

GENERAL SITE NOTES:

WHERE APPLICABLE:
JOB CARD 0020 TO BE AVAILABLE FOR SIGNATURE AT JOB SITE.
CONTRACTOR TO PROVIDE THE BLUE DRAWING A COMPLETED CSE FOR OF-68 PRIOR TO THE REQUEST FOR A FINAL INSPECTION. IT IS UNDERSTOOD THAT NO FINAL INSPECTION WILL BE MADE UNTIL THIS FORM IS SUBMITTED.

CHANGES FROM THE APPROVED PLANS DURING CONSTRUCTION OTHER THAN 1) CANNOT CHANGES WHEN NOT BEING SUPPORTED ENTIRELY BY THE ROOF STRUCTURE, 2) INTERIOR DOOR AND FIREPLACE RELOCATION SHOWN ON THE APPROVED PLAN, 3) A SINGLE NON-BEARING WALL RELOCATION WHEN NOT CREATING AN ADDITIONAL ROOM, AND 4) INTERIOR NONSTRUCTURAL WALL FINISHES, SHALL CAUSE PLAN APPROVAL AND CONSTRUCTION TO BE SUSPENDED. A NEW PLAN CHECK (FOR A NEW PLAN SHOWING CHANGES) WILL BE SUBMITTED FOR REVIEW AND APPROVAL THROUGH THE NORMAL PLAN CHECK PROCESS.

SURFACE WATER TO BE DRAINED AWAY FROM BUILDING FOR AT LEAST 10 FEET WITH A MIN. GRAD OF 6" OF THE OVERALL LOT DRAINAGE. SLOPE MUST BE MAINTAINED AT 1% MIN. FROM REAR TO FRONT WITH A MIN. SLOPE OF 1/2%.

SLOPE ALL FINISH GRADES AWAY FROM STRUCTURE FOR A POSITIVE DRAINAGE @ 6" FOR A MIN. OF 10'-0" TOWARD APPROVED DRAINAGE FACILITIES.

WORK AND COORDINATION OF ALL TRADES WITH GOVERNING AGENCIES. HE SHALL PROVIDE ALL MATERIALS AND LABOR SHOWN OR IMPLIED ON THESE PLANS TO RENDER THE WORK COMPLETE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL DIMENSIONS, GRADES AND OTHER CONDITIONS. HE SHALL CORRELATE ALL SUCH ITEMS AT THE JOB SITE. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGNER FOR CORRECTION AND/OR CLARIFICATION PRIOR TO BEGINNING ANY WORK.

THE CONTRACTOR SHALL PROVIDE ADEQUATE SHORING, BRACING, GUYS, ETC., TO HOLD THE WORK SECURELY IN PLACE AND TO SUSTAIN ALL APPROVED LOADS THAT MAY OCCUR DURING CONSTRUCTION. SUBSEQUENT CONSTRUCTION IS ADEQUATE TO REPLACE TEMPORARY BRACING AND SUPPORTS.

THE CONTRACTOR SHALL ERECT AND MAINTAIN, AS REQUIRED BY EXISTING CONDITIONS AND PROGRESS OF THE WORK, ALL REASONABLE SAFEGUARDS FOR SAFETY AND PROTECTION NOTICES AND OTHER WARNINGS AGAINST HAZARDS, PROMULGATING SAFETY REGULATIONS AND NOTIFYING OWNERS AND USERS OF ADJACENT UTILITIES.

THESE CONSTRUCTION DRAWINGS SHOW SPECIFIC DETAILS OF CONSTRUCTION FOR CONCRETE, STYLE AND STRUCTURAL INTEGRITY. WHERE SPECIFIC DETAILS ARE NOT SHOWN, CONSTRUCTION METHODS SHALL BE OF A SIMILAR NATURE.

PROJECT DESIGN FEATURES THAT WILL BE IMPLEMENTED

HAZ-1: Prior to subsurface disturbance activities, an SMP will be prepared to address the possibility of encountering localized areas containing contaminants of potential concern, including VOCs, petroleum hydrocarbons, SVOCs, and metals. The plan will be prepared by a qualified environmental consultant and will be implemented during soil disturbance activities under the oversight of an environmental professional. The plan will address monitoring excavated soil, community and worker health and safety, and soil handling, stockpiling, characterization, on-site reuse, export, and disposal protocols.

HAZ-2: For areas with the potential for encountering soil contamination (e.g., near areas of known or suspected contamination), appropriate worker and community health and safety measures (e.g., dust control, air monitoring, and stockpile management) will be implemented by the contractor, under the oversight of a qualified environmental professional.

HAZ-3: A hazardous waste management plan will be prepared before disturbing utilities (e.g., cementitious pipelines), electrical/lighting equipment, and hazardous building materials such as ACM, UFF, treated wood, and other materials falling under UMF requirements. The plan will address testing protocols, handling, and disposal requirements, and will be implemented by a California Department of Public Health Certified Lead Inspector/Assessor, California Division of Occupational Safety and Health Certified Asbestos Consultant, and/or professionals appropriately qualified in their field, in accordance with applicable local, state, and federal guidelines and regulations.

HAZ-4: An ACM survey will be conducted in accordance with the local SCDQM Rule 1403 requirements for all buildings planned for demolition. Handling and disposal of lead-containing surfaces that may be present in buildings will be conducted in accordance with 17 CSR and 8 CSR, Division of Occupational Safety and Health Lead in Construction Standard § 1532.1.

HAZ-5: Consideration will be given to placement of a high visibility geomembrane at the base of excavation in areas of impacted soil or soil vapor to isolate excavations of potential underlying exposure to chemicals detected below the membrane.

HAZ-6: Arsenic levels exceeding DTSC's Southern California Regional Background Arsenic Concentration of 12 mg/kg in soil samples collected in the upper 1 to 2 feet of soil along the former railroad tracks in Area C are considered as hazardous materials. Soil within the width of the railroad tracks to a depth of 2 feet will be separately stockpiled for off-site disposal at a licensed facility that will accept soil with elevated arsenic levels.

