





VIEW OF BUILDING 9 ALONG STREETER AVE. 1



VIEW OF PEDESTRIAN CONNECTIVITY ALONG STREETER AVE. 2

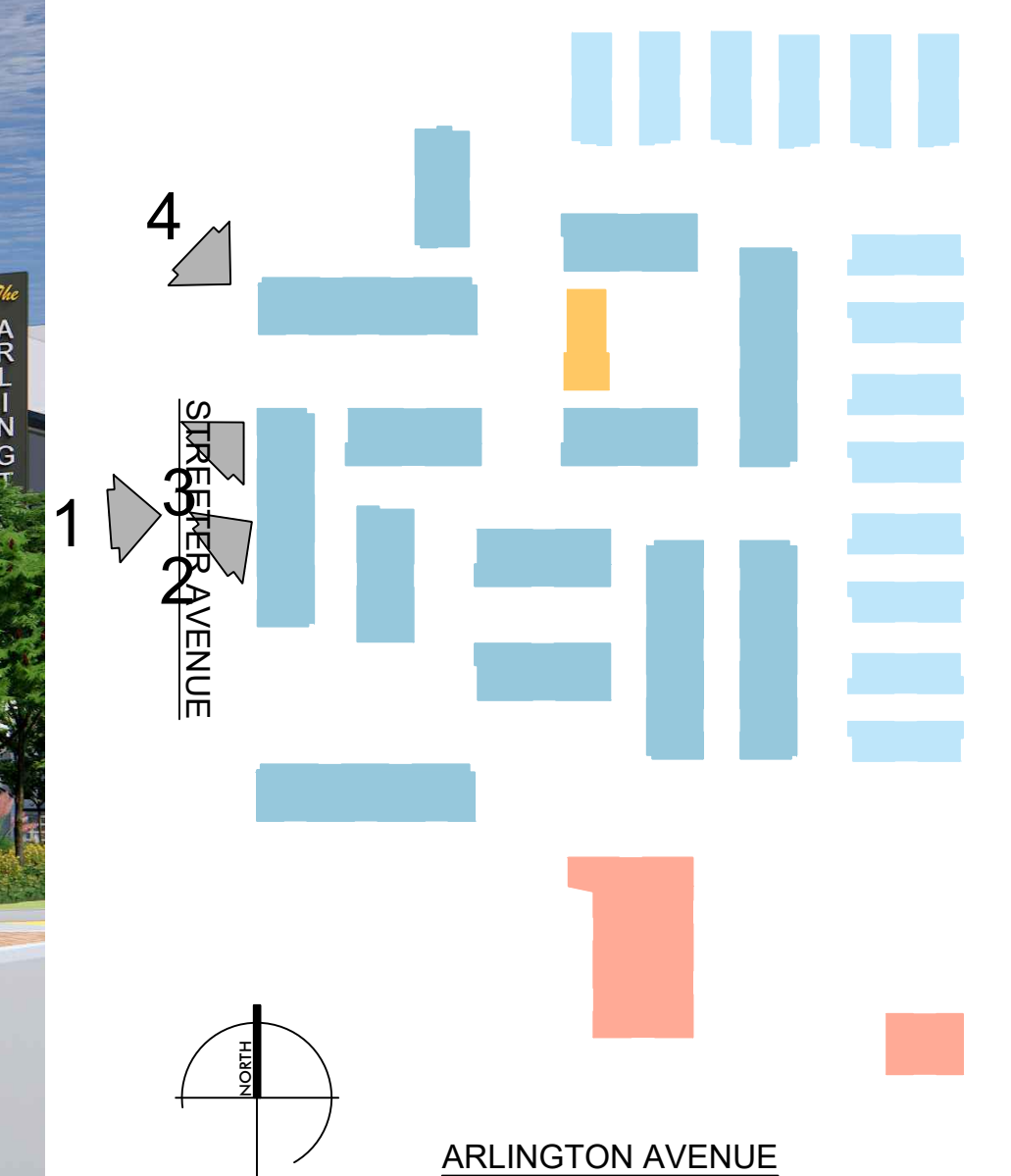


LOOKING NORTHEAST ON STREETER AVE. 3



LOOKING SOUTH ALONG STREETER AVE. 4

KEY MAP





VIEW OF A TYPICAL TOWNHOME PEDESTRIAN WALKWAY 5



