREFRONT FINISH WITH TEMPERED GLAZING AT ALL DOORS, INSULATED ALUMINUM TO DOORS AND GLAZING
- 3 EXTERIOR DOWNPOUT WITH OVERFLOW SCUPPERS
- 4 EXTERIOR CANOPY
- 5 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 6 PANEL FINISH: ALL FINISHES TO HAVE A MAX. OF 1/8" CHAMFER. FINISH COLOR TO MATCH ADJACENT BUILDING FELD COLOR. UNLESS NOTED OTHERWISE.
- 7 EXTERIOR DOWNPOUT WITH OVERFLOW SCUPPERS
- 8 EXTERIOR CANOPY
- 9 INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS
- 10 PANEL FINISH: ALL FINISHES TO HAVE A MAX. OF 1/8" CHAMFER. FINISH COLOR TO MATCH ADJACENT BUILDING FELD COLOR. UNLESS NOTED OTHERWISE.
- 11 EXTERIOR DOWNPOUT WITH OVERFLOW SCUPPERS

GENERAL NOTES - ELEVATIONS

- A. ALL PAINT COLOR CHANGES TO OCCUR AT INSIDE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. CL. = TOP OF FINISH ELEVATION.
- D. F.F. = FINISH FLOOR ELEVATION.
- E. DOWNPOUT CONNECTIONS: GLASS, METAL ATTACHMENTS AND LANTERNS.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL BY SELECTED COLOR. INSULATED AND PANEL SHALL APPEAR TO FINISH REMAINDER OF BUILDING.
- G. BACK SIDE OF FINISHES TO HAVE SMOOTH FINISH AND BE PAINTED WITH ELASTOMERIC PAINT.
- H. FOR SPANDREL GLAZING, ALLOW SPACE BEHIND SPANDREL TO BREATHE.
- I. USE ADHESIVE BACK WOOD STRIPS FOR ALL ROOF FORMS.
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT.
- K. EXTERIOR WALLS SHALL BE PROVIDED WITH A GRAFFITI-RESISTANT COATING OR PAINT TO A HEIGHT OF 12' FOR BUILDING OR STRUCTURE SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPILT-FACE BLOCK, DECORATIVE TILES, ETC.).

COLOR SCHED. - ELEVATIONS

- | | |
|----|--|
| 1 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, FUSE, WHITE |
| 2 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 3 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 4 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 5 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 6 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 7 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 8 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 9 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 10 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |
| 11 | CONCRETE TILT-UP PANEL, PAINT BRUSH/STRESS-WALLS, STAYERS, METALLIC GREY |

GLAZING LEGEND

- | | | | |
|----|----------------|----|---------------------------------|
| 1 | TEMPERED GLASS | 2 | TEMPERED VISION INSULATED GLASS |
| 3 | SPANDREL GLASS | 4 | PFG VISIONS (D) PATTERNS |
| 5 | SPANDREL GLASS | 6 | SPANDREL GLASS (D) PATTERNS |
| 7 | SPANDREL GLASS | 8 | SPANDREL GLASS (D) PATTERNS |
| 9 | SPANDREL GLASS | 10 | SPANDREL GLASS (D) PATTERNS |
| 11 | SPANDREL GLASS | 12 | SPANDREL GLASS (D) PATTERNS |