HAZ-7: Soil disturbance activities will not be allowed on the So. Cal Gas property (Area A and C) without approval of the SMP by the DTSC and prior notification. Any soil removed in the property will be managed in accordance with applicable state and federal provisions.

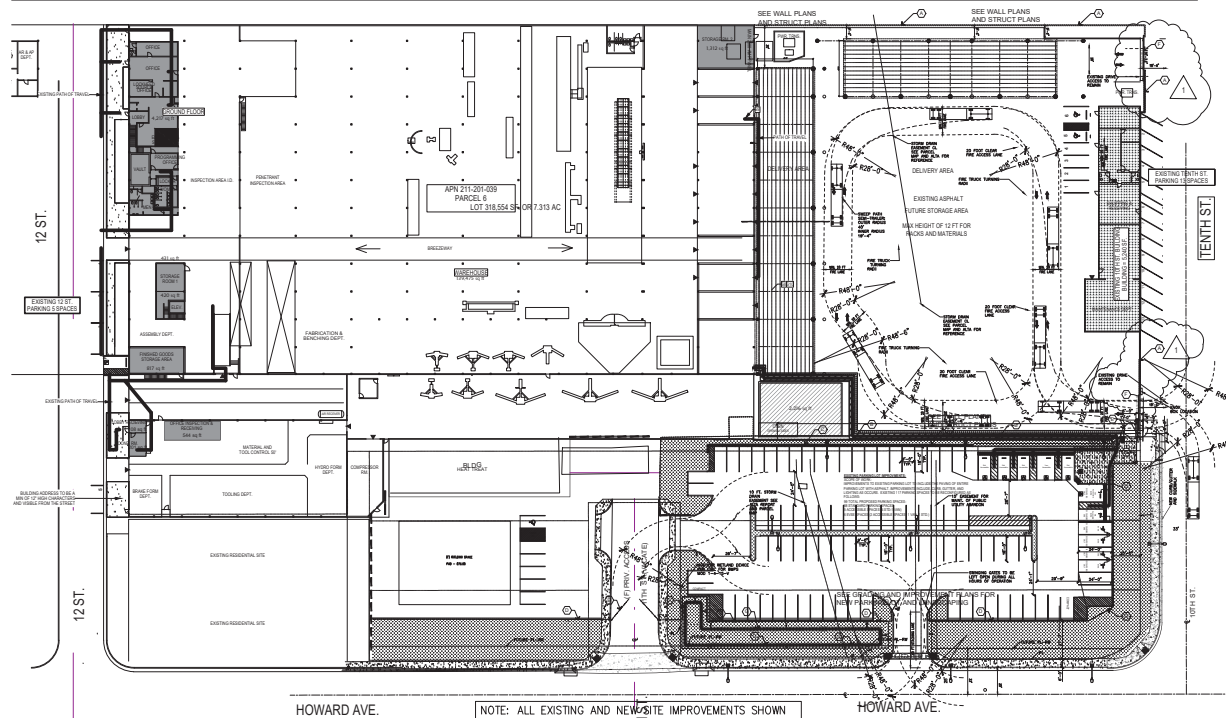
HAZ-8: Activities that may disturb, alter, damage, or destroy groundwater monitoring wells on the So. Cal Gas property (Area A and C) are prohibited unless given authorization by the DTSC and the RWQCB. The use of the property will preserve the integrity and physical accessibility of the groundwater monitoring wells. DTSC will be notified about any damage caused to the groundwater monitoring wells.

HAZ-9: Dust control measures to minimize fugitive dust emissions during construction and demolition activities will be implemented. Dirt loaded onto paved roads from unpaved areas will be minimized. Trucks hauling excavated materials to the disposal site will be covered and haul routes to the disposal site will avoid the proposed Eastside Neighborhood school.

DESIGN PARAMETERS:

ALL CONSTRUCTION SHALL COMPLY WITH THE ADOPTED ORDINANCES AND POLICES OF THE GOVERNING AGENCY, COUNTY OF SAN BERNARDINO, AND THE LATEST ADOPTED EDITIONS OF THE FOLLOWING:

CALIFORNIA BUILDING CODE (CBC)	2022
CALIFORNIA PLUMBING CODE (CPC)	2022
CALIFORNIA MECHANICAL CODE (CMC)	2022
CALIFORNIA FIRE CODE (CFC)	2022
CALIFORNIA ELECTRICAL CODE (CEC)	2022
STATE OF CALIFORNIA, TITLE-24	2022



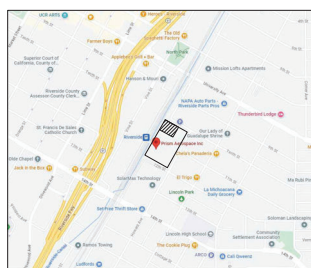
HOWARD AVE.

NOTE: ALL EXISTING AND NEW-SITE IMPROVEMENTS SHOWN FOR REFERENCE ONLY. FOR GRADING, DRAINAGE, AND OTHER CIVIL PLANS, SEE ORIGINAL APPROVED DRAWINGS.

HOWARD AVE.



SITE PLAN
SCALE: 1" = 40'-0"
REV. 4



VICINITY MAP

N.T.S.