CLOSE-UP OF PROJECT CLUBHOUSE 6

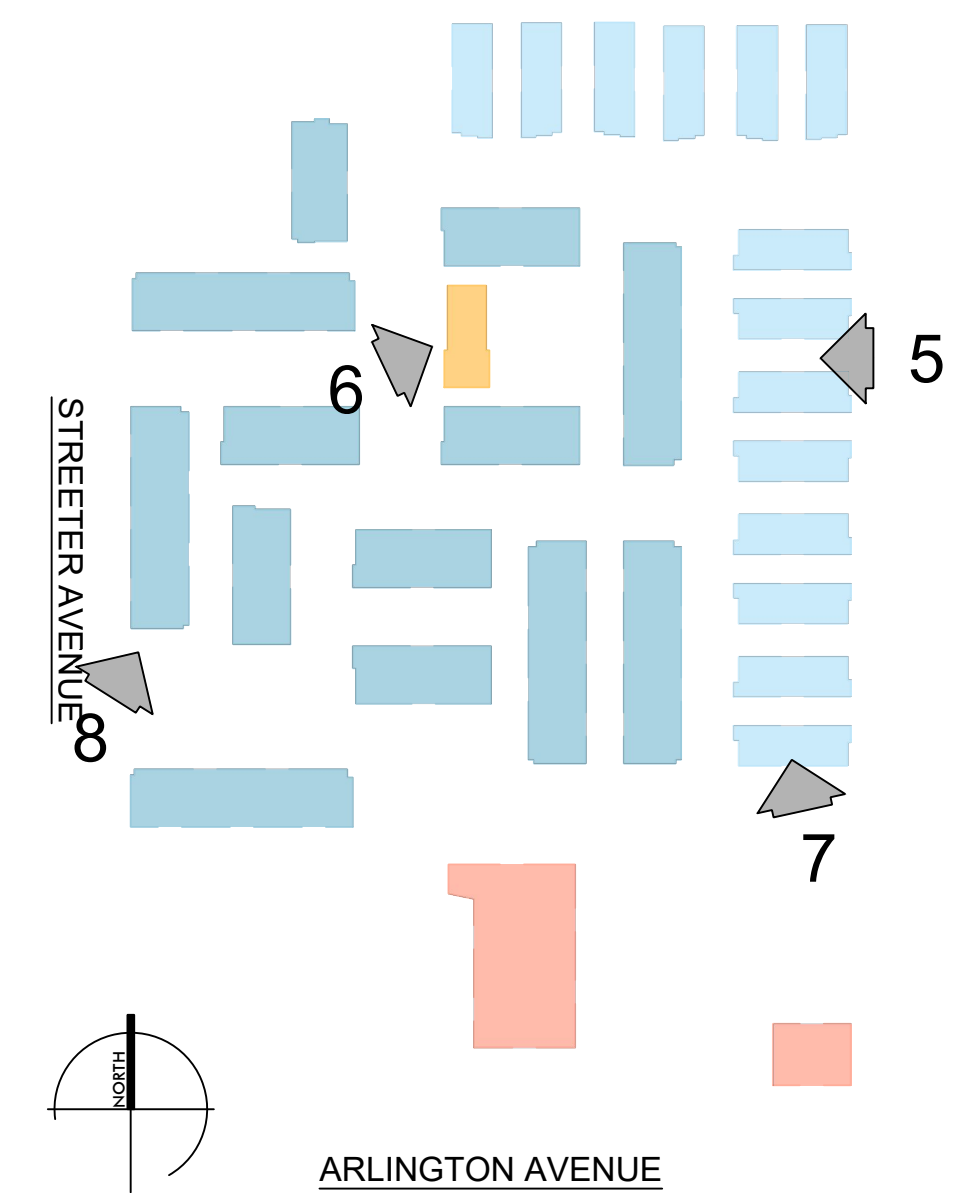


CLOSEUP OF TOWNHOME FACING DOG PARK 7



CLOSE-UP VIEW OF BUILDING CORNER WITH ENHANCED MATERIALS 8

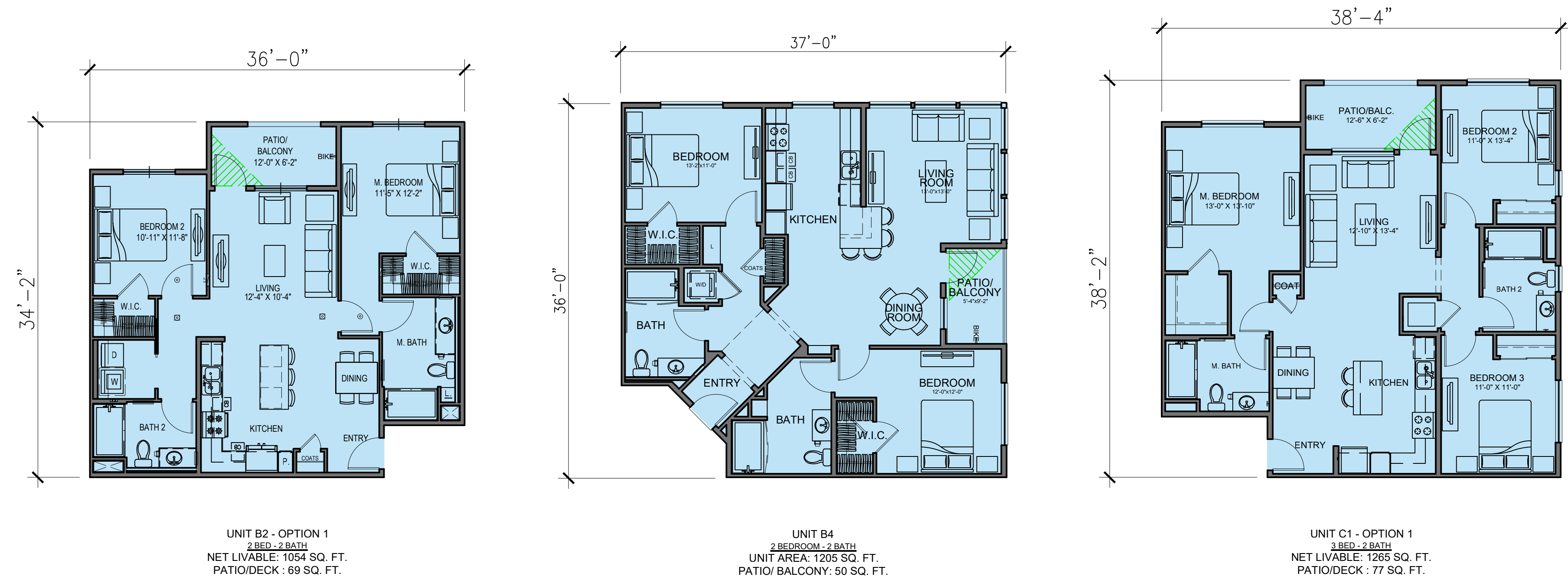
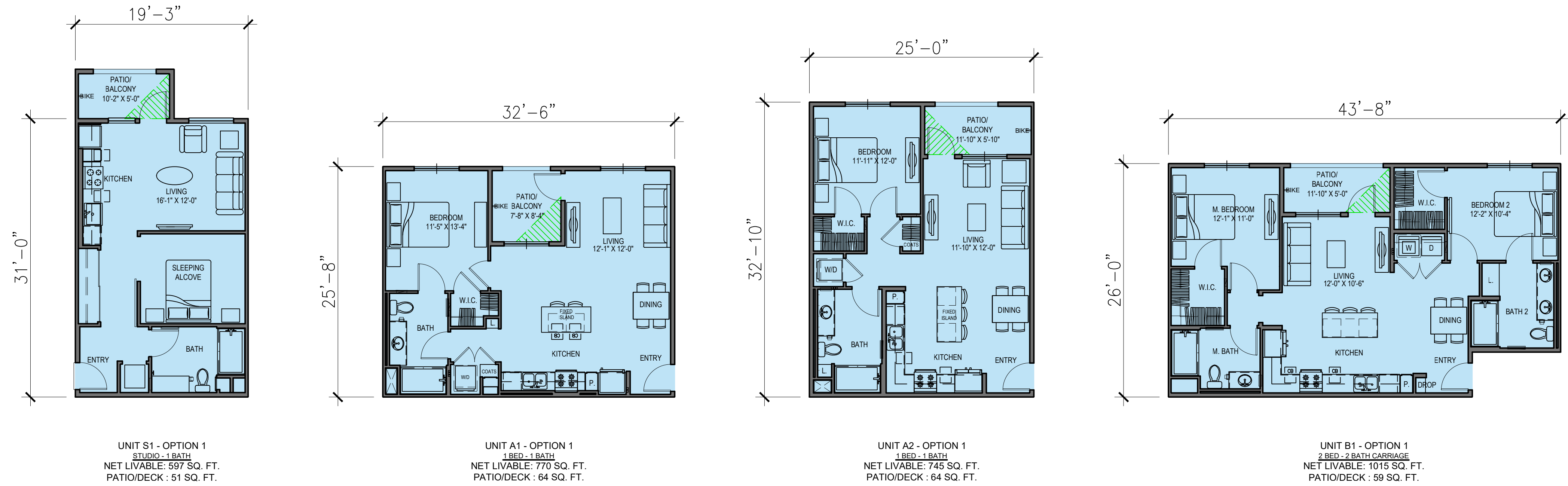
KEY MAP