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PROTECTION
SOLIS ENGINEER

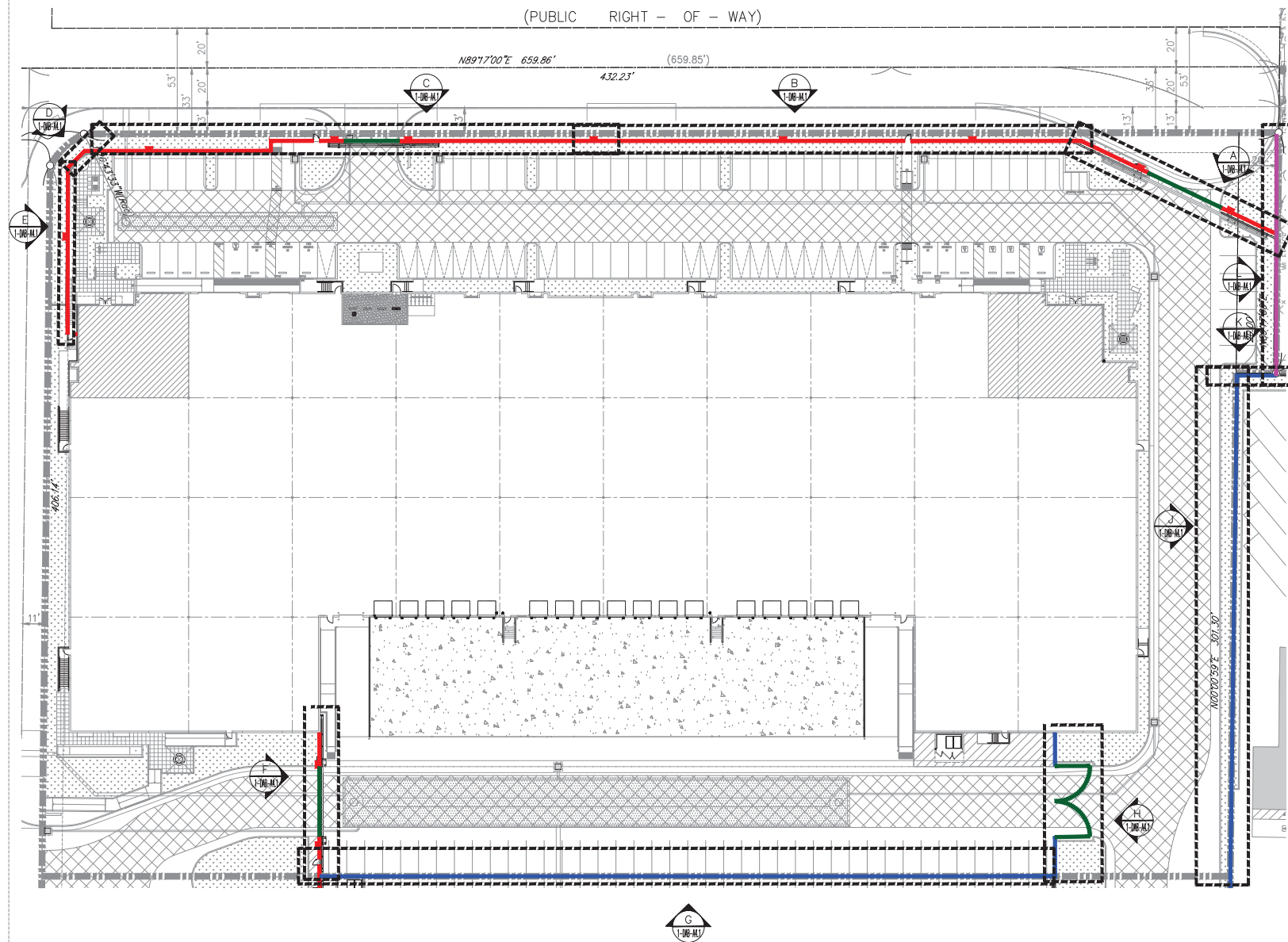
THP: ELEVATIONS

Project Number: 21074
Drawn by: AIV
Date: 08/01/24
Revision:







Sheet:

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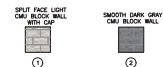
KEYPLAN



KEY NOTES

- | | | |
|---|---|---------------------------------------|
|  | 1 | 4" CMU BLOCK WALL WITH CAP |
|  | 2 | 6" CMU BLOCK WALL WITH CAP (PILASTER) |
|  | 3 | PAINTED BLACK 2" TUBULAR STEEL FENCE |
|  | 4 | PAINTED BLACK 6" METAL SLIDING GATES |
|  | 5 | PAINTED BLACK 6" TUBULAR STEEL FENCE |
|  | 6 | 6" CMU BLOCK |

COLOR LEGEND



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SOILS ENGINEER

HUNTER

Title: KEYPLAN SCREENWALL

Project Number: 21074
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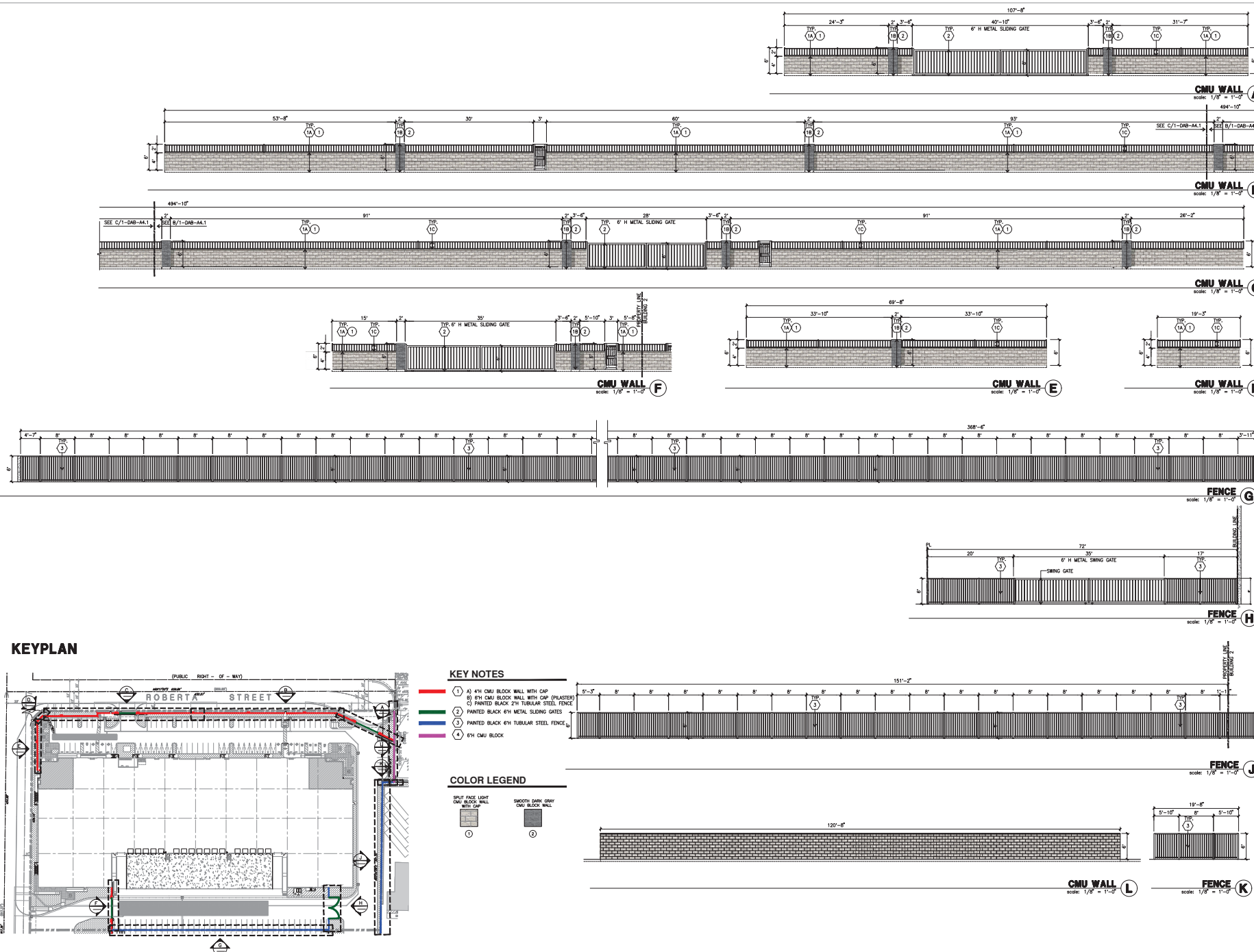
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- STRUCTURAL _____
- MECHANICAL _____
- PLUMBING _____
- ELECTRICAL _____
- LANDSCAPE _____
- FIRE PROTECTION _____
- SOILS ENGINEER _____