SITE DATA

SITE ADDRESS : 3087 12TH STREET
RIVERSIDE, CA 92507
ASSESSOR'S PARCEL NO. : 211-201-039
PROPERTY ZONE : S-1/B
GENERAL PLAN LAND USE : URBAN SERVICE AREA
JURISDICTION : CITY OF RIVERSIDE
URBAN SERVICE AREA : SAN BERNARDINO COUNTY
SPHERE OF INFLUENCE : SAN BERNARDINO COUNTY
LOT AREA : 318,554 SF. (7,313 ACRES)

DESIGNER

DRP ENTERPRISES LLC
ATTN: SAN PABLO
EMAIL: DP@ENTERPRISESDRP.COM
TEL: 956-734-7765

OWNER / CONTRACTOR

PRISM AEROSPACE
3087 12TH STREET
RIVERSIDE, CA 92507

DEFERRED SUBMITTAL:
NONE

ZONING:

- IF PERMITS ARE TO BE ISSUED TO ANYONE OTHER THAN A LICENSED CONTRACTOR, AN OWNER-BUILDER VERIFICATION MUST BE COMPLETED BY THE OWNER AND SUBMITTED PRIOR TO ISSUANCE OF PERMITS.
- IF THE PERMITTED WILL HIRE EMPLOYEES SUBJECT TO WORKER'S COMPENSATION LAW REQUIREMENTS, PROVIDE A CURRENT, VALID CERTIFICATE OF WORKERS COMPENSATION INSURANCE.
- IF ANY GRADING WORK IS PROPOSED, A GRADING PLAN AND PERMIT MAY BE REQUIRED.

SCOPE OF WORK:

EXISTING PARKING LOT IMPROVEMENTS INCLUDE ASPHALT, CURB AND GUTTER, LIGHT STANDARDS, ACCESSIBLE PARKING AND ELECTRICAL CHARGING STATIONS. ACCESSIBLE PARKING SPACES PROPOSED ARE NEW PROPOSED PARKING SPACES SHOWN IN THE EXISTING PARKING LOT. THE ELECTRICAL CHARGING STATIONS PROPOSED ARE VOLUNTARY BY THE OWNER. AS THE PARKING LOT IMPROVEMENTS DO NOT RELATE TO ANY NEW OR PROPOSED BUILDING.

NOTES:

- THESE PLANS AND RELATED DOCUMENTS MUST BE AVAILABLE AT THE JOB SITE DURING ANY INSPECTION ACTIVITY.
- STREET ADDRESS AND NUMBER SHALL BE POSTED PRIOR TO FIRST INSPECTION.