LEGEND



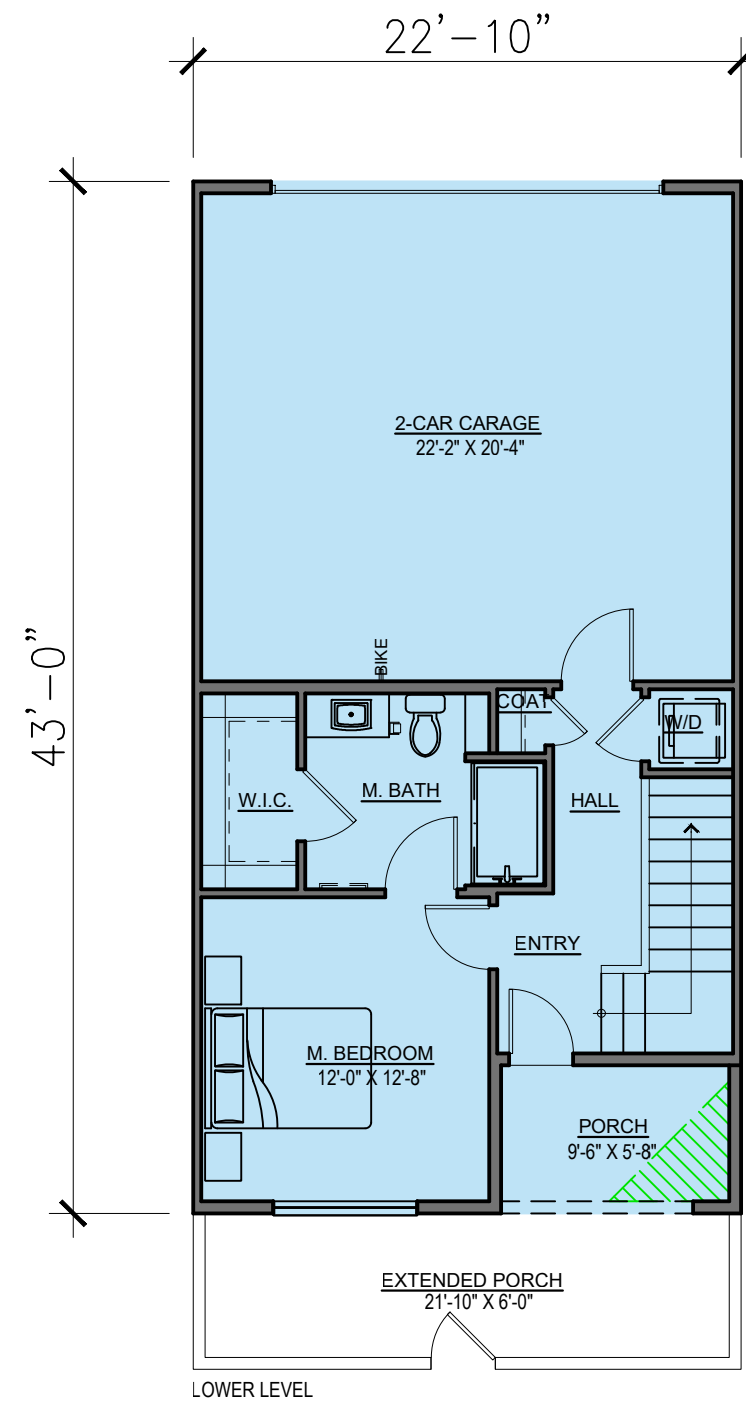
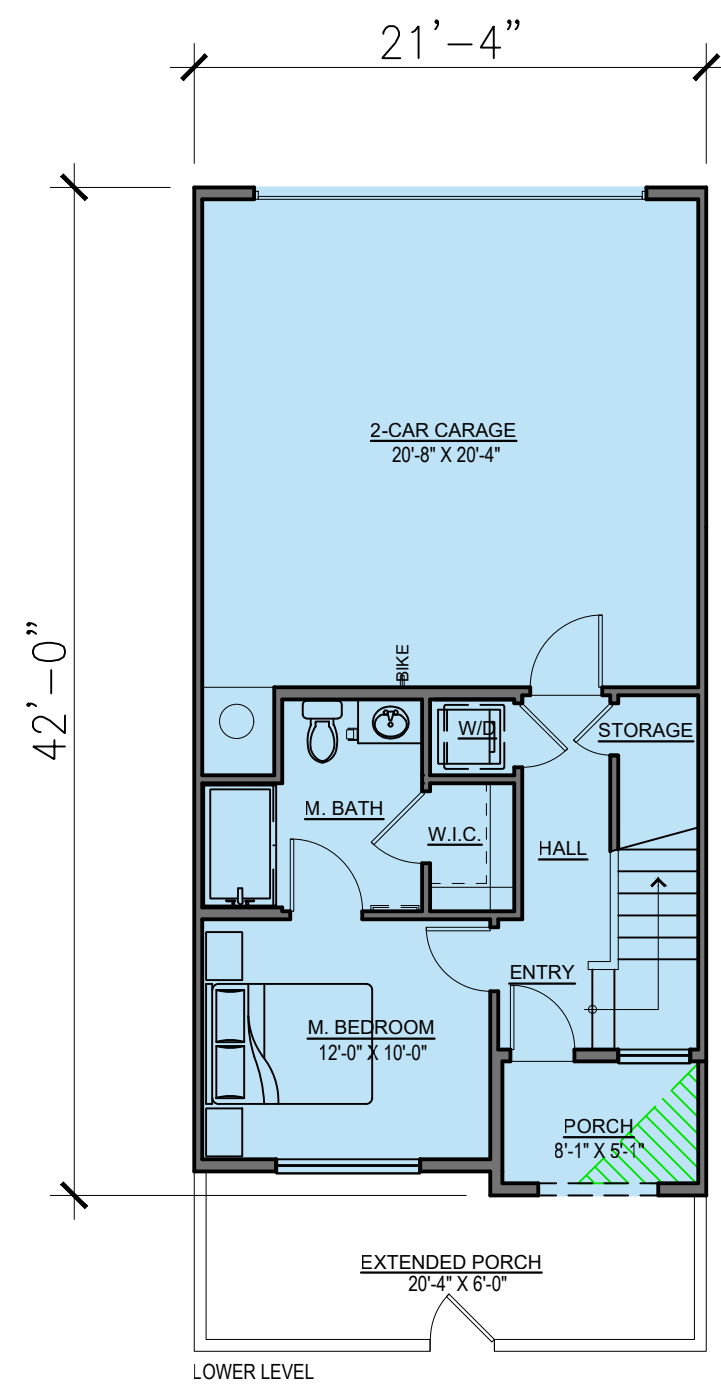