Title: CMU WALL ELEVATIONS
FENCE ELEVATIONS

Project Number: 21074
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 Date: 04/11/25
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SOILS ENGINEER

HUNTER

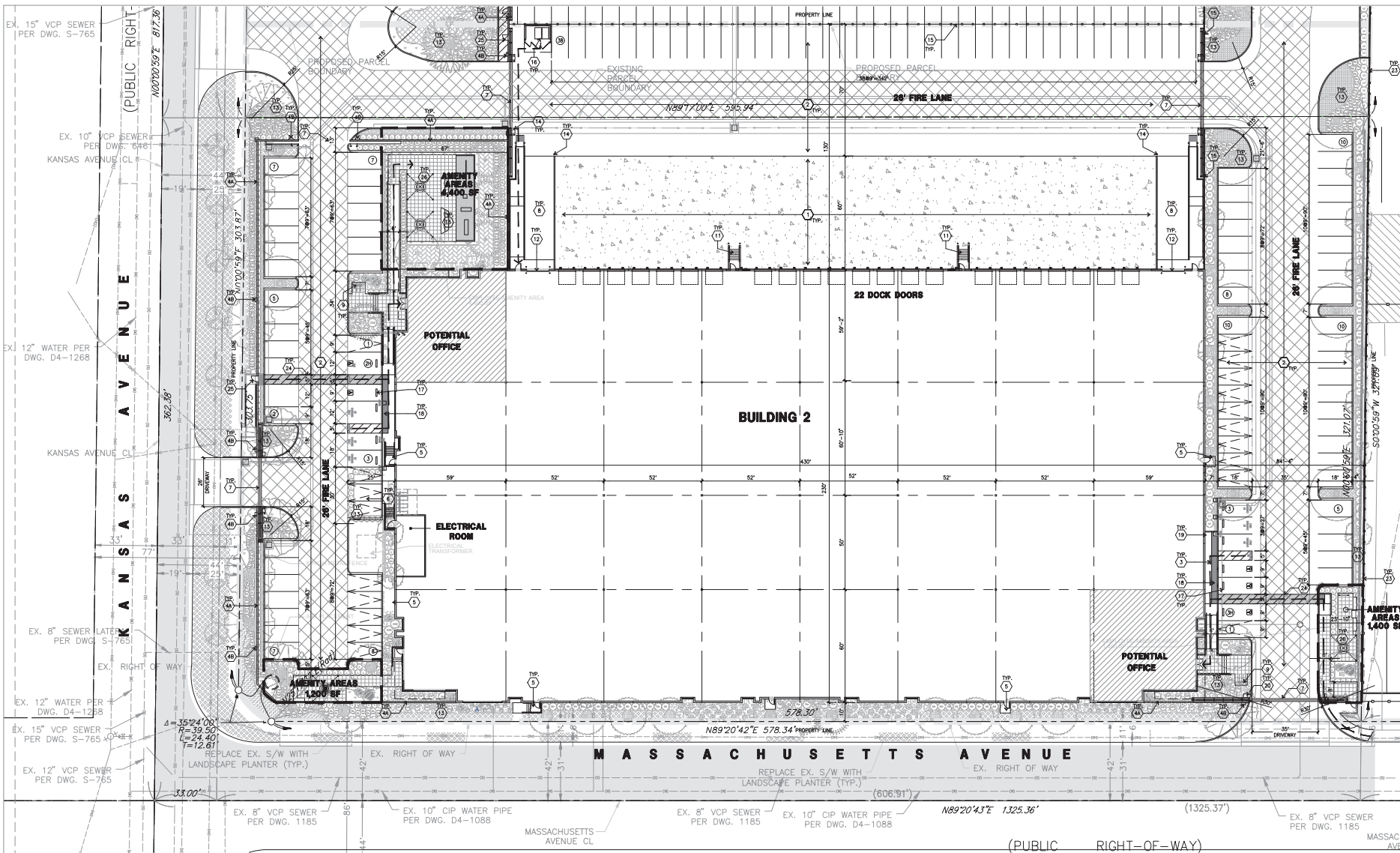
Title: SECTION SIGHT LINE STUDY

Project Number: 21074
 Drawn by: AW
 Date: 08/01/24
 Revision:

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1-DAB-A4.2





SITE PLAN KEYNOTES

- HEAVY BROOM FINISH CONCRETE PAVEMENT.
- ASPHALT CONCRETE (AC) PAVING.
- CONCRETE WALKWAY, MEDIUM BROOM FINISH.
- PAINTED BLACK 2" TUBULAR STEEL FENCE ON THE TOP OF 6" DIA. IRON POST WITH CAP (PREFER) REFER TO SHEET DAB-A1.1 FOR ELEVATIONS.
- 2'-0" X 4'-0" REINFORCED CONCRETE LANDING PAD TYP. AT ALL EXTERIOR MAIN EXITS TO LANDSCAPE. AREA TRUCKS TO BE BROWN TRUCKS. PROVIDE WALK TO PUBLIC WAY OR DRIVE WAY AS REQ. BY CITY INSPECTOR.
- TRANSFORMERS PER ELECTRICAL DRAWINGS AND SERVICE PROVIDER.
- 6'-0" HIGH METAL SLIDING GATES W/ KNOX-BOX PER FIRE DEPARTMENT SPECIFICATIONS FOR OPENING. CONTRACTOR TO DESIGN & DETAIL GATES, DRAWINGS AND CALCULATIONS PRIOR TO FABRICATION. PROVIDE CONSULT FOR FUTURE. REMAIN OPEN DURING OFFICE HOURS.
- 5-SHAPED BINE RACK.
- FIRE HYDRANT W/ CONC. FILLED STEEL GUARD POST.
- EXTERIOR CONCRETE STAIR.
- 12' W X 14' OVERHEAD DOOR @ DRIVE THRU.
- ALL LANDSCAPE AREAS INDICATED BY SHADING.
- CONC. FILLED GUARD POST 7.8 DIA. U.N.O. 42" H.
- 6" TUBULAR STEEL FENCE.
- 6" TUBULAR STEEL FENCE.
- TRASH ENCLOSURE. REFER TO A-0.7.
- PRE-CAST CONC. WHEEL STOP.
- TRUNCATED DOME.
- SHEDDING TRUCK POLE.
- FUTURE MONUMENT SIGN.
- ACCESSIBLE ENTRY SIGN.
- ACCESSIBLE PARKING STALL SIGN.
- 6" TUBULAR STEEL FENCE AT PROPERTY PERIMETER, OFFSET 1' FROM THE PROPERTY LINE.
- COLOR CONCRETE REFER TO LANDSCAPE DRAWINGS.
- 6" TUBE STEEL WALK GATE.
- COVERED BREAK AREA.