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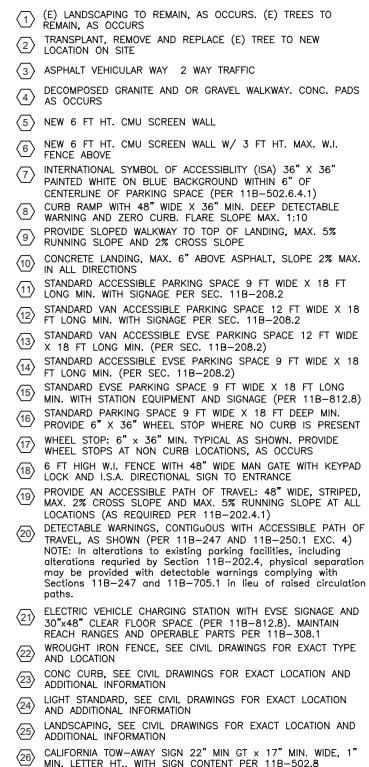
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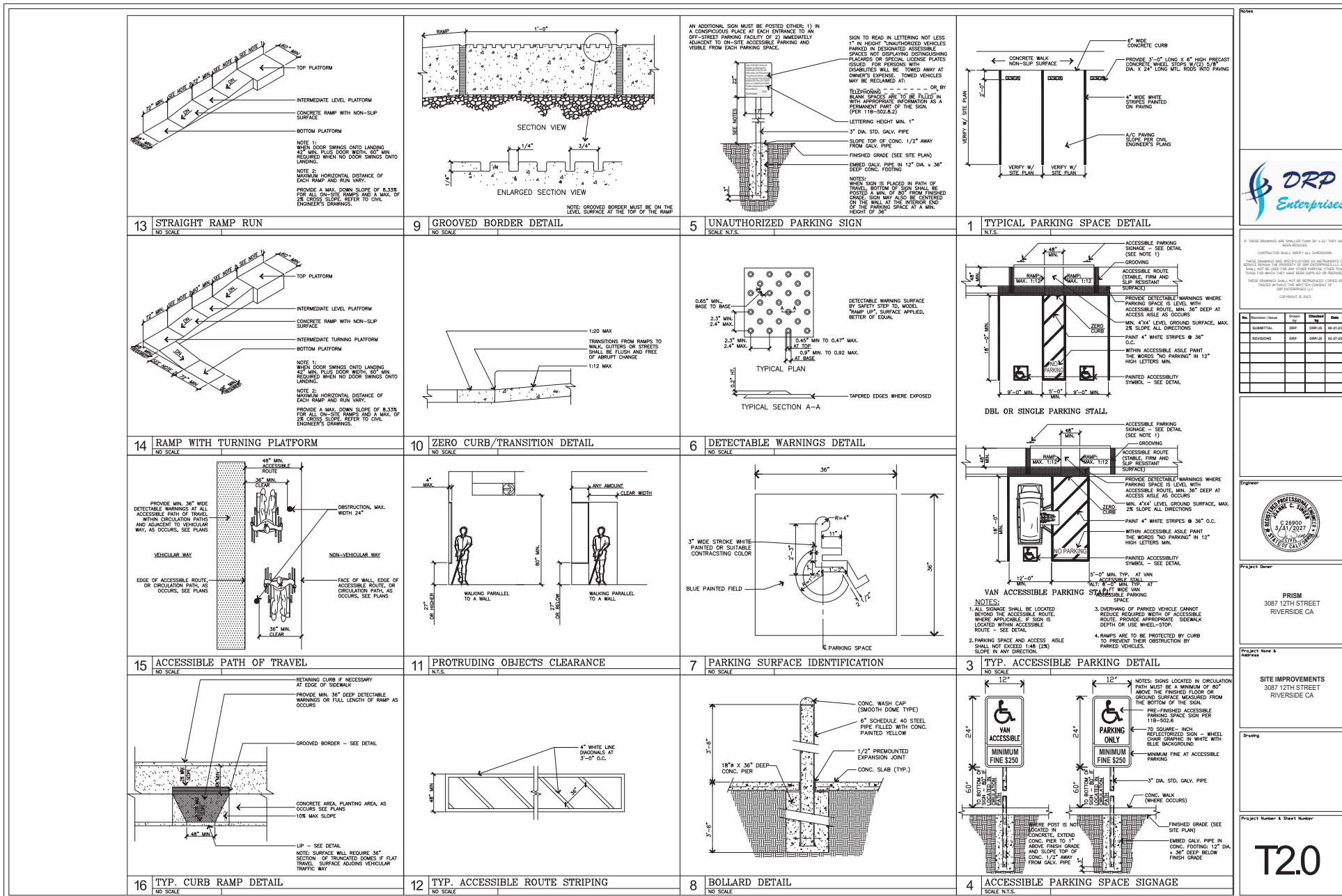
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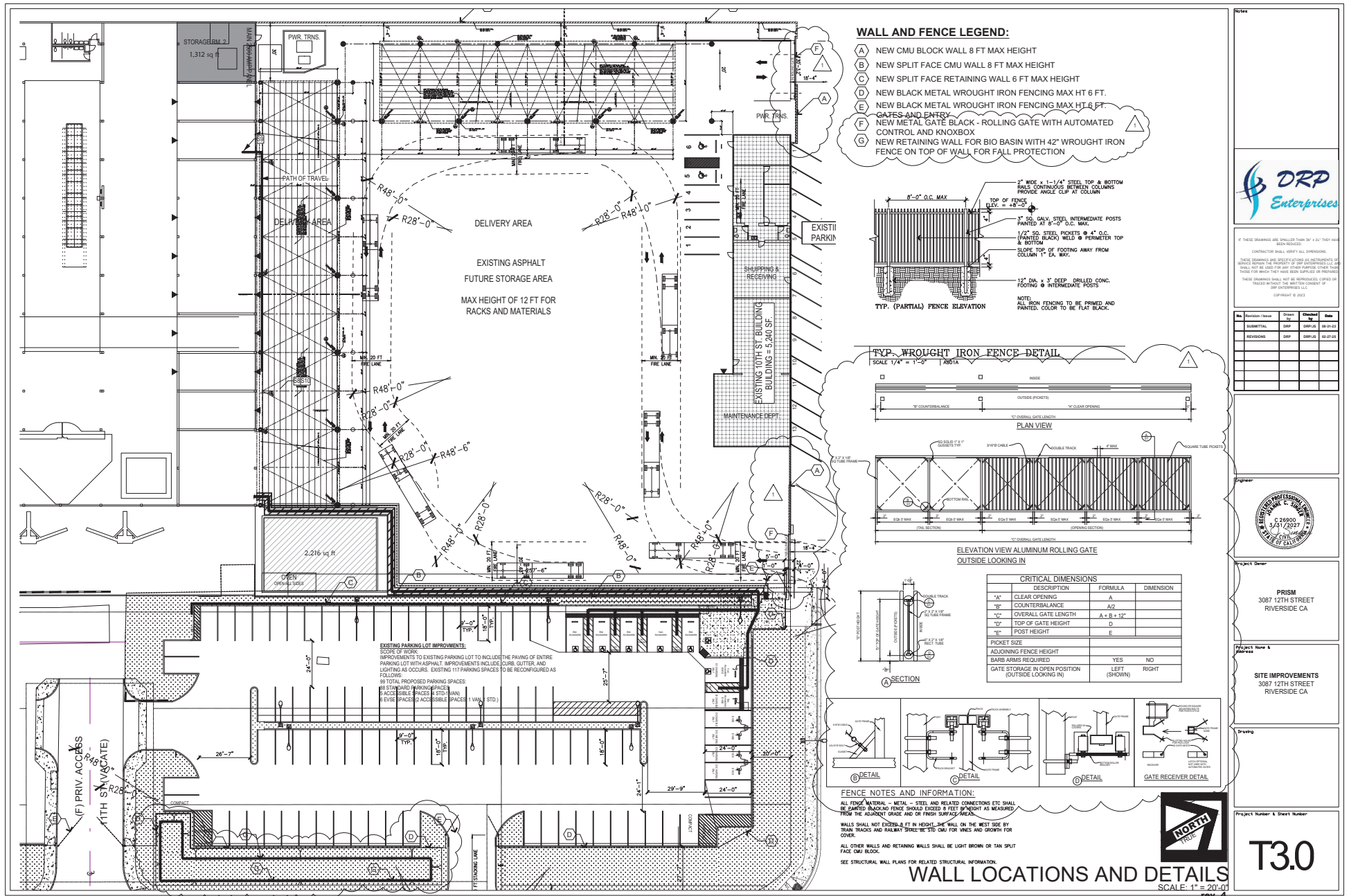


SCALE: 1" = 20'-0"

Project Number & Sheet Number

T1.2





IF THESE DRAWINGS ARE SHOWN TO BE A PART OF ANY OTHER PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DISCREPANCIES. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECTS OTHER THAN THE PROJECT FOR WHICH THEY WERE PREPARED. THESE DRAWINGS SHALL NOT BE REPRODUCED, COPIED OR TRACED WITHOUT THE WRITTEN CONSENT OF DRP ENTERPRISES, LLC. COPYRIGHT © 2023

No.	Revised/Issue	By	Checked	Date
1	SUBMITTAL	DRP	DRP/AL	08-21-24
2	REVISIONS	DRP	DRP/AL	08-27-24