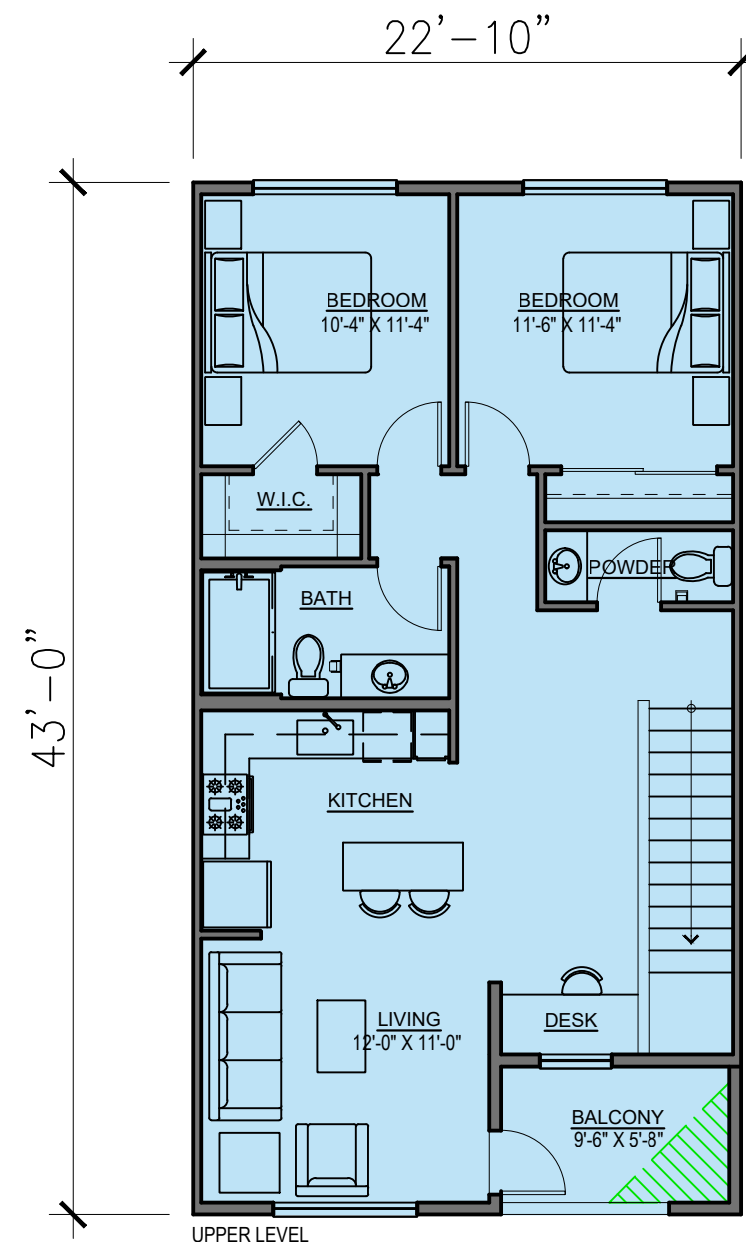
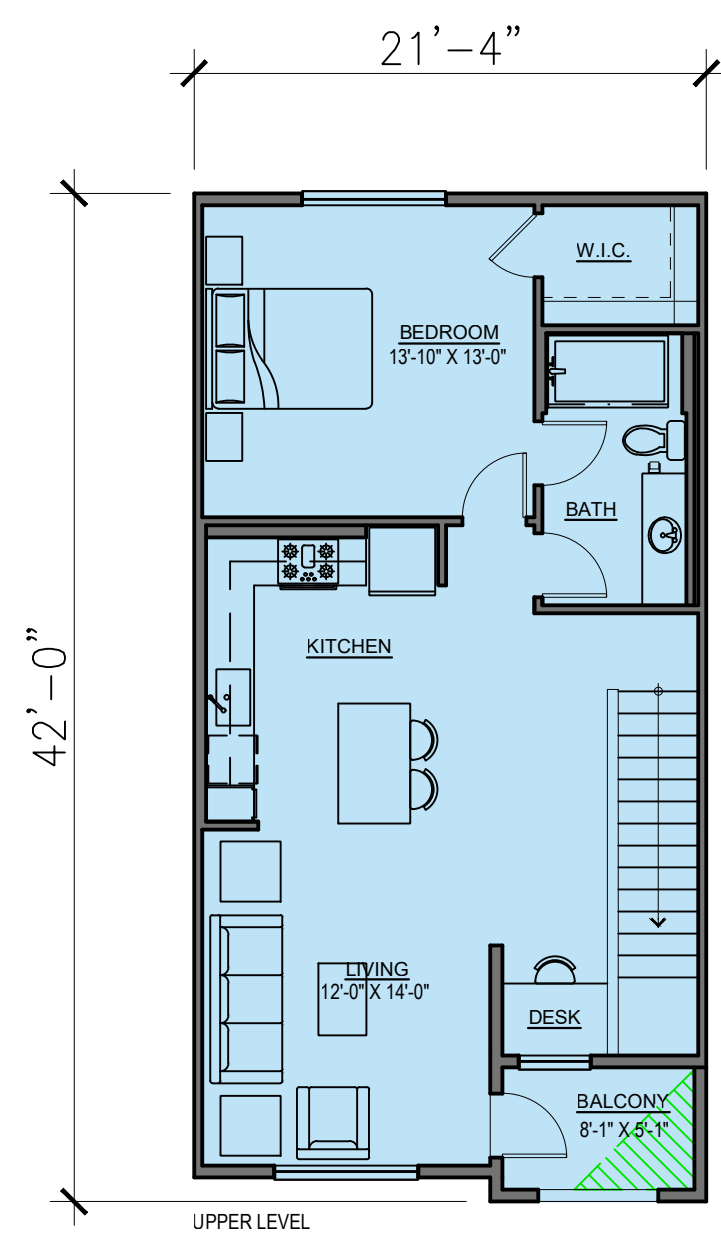
5'x5' MIN. OPEN SPACE DIMENSION