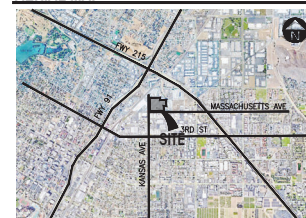
SITE PLAN GENERAL NOTES

- ALL LIGHTING SHALL CONFORM WITH MUNICIPAL STANDARDS.
- SEE CIVIL AND STRUCTURAL FOR SITE CONCRETE.
- ALL DIMENSIONS ARE TO THE FACE OF CONCRETE CURB OR GRID LINE U.N.O.
- REFER TO CIVIL PLANS FOR ALL CONCRETE CURBS, GUTTERS AND SWALES. DETAILS ON SHEET A-0.1 ARE MINIMUM STANDARDS.
- THE ENTIRE PROJECT SHALL BE PERMANENTLY MAINTAINED WITH AN AUTOMATIC IRRIGATION SYSTEM.
- REFER TO CIVIL DWGS FOR POINT OF CONNECTIONS TO OFF-SITE UTILITIES. CONTRACTOR SHALL VERIFY ACTUAL UTILITY LOCATIONS.
- PROVIDE POSITIVE DRAINAGE AWAY FROM BLDG. REFER TO CIVIL DRAWINGS.
- CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL HORIZONTAL CONTROL DIMENSIONS. SITE PLANS ARE FOR GUIDANCE AND STARTING LAYOUT POINTS.
- REFER TO CIVIL DRAWINGS FOR FINISH GRADE ELEVATIONS.
- CONCRETE SIDEWALKS TO BE A MINIMUM OF 4" THICK W/ TOILED JOINTS AT 6' O.C. EXPANSION/CONSTRUCTION JOINTS SHALL BE A MINIMUM 1/2" DIA. W/ EXPANSION JOINTS TO HAVE COMPRESSIVE EXPANSION FILLER MATERIAL OF 1/4". FINISH TO BE A MEDIUM BROOM FINISH U.N.O.
- ALL SIGNAGE SHALL CONFORM WITH THE MUNICIPAL STANDARD.
- PART CURBS AND PROVIDE SIGNS TO INFORM OF FIRE LINES AS REQUIRED BY FIRE DEPARTMENT.
- CONSTRUCTION DOCUMENTS PERTAINING TO THE LANDSCAPE AND IRRIGATION OF THE ENTIRE PROJECT SITE SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT AND APPROVED BY PUBLIC UTILITIES DEVELOPMENT PRIOR TO ISSUANCE OF BUILDING PERMITS.
- PRIOR TO FINAL CITY INSPECTION, THE LANDSCAPE ARCHITECT SHALL SUBMIT A CERTIFICATE OF COMPLETION TO PUBLIC UTILITIES DEVELOPMENT.
- THE SITE PLAN SHALL MEET ALL ENGINEERING AND NPDES REQUIREMENT.
- ALL LANDSCAPE AND IRRIGATION DESIGNS SHALL MEET CURRENT CITY STANDARDS AS LISTED IN GUIDELINES OR AS OBTAINED FROM PUBLIC FACILITIES DEVELOPMENT.
- WALLS SHALL BE TREATED WITH A GRAFFITI-PROOF COATING ON SURFACES THAT ARE NOT INTENDED TO BE PAINTED (E.G. SPILT-FACE BLOCK WALL, DECORATIVE TILE, COLORED PANELING MATERIAL, ETC.).
- ALL VERTICAL MOUNTING POLES OF CHAIN LINK FENCING SHALL BE CAPPED.
- LANDSCAPED AREAS SHALL BE DELINEATED WITH A MINIMUM SIX INCH (6") HIGH CURB.

SITE PLAN GENERAL NOTES

- | | |
|---|---|
| CONCRETE PAVING - RE: CIVIL DRAWINGS THICKNESS | LIGHTING FIXTURE |
| STANDARD PARKING STALL 9' X 18' | 20' WIDE FIRE LANE. PROVIDE RED CURBS AND SIGNAGE |
| ACCESSIBLE PARKING STALL 9' X 18' + 5' W ACCESSIBLE AISLE | LANDSCAPE |
| VAN ACCESSIBLE 12' X 18' + 5' W ACCESSIBLE AISLE | |
| FUTURE EV CHARGING STATION 9' X 16' | |
| EV CHARGING STATION NEEDED 9' X 16' | |
- NOTES:
1. DECORATIVE HARDSCAPE FINISH IS PROPOSED WHEN INTERNAL WALKWAYS CROSS DRIVEWAYS, PARKING AREAS, OR LOADING AREAS.
 2. GATES TO REMAIN OPEN DURING BUSINESS HOURS