Project Owner
PRISM
3087 12TH STREET
RIVERSIDE, CA

Project Name & Address
SITE IMPROVEMENTS
3087 12TH STREET
RIVERSIDE, CA

Drawing

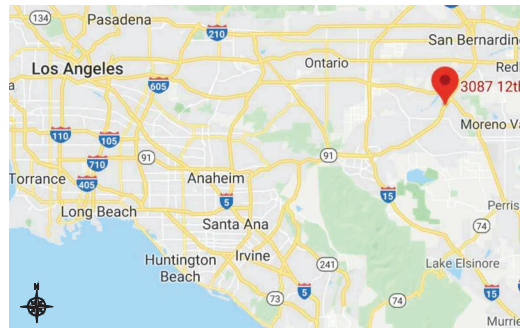
Project Number & Sheet Number

T3.0

rev. 4

LEGEND:			
	CENTERLINE		PROPOSED WATER SERVICE ON SITE
	PROPERTY LINE		PROPOSED SANITARY SEWER ON SITE
	EASEMENT		PROPOSED TELEPHONE
	CHAIN LINK FENCE		PROPOSED ELECTRIC
	WOOD FENCE		PROPOSED WATER AND IRRIGATION METER
	WROUGHT IRON FENCE		PROPOSED OVERFLOW
	BLOCK WALL		PROPOSED STREET LIGHT
	CONTOUR LINE		PROPOSED DRAINAGE SWALE
	SPOT ELEVATION		PROPOSED DRAIN BOX
	BOLLARD		PROPOSED VAULT
	FIRE HYDRANT		PROPOSED 6\"/>
	GAS VALVE		DRAINAGE
	LIGHT POLE		PCC DRIVEWAY/PARKING
	MISCELLANEOUS BOX		BIO SWALE
	POWER POLE		LANDSCAPE AREA
	SEWER MANHOLE		
	STREET LIGHT		
	SIGN		
	TRAFFIC SIGNAL LIGHT		
	STORM DRAIN MANHOLE		
	WATER METER		
	WATER VALVE		
	TREE		

CITY OF RIVERSIDE COUNTY OF RIVERSIDE, CALIFORNIA GRADING PLANS NEW PARKING FACILITY 10TH STREET @ HOWARD AVENUE APN 211-191-021-02



LOCATION MAP

INDEX OF DRAWINGS

COVER SHEET	G-1
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SITE ADDRESS

OWNER - 3087 12TH STREET, RIVERSIDE CA 92522
SITE - 10TH STREET @ HOWARD AVENUE

ASSESSOR PARCEL NUMBERS

APN - 211-191-021-02
211-201-001
211-201-008
211-201-030
211-201-037

ZONING/LAND USE

I - INDUSTRIAL
INDUSTRIAL
POTENTIAL HISTORIC AREA
CITRUS THEMATIC INDUSTRIAL

UTILITY PURVEYORS

WATER - CITY OF RIV. PH: (951) 782-0330
SEWER - CITY OF RIV. PH: (951) 782-0330
GAS - SCS&S PH: (909) 307-7070
ELEC - CITY OF RIVERSIDE PH: (951) 782-0330

LOT ACREAGE

0.732 ACRES

TOTAL AREA DISTURBED

36,848 SQ. FT. OR 0.8 ACRES

TOTAL ACREAGE LESS THAN 1.0 ACRE - NO SWPPP REQ'D.

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF RIVERSIDE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCELS 1 THROUGH 13 AS DESCRIBED IN ALTA / ACSM REPORT AND LAND TITLE SURVEY - ATTACHED AS SEPARATE SUBMITTAL TO THIS PLAN FOR REFERENCE TO LOCATION OF ASSOCIATED PARCELS AND EASEMENTS.

CODES/ORDINANCES

ALL WORK SHALL BE IN COMPLIANCE WITH THE CITY OF RIVERSIDE ORDINANCES, REQUIREMENTS AND CITY MUNICIPAL CODES.

ALL WORK SHALL BE PERFORMED IN COMPLIANCE WITH ALL CALIFORNIA BUILDING CODE REQUIREMENTS (CBC) 2019.

PRIMARY DESIGN STANDARDS

- CITY OF RIVERSIDE - STANDARD DETAILS & GUIDELINES
- 2018 GREENBOOK - STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (18TH EDITION)
- 2018 STANDARD SPECIFICATIONS BY CALIFORNIA DEPARTMENT OF TRANSPORTATION

GRADING & GEOTECHNICAL SPECIFICATIONS:

ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEO-TECHNICAL INVESTIGATION REPORT(S) ENTITLED: REPORT OF PRELIMINARY GEO-TECHNICAL INVESTIGATION FOR PROPOSED PARKING LOT FACILITY PREPARED BY: XXX DATED XXXX.

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

- ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.
- AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF RIVERSIDE GUIDELINES FOR GEO-TECHNICAL REPORTS. THE FINAL 'AS-GRADED' GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEO-TECHNICAL REPORT(S), THE FINAL 'AS-GRADED' GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.
- THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEO-TECHNICAL CONSULTANT(S) OF RECORD. IF THE GEO-TECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEO-TECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF RIVERSIDE GUIDELINES FOR GEO-TECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.
- THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEO-TECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

CIVIL ENGINEER'S NAME - JOANNE SINGER
DRP ENTERPRISES LLC
PO BOX 4428 PALM SPRINGS, CA 92263
760-625-7426
CA RCE 26900 EXP 3/31/2021

GEOLOGIST NAME - XXXXXX
COMPANY NAME
COMPANY ADDRESS
PHONE
LICENSE , EXP

*IF THE PROFESSIONAL ENGINEER (P.E. OR G.E.) AND PROFESSIONAL GEOLOGIST (P.G. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

DECLARATION OF ENGINEER OF RECORD

I HEREBY DECLARE THAT THE DESIGN OF THE IMPROVEMENTS AS SHOWN ON THESE PLANS COMPLIES WITH PROFESSIONAL ENGINEERING STANDARDS AND PRACTICES. AS THE ENGINEER IN RESPONSIBLE CHARGE OF DESIGN OF THESE IMPROVEMENTS, I ASSUME FULL RESPONSIBILITY CHARGE FOR SUCH DESIGN.