LEGEND



5'x5' MIN. OPEN SPACE DIMENSION



UNIT B3 - TOWNHOME
2 BED - 2 BATH
NET LIVABLE: 1162 SQ. FT.
PATIO/DECK : 215 SQ. FT.

UNIT C2
3 BED - 2.5 BATH
NET LIVABLE: 1307 SQ. FT.
PATIO/DECK : 243 SQ. FT.



FOULGER-PRATT



ARLINGTON MIXED USE

Riverside, CA

PR-2022-001252 - 5261 Arlington Avenue - Exhibit 8 - Project Plans (Architecture)

Unit Plans
Townhomes



A6.2

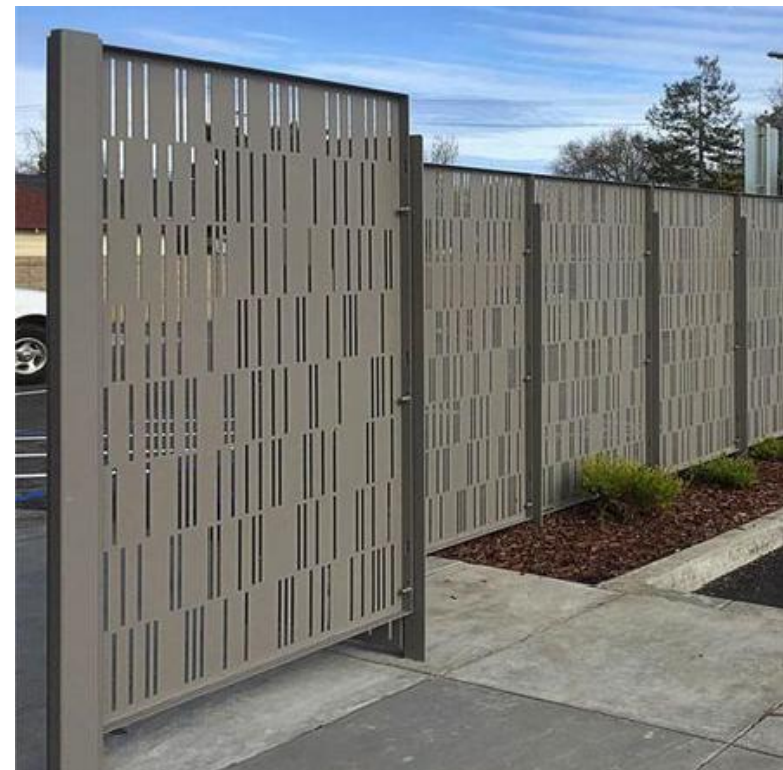
Scale 1" = 8'
Job No. 2020-0055
Date 03-13-2024