AERIAL MAP



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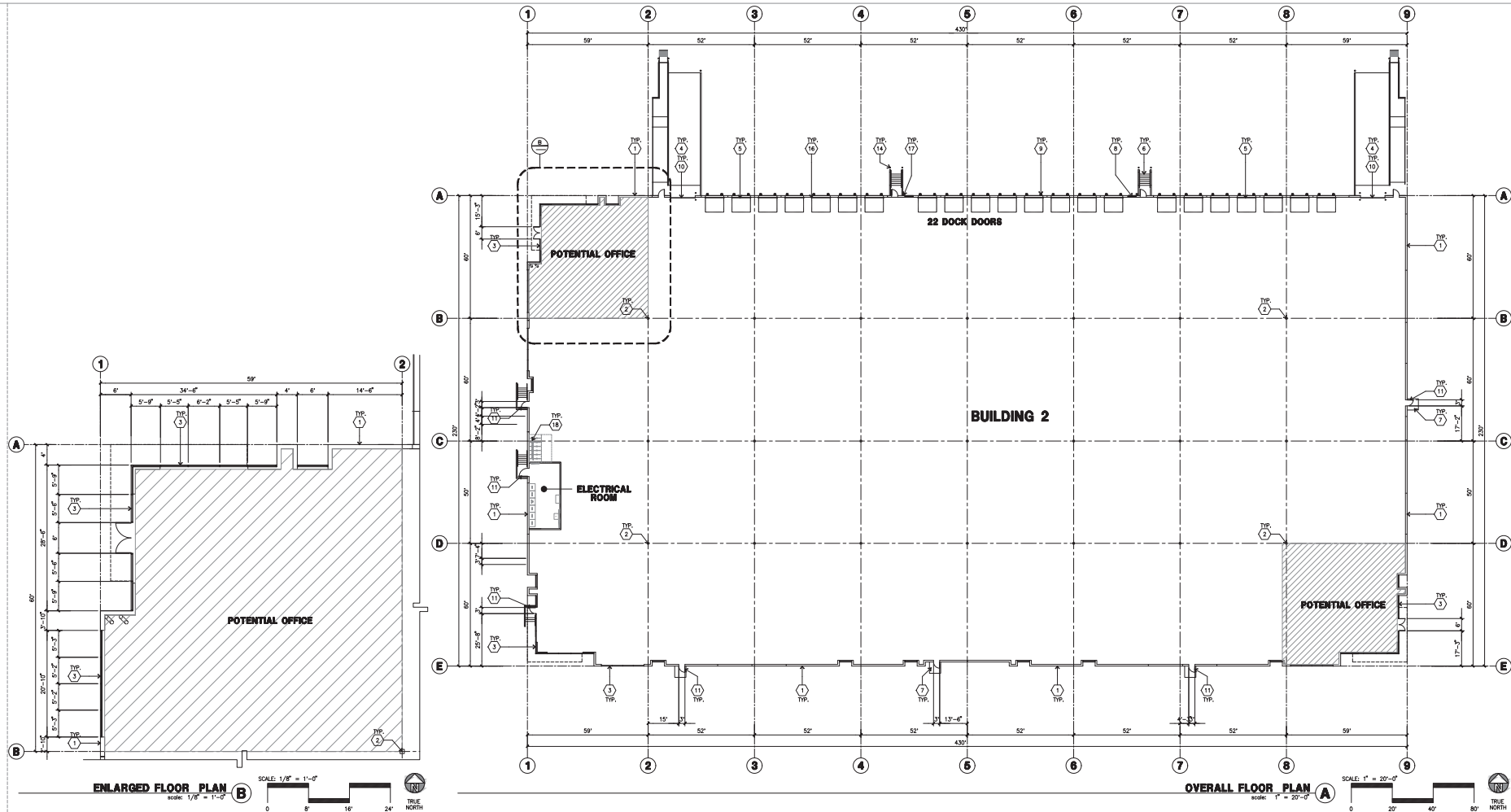
HUNTER

Title: OVERALL SITE PLAN

Project Number: 21074
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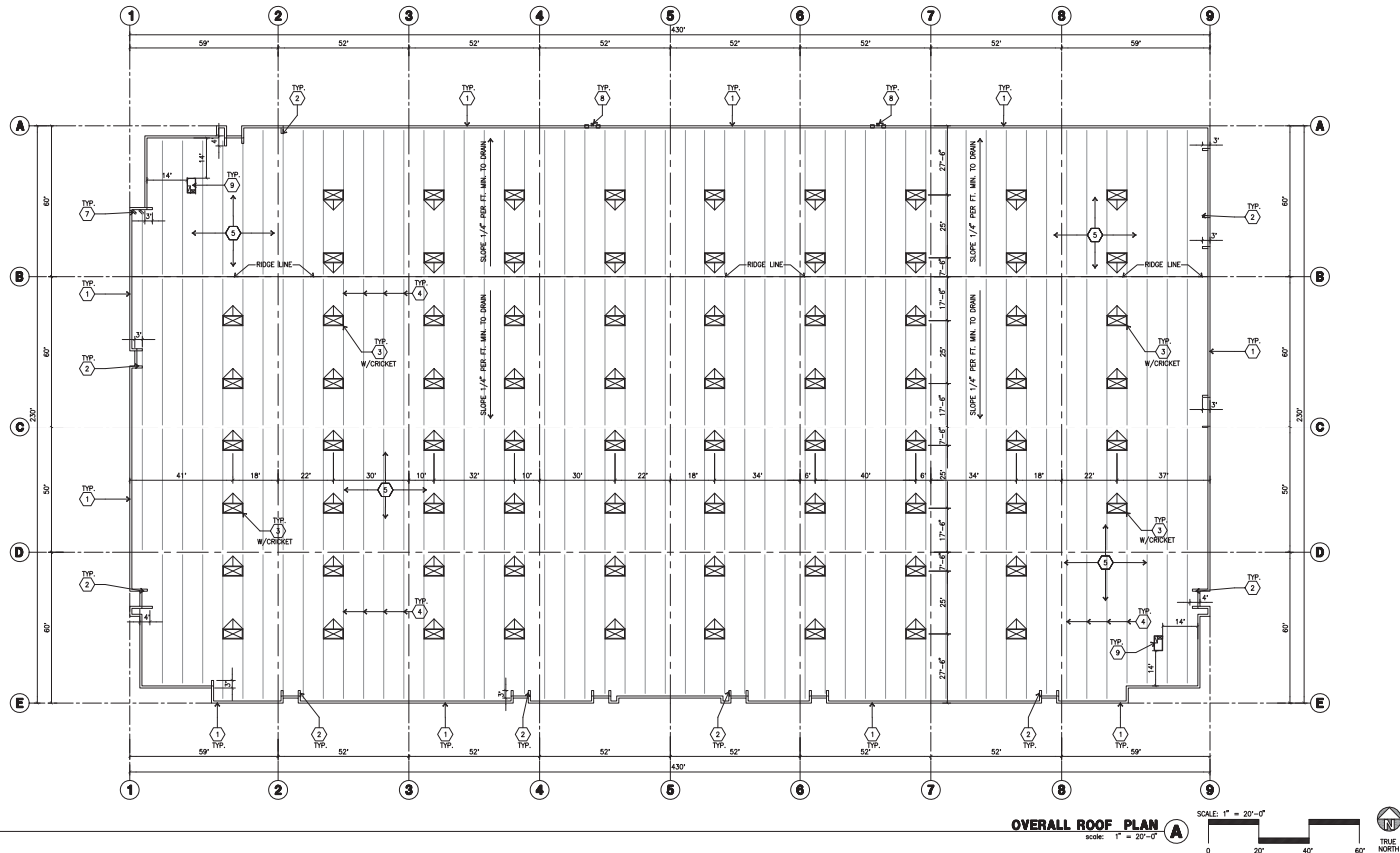
HUNTER