I UNDERSTAND AND ACKNOWLEDGE THAT THE PLAN CHECK OF THESE PLANS BY THE CITY OF RIVERSIDE IS A REVIEW FOR THE LIMITED PURPOSE OF ENSURING THAT THE PLANS COMPLY WITH CITY PROCEDURES, APPLICABLE POLICIES AND ORDINANCES. THE PLAN CHECK IS NOT A DETERMINATION OF THE TECHNICAL DESIGN OF THE IMPROVEMENTS. SUCH PLAN CHECK DOES NOT, THEREFORE, RELIEVE ME OF MY RESPONSIBILITY FOR THE DESIGN OF THESE IMPROVEMENTS. AS ENGINEER OF RECORD (EOR), I AGREE TO INDEMNIFY AND HOLD THE CITY OF RIVERSIDE, ITS OFFICERS, AGENTS AND EMPLOYEES HARMLESS FROM ANY AND ALL LIABILITY OF CLAIMS, DAMAGES OR INJURIES TO ANY PERSON OR PROPERTY WHICH MIGHT ARISE FROM NEGLIGENT ACTS, ERRORS OR OMISSIONS OF THE ENGINEER OF RECORD. I HAVE READ AND INFORMED THE PROJECT APPLICANT/DEVELOPER THAT APPROVAL OF THESE PLANS DO NOT RELIEVE THEM OF THE REQUIREMENTS OF THE CONDITIONS OF APPROVAL.

I ALSO HEREBY DECLARE THAT I HAVE DECLARED THESE PLANS WITH ALL APPLICABLE ADA TITLE II AND TITLE 24 REQUIREMENTS FOR DISABILITY ACCESS FOR THIS PROJECT, AND THESE PLANS ARE IN FULL COMPLIANCE WITH THOSE REQUIREMENTS.

SIGNATURE _____ DATE 4-01-25

LICENSE No. 26900 EXP. 03/31/2027

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE PLANS WAS OBTAINED BY A SEARCH OF AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN IN THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN OR NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR SHALL PILOT HOLE ALL EXISTING UTILITIES TO VERIFY THE LOCATION AND ANY DISCREPANCY BETWEEN THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITION DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY AND THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR ALSO AGREES TO DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

4-1-25
JOANNE C. SINGER RCE 26900 _____ DATE

BENCHMARK

AN NCS DISK STAMPED "W 18 RESET 1054" IN CONCRETE POST, ALONG THE BNSF RAILROAD TRACK, 27 FEET EAST OF THE ATIS DEPOT, 35 FEET SOUTH OF THE DEPOT FREIGHT DOOR, 17 FEET NORTHWEST OF THE NORTHWEST RAIL, 29 FEET NORTHEAST OF A LIGHT POLE, 24 FEET NORTHEAST OF A LARGE PALM TREE, 5 FEET NORTHWEST OF THE NORTHWEST EDGE OF A SIDEWALK.

QUAD YEAR - 1991 - ELEVATION - 879.740

BENCHMARK MARK NO. DX2768

SOILS NUMBER OF RECORD	
SOILS ENGINEER	
R.C.E. No. XXXX EXPIRES 3/31/03	
DATE	
DATE/TIME/NUMBER OF RECORD	
JOANNE C. SINGER	
R.C.E. No. 26900 EXPIRES 3/31/27	
DATE	

CIVIL ENGINEER

DRP ENTERPRISES LLC
DANIEL PATNEAUGE
MAILING ADDRESS:
PO BOX 4428
PALM SPRINGS, CA 92263
(206)734-7765
JOANNE C. SINGER RCE 26900
(760)625-7426



CITY OF RIVERSIDE, CALIFORNIA PUBLIC WORKS DEPARTMENT			
APPROVED BY	BY	DATE	APPROVED BY
PROJECT ENGINEER			
CONSULTANT ADMIN			
STREET SERVICES			
CONSTRUCTION			
TRAFFIC DIVISION			
FIELD SUPERVISOR			
DESIGNED BY	_____	DRAWN BY	_____
APPR. DATE		CITY ENGINEER	
CHECKED BY	_____	DATE	JUNE, XX 2021

3087 12TH STREET NEW PARKING FACILITIES PRISM AEROSPACE

10TH STREET @ HOWARD

HORIZONTAL SCALE: 1" = 40' VERTICAL SCALE: 1" = 4'

PROJECT WIDID #
(PENDING)
PROJECT PW#
PW18-0723

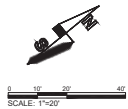
PROJECT ID NUMBER #
G-I
SHEET 1 OF 6

IMPORTANT NOTICE
Section 4214/4215 of the Government Code requires a 24 hour notification "Notice to Construct" to be filed with the City of Riverside at least 48 hours before you dig.
CALL TOLL FREE
1-800-227-2600
UNDERGROUND SERVICE ALERT



LEGEND:

	CENTERLINE
	PROPERTY LINE
	EASEMENT
	CHAIN LINK FENCE
	WOOD FENCE
	WROUGHT IRON FENCE
	BLOCK WALL
	CONTOUR LINE
	SPOT ELEVATION
	BOLLARD
	FIRE HYDRANT
	GAS VALVE
	LIGHT POLE
	MISCELLANEOUS BOX
	POWER POLE
	SEWER MANHOLE
	STREET LIGHT
	SIGN
	TRAFFIC SIGNAL LIGHT
	STORM DRAIN MANHOLE
	WATER METER
	WATER VALVE
	TREE
	PCC DRIVEWAY/PARKING



EXISTING CONDITIONS
SCALE - 1"=20'

ABBREVIATIONS

ASPH	ASPHALT	GRND	GROUND
CIP	CAST IN PLACE	MH	MANHOLE
CMU	CONCRETE MASONRY UNIT	PP	UTILITY POLE
CO	CLEANOUT	ROW	RIGHT OF WAY
CONC	CONCRETE	SS	SANITARY SEWER
DI	DRAIN INLET	TC	TOP OF CURB
EL	ELEVATION	TG	TOP OF GRATE
FF	FINISHED FLOOR	TW	TOP OF WALL
FL	FLOWLINE	TYP	TYPICAL
GB	GRADE BREAK	WM	WATER METER