1	SPLIT FACE BLOCK W/ CAP
2	SLOPED METAL ROOF
3	METAL GATE
A	SW 6006 - BLACK BEAN

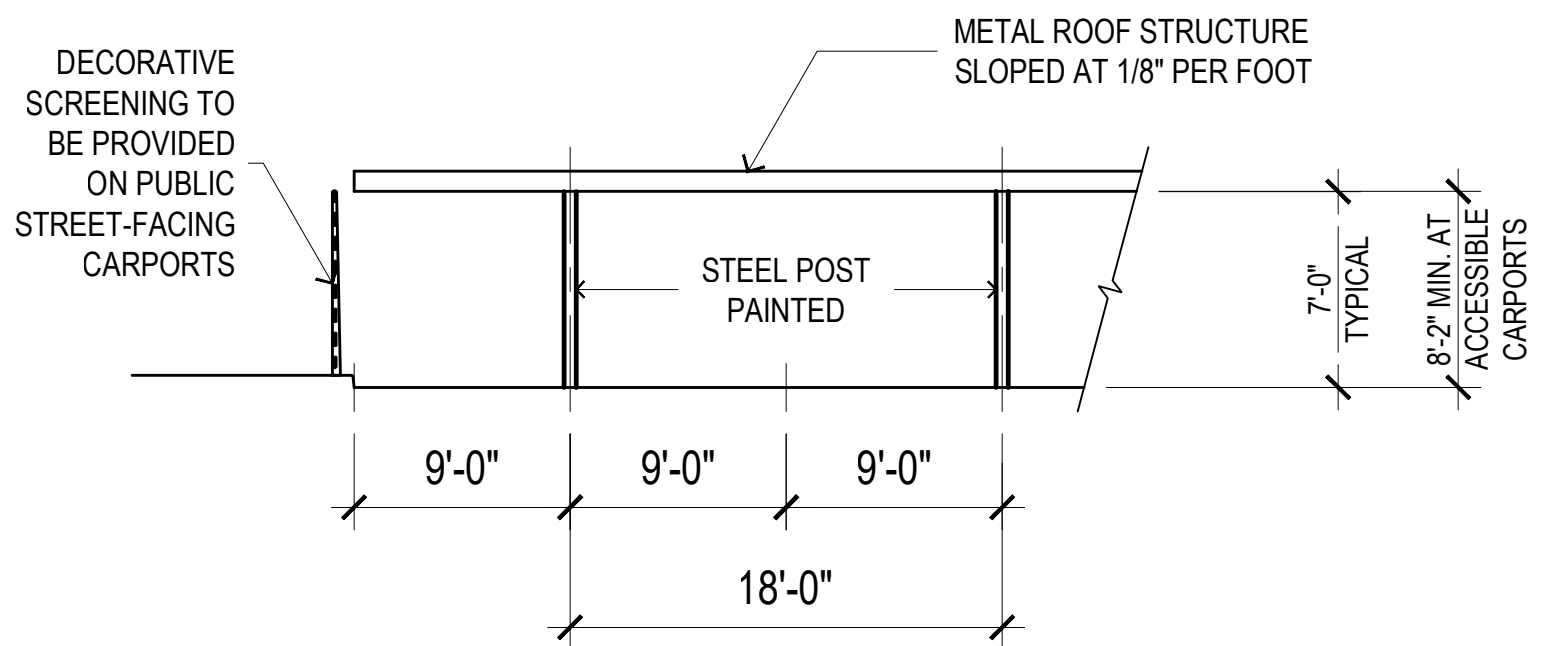