Title: OVERALL FLOOR PLAN

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Drawn by: A/W
Date: 03/28/25
Revision:

Sheet:

2-DAB-A2.1



ROOF PLAN KEYNOTES

1. CONCRETE PARAPET. SEE "S" DRAWINGS FOR THICKNESS.
2. PARAPET RETURN.
3. 4"X6" CURB MOUNTED SKYLIGHT.
4. STRUCTURAL JOIST. SEE "S" DRAWINGS.
5. PROVIDE CERTAINTED 4-PLY BUILT-UP ROOFING, OVER ROOF SHEATHING OVER ROOF FRAMING. U.N.O. 10 YEAR NO DOLLAR LIMIT WARRANTY AND 2 YEAR LABOR GUARANTEE.
6. INTERIOR ROOF DRAIN WITH OVERFLOW SCUPPERS.
7. INTERIOR ROOF DRAIN WITH OVERFLOW INTERIOR DRAIN.
8. EXTERIOR DOWNSPOUT WITH OVERFLOW SCUPPERS.
9. FUTURE ROOF TOP UNIT.

ROOF PLAN GENERAL NOTES

- A. ALL DIMENSIONS ARE TO FACE OF CONCRETE WALL, GRIDLINE, OR FACE OF STUD. (U.N.O.)
- B. VERIFY THAT ALL ROOF AREAS HAVE POSITIVE DRAINAGE (1/4" FT.) PRIOR TO ROOF INSULATION INSTALLATION.
- C. REFER TO "S" DRAWINGS FOR ROOF HEIGHT ELEVATIONS IN REGARDS TO ROOF DRAINAGE.
- D. CONTRACTOR TO VERIFY AND COORDINATE WITH ALL SUBCONTRACTORS, ALL LOCATIONS AND SIZES OF ROOF OPENINGS.
- E. FOR TYP. ROOF PENETRATIONS, SEE DETAIL 8, 9, 10/AD-3 CONTRACTOR TO VERIFY ALL LOCATIONS WITH MECHANICAL AND PLUMBING DRAWINGS.
- F. CONTRACTOR TO VERIFY ALL ROOF DRAIN DEPRESSIONS W/ "S" DRAWINGS.
- G. CONTRACTOR TO COORDINATE EXACT SKYLIGHT LOCATION W/ FIRE SPRINKLER AND ROOF FRAMING SUBCONTRACTORS. LOCATIONS ON DRAWINGS ARE APPROXIMATE.
- H. ALL SKYLIGHTS TO BE DESIGNED PER WIND SPEED DESIGN CRITERIA W/ STRONGER FRAMES, SUPPORTS AND DOMES. MANUFACTURER TO CONFIRM IN WRITING.
- I. ROOF DRAINS AND OVERFLOW DRAINS TO BE A MIN. 8" DIA., SEE "T" DRAWINGS FOR EXACT SIZE.
- J. PROVIDE SHAPED CROCKETS AS REQUIRED FOR PROPER ROOF DRAINAGE OF 1/4" PER FOOT (MIN.).
- K. BUILT UP ROOFING TO BE DESIGNED FOR 1.90 AND TO BE A U.L. CLASS A ROOF. FLASHING: 60" TYPE SMB MOPPED AP SHEET, U.L. TYPE 63 BUR.
- L. ALL ROOFING FASTENERS SHALL MEET ALL CODE AND REGULATION REQUIREMENTS. PROVIDE REQUIREMENTS ARE IN PROJECTS JURISDICTION AND ALSO, FACTORY MUTUAL (FM) WIND UPLIFT PRESSURE REQUIREMENTS.

- M. ALL SKYLIGHTS TO BE PLACED A MIN. OF 18"-0" FROM INSIDE FACE OF PARAPET.
- N. USE WHITE SCUM FOIL INSULATION IN THE WAREHOUSE AREA.
- O. SMOKE VENTS SHALL BE REQUIRED IF AREAS FOR "POTENTIAL OFFICES" WILL BE USED FOR HIGH PILE COMBUSTIBLE STORAGE.
- P. ROOF DRAINS, OVERFLOW DRAINS AND MANHOLE PIPING WITHIN THE INTERIOR OF THE BUILDING SHALL BE TESTED IN ACCORDANCE WITH THE PROVISIONS OF THE PLUMBING CODE FOR TESTED DRAIN, WASTE AND VENT SYSTEMS.
- Q. ROOF DRAINS, OVERFLOW PIPING WITHIN THE BUILDING SHALL UTILIZE APPROVED DRAINAGE FITTINGS.
- R. MANUFACTURED ROOF DRAINS AND OVERFLOWS (FITURES) SHALL BE WPMO LISTED.
- S. CERTAINTED BUR OR SBS BASE SHEET MECHANICALLY ATTACHED TO COORDINATE SUBSTRATE. APPROVED INTERPLY SHEETS SET IN HOT ASPHALT, ASPHALT TYPE II OR TYPE III. IN ANGLES OF ROOF DECK AND VERTICAL SURFACES, THE ROOFING CONTRACTOR SHALL FURNISH AND INSTALL AN APPROVED CAM STRIP WITH A MIN. 3" FACE. ROOF MAX. SLOPE 6":12", CLASS A RATED. ICC-ES EVALUATION REPORT NO. ESR-1386.