IMPORTANT NOTICE
Section 4216.4212 of the Government Code requires a City seal identification. No seal identification is required for the State Seal. For your City Seal ID, Number and CALL TOLL FREE 48 HOURS BEFORE YOU DIG UNDERGROUND SERVICE ALERT 1-800-227-2600

CIVIL ENGINEER
DRP ENTERPRISES LLC
DANIEL P. SINGER
MAILING ADDRESS:
PO BOX 4428
PALM SPRINGS, CA 92263
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JOANNE C. SINGER RCE 26900
(760)825-7426



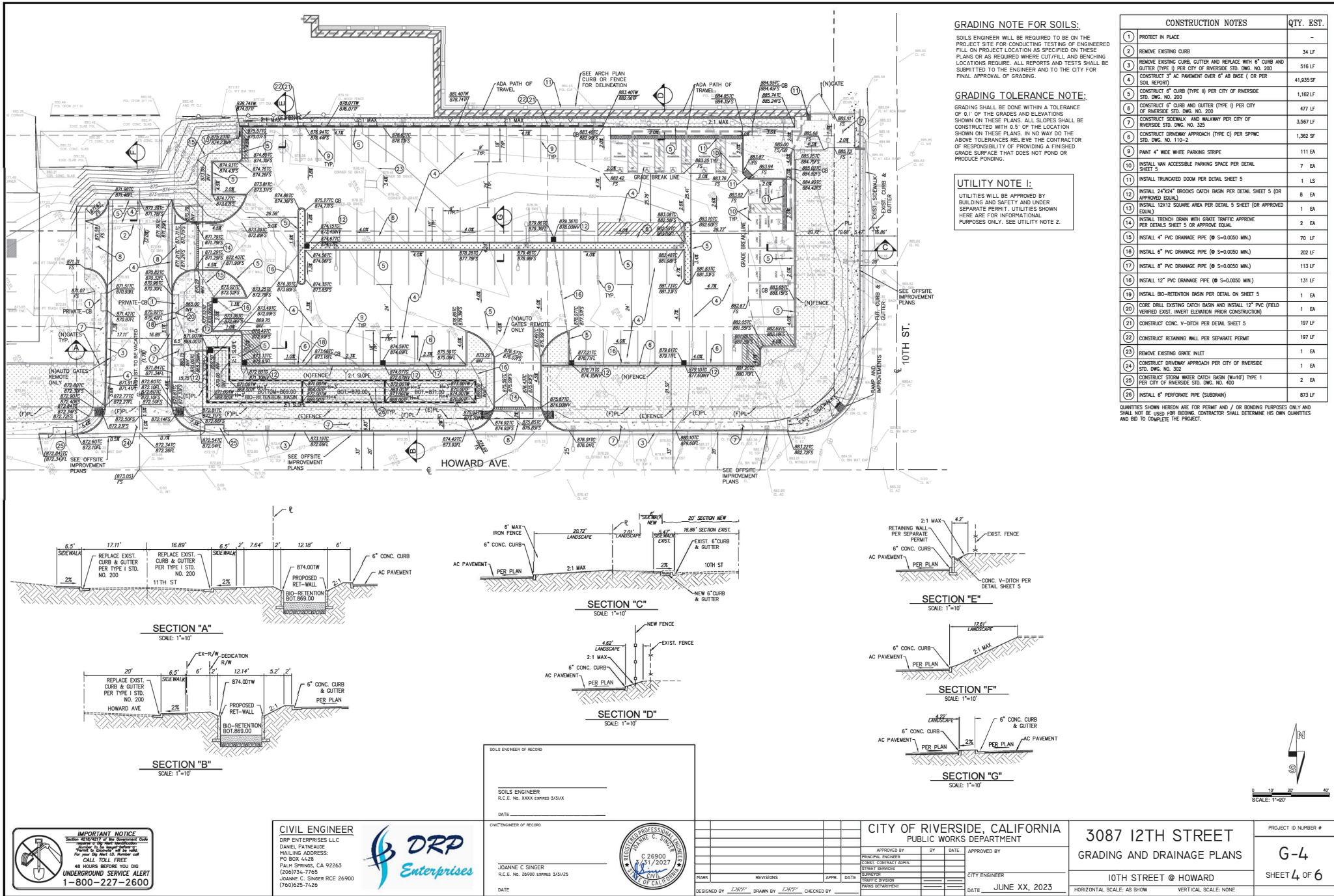
CITY ENGINEER OF RECORD

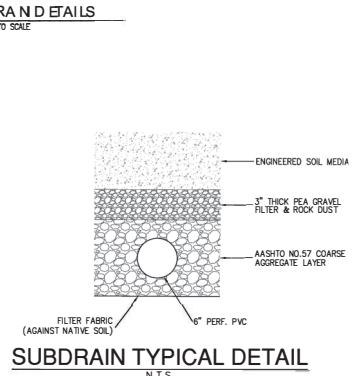
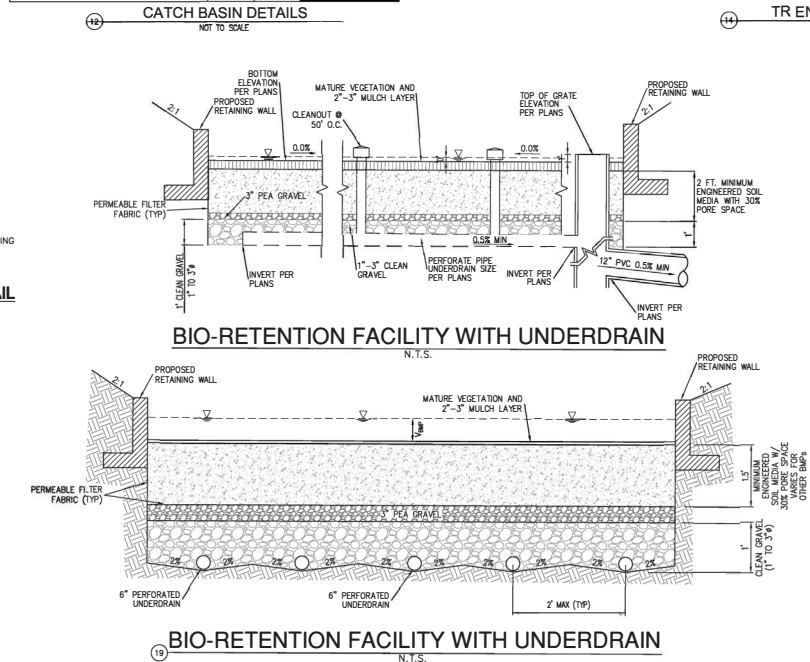
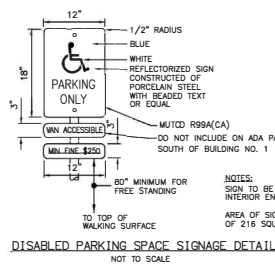
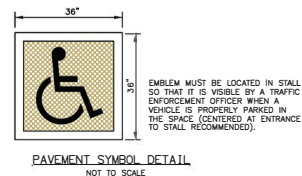
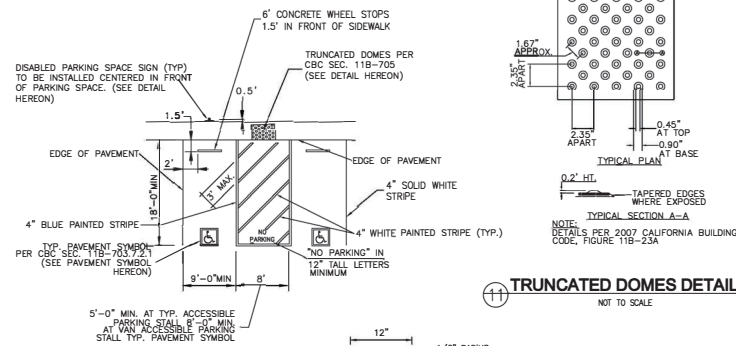
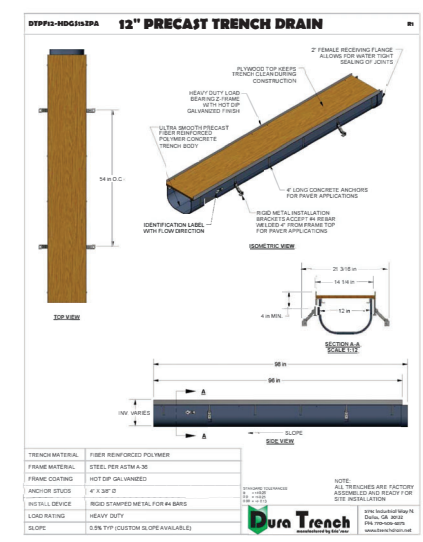
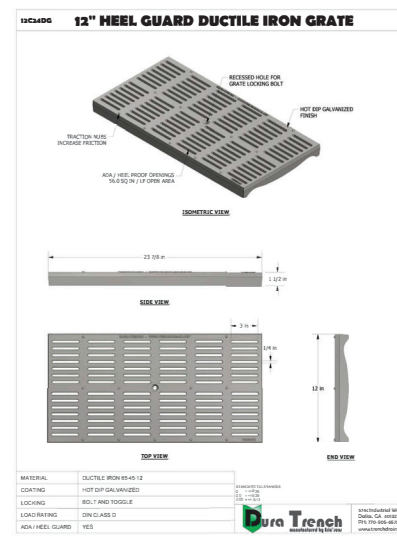
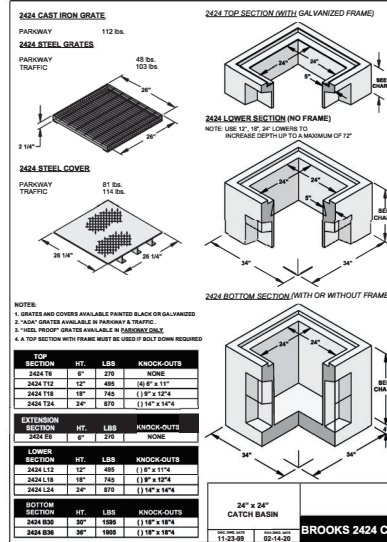
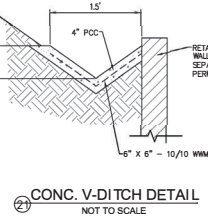
JOANNE C. SINGER