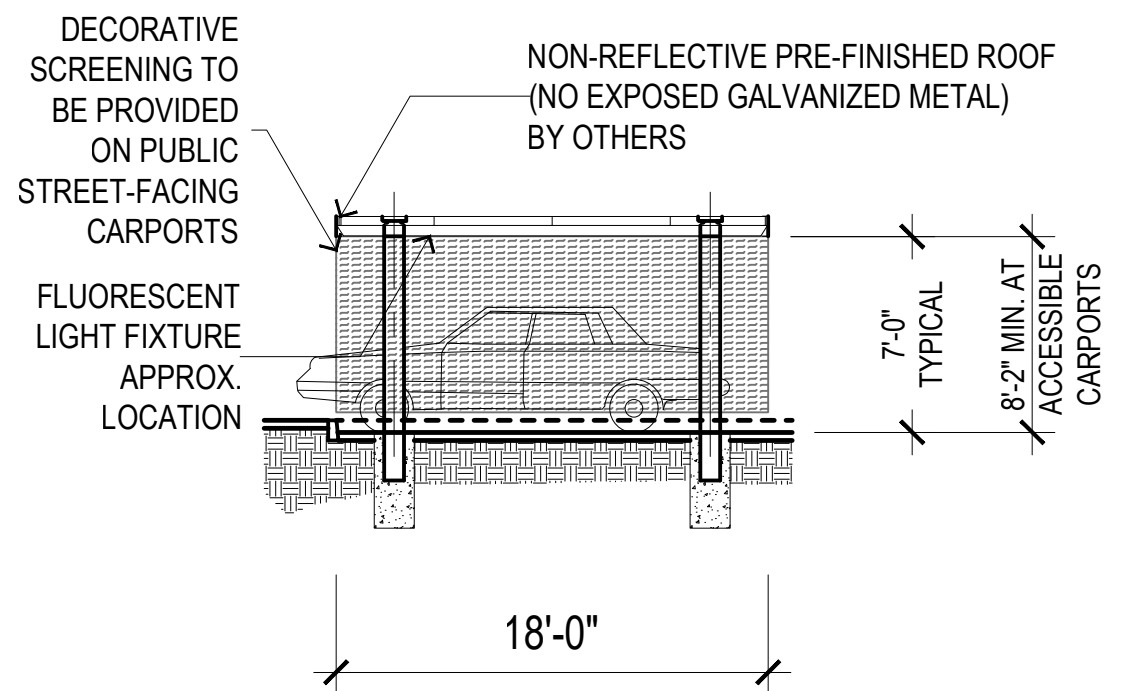
SAMPLE CARPORT IMAGES



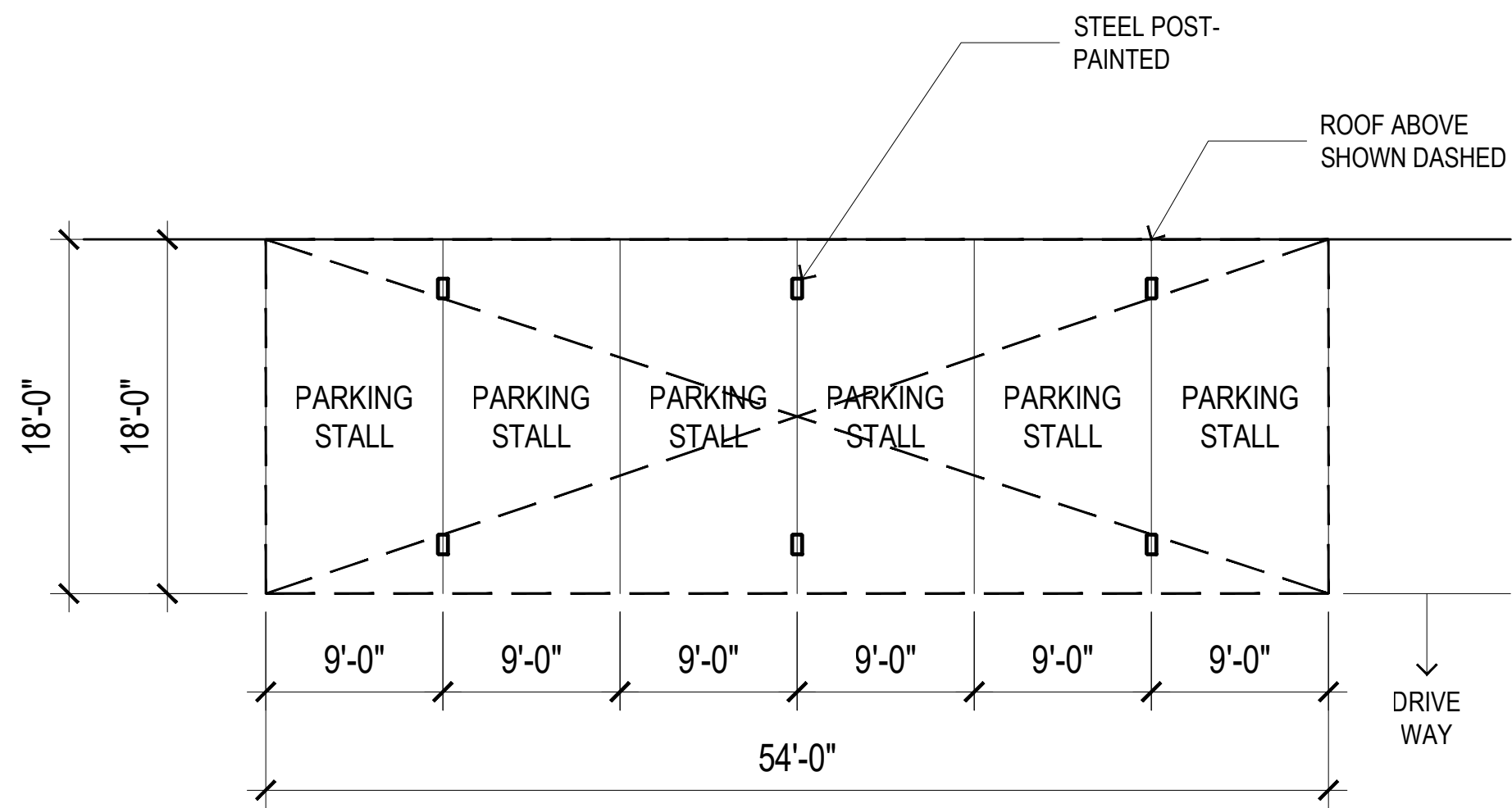
SAMPLE SCREEN
(DESIGN SUBJECT TO CHANGE)