- SUMMARY OF ROOFING MATERIALS:**
- BASE SHEET (1 PLY)
 - INTERPLY SHEETS (2 PLY)
 - CAP SHEET (1 PLY)
 - ASTM D 312 ASPHALT (THREE MOPPINGS)
- T. SEE ACOUSTIC REPORT FOR ROOF-CEILING ASSEMBLY REQUIREMENT FOR STC RATING

ROOF LEGEND

- | | | | |
|--|---------------------------------------|--|---|
| | 8' X 8' SKYLIGHT
SEE DETAIL 5/AD-3 | | BUILDING PARAPET LINE |
| | ROOF HATCH | | EXTERIOR DOWNSPOUT
W/ OVERFLOW SCUPPER |
| | FUTURE ROOF TOP UNIT | | INTERIOR ROOF DRAIN
W/ OVERFLOW SCUPPERS |

SKYLIGHT CALCULATION

- PROJECT:** CLEAR HEIGHT = 32 FT. CLEAR
- REQUIRED:**
- BUILDING FOOTPRINT = 97,700 S.F. / 91,700 S.F. WITHOUT OFFICE
SKYLIGHT REQUIRED = VOLUME OF BUILDING / 2000 WITH AUTOMATIC SPRINKLER
VOLUME OF BUILDING = 3,128,400 CF.
3,128,400 CF. / 8,000 S.F. = 393.5 S.F.
- PROVIDED:**
- SKYLIGHT PROVIDED = 2.5 % = 2,442.5 S.F. (76 SKYLIGHTS, 32 S.F. EA)
- MODEL:**
- SKYLIGHT MODEL = MANUFACTURED BY BRISTOLITE DAYLIGHTING SYSTEM
MODEL # 1488B-25-CM-A-H-101 OR EQUAL
- BULGAR BAR MODEL = PROVIDED BULGAR BAR AT ALL SKYLIGHT LOCATION-TYP.



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& KANSAS AVE. BY
STALEY POINT

CITY OF RIVERSIDE, CA

Consultants:

CIVIL
STRUCTURAL
MECHANICAL
PLUMBING
ELECTRICAL
LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

Title: OVERALL ROOF PLAN

Project Number: 21074
Drawn by: AIV
Date: 08/01/24
Revision:









Sheet:



2-DAB-A2.10



- 1 CONCRETE TILT UP PANEL (PAINTED)
- 2 FRAMES GRADE W/OUT "S" OR "D" DIMENSIONS WATERPROOF ALL WALLS TO TOP OF GRADE. PROVIDE 1/2" MIN. GAP BETWEEN THE WALL AND "S" OR "D" TO ALLOW FOR DRAINAGE. PROVIDE TRENCH DRAIN AT BOTTOM AND SEAL OFF FOR THE TRENCH DRAIN FRAME
- 3 NOT REQUIRED AT DOOR COILING CONDITION OR AT RAMP WALLS
- 4
- 5 PANEL REINFORC. ALL DETAILS TO HAVE A MAX. OF 3/8" C/SFER. CHARGE. PANEL DETAIL TO ALLOW BUILDING FIELD DETAIL. I.E.D.
- 6 TILT UP PANEL TO BE 4' HIGH. 4' WIDE. 4' DEEP. PROVIDE 1/2" MIN. GAP BETWEEN PANEL COILING TO MATCH FIELD COILING.
- 7 PROVIDE 1/2" MIN. GOR IN ALL CORNERS AROUND
- 8 PROVIDE MEDIAN-STRIPPED PROTECTION ALL AROUND
- 9 PROVIDE 1/2" MIN. GOR IN ALL CORNERS AROUND
- 10 CONCRETE STRIP, LANDING AND JOINTING W/ 1/4" METAL. PER FEDERAL PROVISIONS. PROVIDE 1/2" MIN. GOR IN ALL CORNERS AROUND
- 11 PROVIDE 1/2" MIN. GOR IN ALL CORNERS AROUND
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- 100 PROVIDE 1/2" MIN. GOR IN ALL CORNERS AROUND

- A. ALL PAINT COLOR CHANGES TO OCCUR AT JUDGE CORNERS UNLESS NOTED OTHERWISE.
- B. ALL PAINT FINISHES ARE TO BE FLAT UNLESS NOTED OTHERWISE.
- C. T.O.P. = FLOOR TOP OF PARAPET ELEVATION.
- D. T.F.F. = TRIM FINISH ELEVATION.
- E. STOREFRONT CONSTRUCTION: GLASS, METAL ATTACHMENTS AND UNITS. CONTRACTOR SHALL SUBMIT ALL DRAWINGS PRIOR TO INSTALLATION.
- F. CONTRACTOR SHALL FULLY PAINT ONE CONCRETE PANEL 8' SELECTED COLORS. ARCHITECT AND OWNER SHALL APPROVE PRIOR TO PAINTING REMAINING BALCONY.
- G. BACK SIDE OF PARAPETS TO HAVE SMOOTH FINISH AND BE FINISHED WITH SERRAVALLO BALCONY PAINT.
- H. FOR SPANDREL GLAZING, ALUMINUM SPACE BEHIND SPANDREL TO BREATH.
- I. USE ACHIEVE BACK WOOD STRIPS FOR ALL REVEAL FLOORS.
- J. THE FIRST COAT OF PAINT TO BE ROLLED-ON AND THE SECOND COAT TO BE BRUSHED-ON.
- K. EXTERIOR WALL SHALL BE PROVIDED WITH A GRAFFITI-RESISTANT COATING OR PAINT, TO A HEIGHT OF 12' FOR BUILDING OR STRUCTURE SURFACES. THIS IS INTENDED TO BE PAINTED (E.G. SPLIT-FACE BLOCK, DECORATIVE TILE, ETC.).