R.C.E. No. 26900 EXPIRES 3/31/25



CITY OF RIVERSIDE, CALIFORNIA PUBLIC WORKS DEPARTMENT			
APPROVED BY	BY	DATE	APPROVED BY
DESIGNED BY	BY	DATE	CITY ENGINEER
DRAWN BY	BY	DATE	DATE
CHECKED BY	BY	DATE	DATE

3087 12TH STREET EXISTING CONDITIONS		PROJECT ID NUMBER #
10TH STREET @ HOWARD		G-3
HORIZONTAL SCALE: 1" = 40' VERTICAL SCALE: 1" = 4'		SHEET 3 of 6





CIVIL ENGINEER
DRP ENTERPRISES LLC
DANIEL PATNEAUDE
MAILING ADDRESS:
PO BOX 4428
PALM SPRINGS, CA 92265
(206)734-7765
JOANNE C. SINGER RCE 26900
(760)625-7426



JOANNE C SINGER
R.C.E. No. 26900 expires 3/31/21



CITY OF RIVERSIDE, CALIFORNIA
PUBLIC WORKS DEPARTMENT

APPROVED BY	BY	DATE	APPROVED BY
PRINCIPAL ENGINEER			
CONST. CONTRACT ADMIN.			
STREET SERVICES			
SURVEYOR			
TRAFFIC DIVISION			
PARKS DEPARTMENT			
			CITY ENGINEER
			JUNE XX, 2023

3087 12TH STREET

DETAILS AND SECTIONS

10TH STREET @ HOWARD

PROJECT ID NUMBER #

G-5
SHEET 5 OF 6