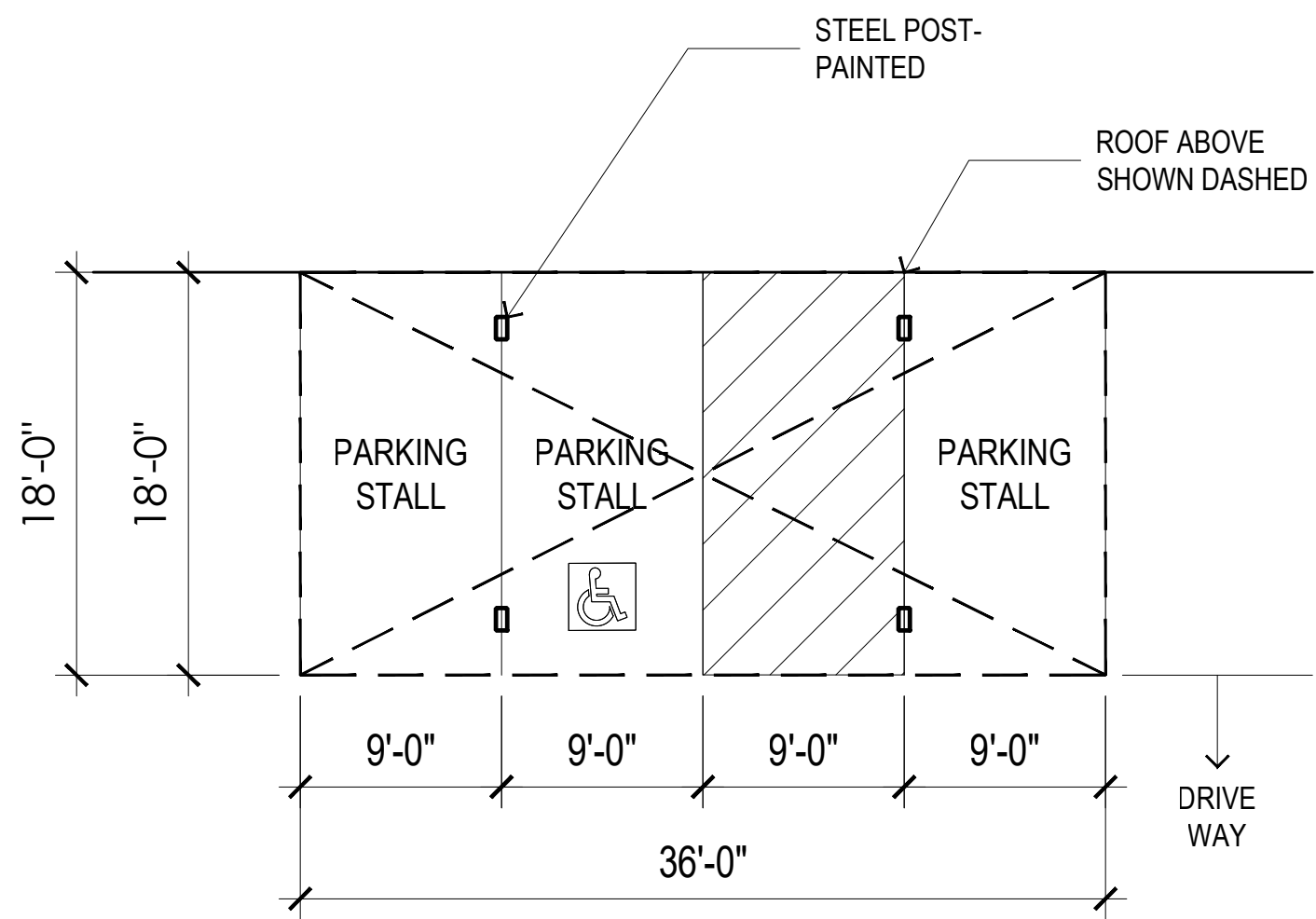
FRONT ELEVATION (TYP.) 1



SIDE ELEVATION (TYP.) 2



STANDARD CARPORT PLAN (TYP.) 3



ADA CARPORT PLAN (TYP.) 4