- | | |
|---|--|
|  | ① CONCRETE TILT-UP PANEL, PANT BRAND, SHERN-WILLIAMS SW7005 PURE WHITE |
|  | ② CONCRETE TILT-UP PANEL, PANT BRAND, SHERN-WILLIAMS SW7043 WORLDLY GRAY |
|  | ③ CONCRETE TILT-UP PANEL, PANT BRAND, SHERN-WILLIAMS SW7045 INTELLECTUAL GRAY |
|  | ④ CONCRETE TILT-UP PANEL, PANT BRAND, SHERN-WILLIAMS SW8524 COMMODORE |
|  | ⑤ MELLONS
COLOR: SHERN-WILLIAMS SW7076 CHERRISPAK |
|  | ⑥ GLAZING
COLOR: BLUE REFLECTIVE GLAZING |
|  | ⑦ METAL PANEL
PANT BRAND, GLOSS-HUE PERFORMANCE SMOKE24 COMMODORE |
|  | ⑧ CORONADO STONE
STYLE: BROADBENT
COLOR: LA JOLLA BEIGE
SIZE: 2 1/2" x 8" |

- | | | | |
|---|-------------------------|---|---|
|  | TEMPERED SPANDELL GLASS |  | TEMPERED VISION INSULATED GLASS
PPG: VISTACOL (2) PACIFYCA + SOLARBAN
SOLARBAN 60 (3) CLEAR
U VALUE: 0.27, SHGC: 0.21 AND VLT: 28%
1" INSULATED GLASS WITH 1/2" AIRSPACE
AND (2) 1/4" LITES. |
|---|-------------------------|---|---|



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FIRE PROTECTION	-
SOILS ENGINEER	-

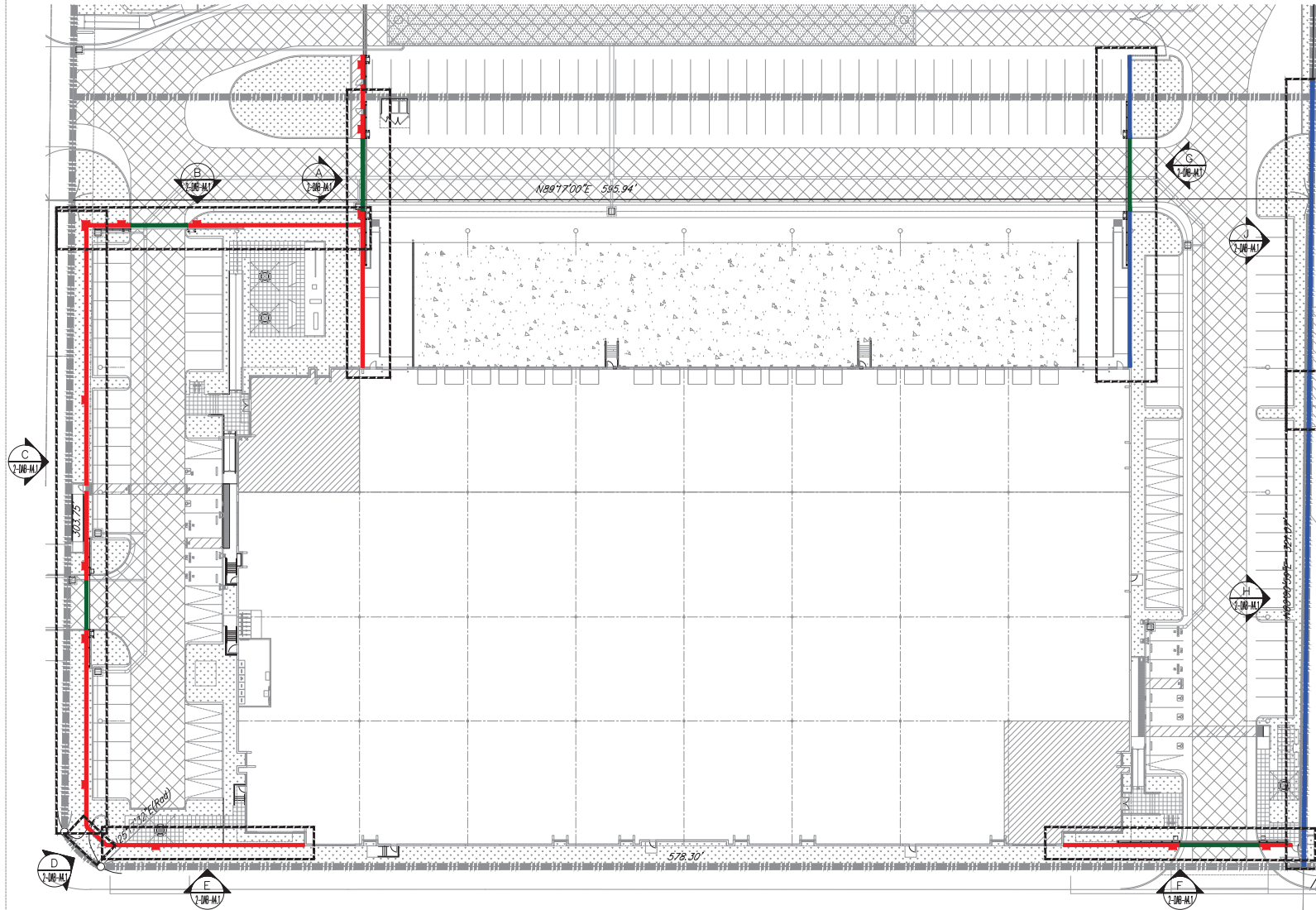
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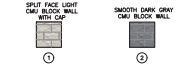
KEYPLAN



KEY NOTES

- ① 4\"/>

COLOR LEGEND



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LANDSCAPE
FIRE PROTECTION
SOILS ENGINEER

HUNTER

Title: KEYPLAN SCREENWALL

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