

DMCG, INC.

OFFICE REMODELS

3230 VINE STREET
RIVERSIDE, CA 92507

PROJECT TEAM

APPLICANT
RIVERSIDE ENGINEERING INC.
RIVERSIDE, CA 92507
PHONE: (951) 500-4991
EMAIL: carloscuvayas@gmail.com

OWNER
DMCG, INC.
3230 VINE STREET
RIVERSIDE, CA 92507
CONTACT: CARLOS CUVAYAS
(951) 500-4991
EMAIL: carloscuvayas@gmail.com

MECHANICAL PLUMBING & ELECTRICAL
RIVERSIDE ENGINEERING INC.
11801 PIERCE ST., SUITE #200
RIVERSIDE, CA 92505
CONTACT: JOSHUA BELTRAN
PHONE: (888) 401-7483
EMAIL: info@riv-eng.com

ARCHITECTURAL & STRUCTURAL DESIGN
RIVERSIDE ENGINEERING INC.
11801 PIERCE ST., SUITE #200
RIVERSIDE, CA 92507
CONTACT: JOSHUA BELTRAN
PHONE: (888) 401-7483
EMAIL: jbeltran@riv-eng.com

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ABBREVIATIONS	GENERAL NOTES
ABV. ANCHOR BOLT	1. ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS OF EVERY TYPE WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS.
AD. ASPHALTIC CONCRETE	2. HVAC, PLUMBING AND ELECTRICAL DRAWINGS ARE INCLUDED IN, AND NOT SUPPLEMENTARY TO, THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS BEFORE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND OTHER DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY THE CONTRACTOR FOR WRITTEN AND GRAPHIC CLARIFICATION.
ALM. ALUMINUM	3. THE CONTRACTOR SHALL FOCUS SPECIAL ATTENTION ON A FIELD REVIEW OF THE EXISTING SITE IN WRITING PRIOR TO CONSTRUCTION. ANY CONDITIONS THAT ARE FOUND TO BE INCONSISTENT WITH THESE DOCUMENTS OR WHERE THE INTENT IS IN DOUBT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO BID SUBMITTAL. CONTRACTOR SHALL NOT RELY UPON ORAL COMMUNICATIONS. ALL COMMUNICATIONS MUST BE IN WRITING OR GRAPHIC FORMAT.
AC.P. ACOUSTIC CEILING PANEL	4. CHANGES TO WORK OR PLANS MUST BE APPROVED BY THE CITY AND/OR LOCAL JURISDICTIONS. INSPECTION SERVICES PRIOR TO IMPLEMENTATION ADDITIONS OR CHANGES TO WORK MUST BE AUTHORIZED IN WRITING BY THE ARCHITECT AND OWNER. NO ALTERATIONS WILL BE MADE ON THIS PROJECT EXCEPT UPON WRITTEN ORDER BY USING PREDETERMINED ARCHITECT SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVES.
A.F.F. ABOVE FINISH FLOOR	5. CONTRACTOR IS RESPONSIBLE FOR THE MORE COSTLY AND TIME CONSUMING RESOLUTION ON ALL CONFLICTING INFORMATION PRESENTED ON THE PLANS, OR BETWEEN THE EXISTING CONDITIONS AND THE PLANS.
ADIR. ABRASIVE QUARRY TILE	6. IN THE EVENT OF A CONFLICT OCCURRING BETWEEN THE DRAWINGS AND SPECIFICATIONS, PROMPTLY NOTIFY THE ARCHITECT IN WRITING. AT THAT POINT, A WRITTEN INTERPRETATION WILL BE MADE BY THE ARCHITECT AND SAID WRITTEN DECISION SHALL BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.
ARC. ARCHITECTURAL	7. THIS ARCHITECT WILL NOT HAVE CONTROL OF, AND WILL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE, NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE ARCHITECT AND CONSTRUCTION DOCUMENTS.
BLK. BLOCKING	8. ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS, I.E.: STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.
BN. BOUNDARY NAIL	9. WORK WILL BE COORDINATED WITH ALL TRADES IN ORDER TO AVOID INTERFERENCE AND AVOID OMISSIONS.
BM. BEAM	10. UNLESS NOTED OTHERWISE, ALL MATERIALS USED WILL BE NEW AND BEAR UL LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. OR OTHER INDUSTRY STANDARDS.
B.O.C. BOTTOM OF CEILING	11. LAYOUT ALL PARTITIONS AND CABINETS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS AND CABINETS WILL BE INSTALLED AS NOTED ON THE DRAWINGS. IF APPLICABLE, GENERAL CONTRACTOR MUST OBTAIN RESOLUTION FROM ARCHITECT FOR ANY DISCREPANCIES PRIOR TO CONSTRUCTION OF WALL PARTITIONS AND CABINETS.
B.O.J. BOTTOM OF JOIST	12. EACH SUBCONTRACTOR WILL AMEND AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAILURES IN THEIR WORKMANSHIP AND/OR THEIR SUPPLIED MATERIALS.
B.R. BUILT-UP ROOFING	13. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND/OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE ARCHITECT FOR WRITTEN AND/OR GRAPHIC DIRECTION PRIOR TO PROCEEDING WITH THAT WORK.
BTD. OR (B) BOTTOM OF TRUSS	14. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.
CC. CENTER LINE	15. IN THE EVENT OF OMISSIONS OR INFORMATION CONFLICTING, CONTRACTOR SHALL NOTIFY THE ARCHITECT, FIELDING AND CALCULATED DIMENSION TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TYPICALLY TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. VERIFY WITH ARCHITECT. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS NOTED OTHERWISE.
C.B. CEMENTITIOUS BACKER BOARD	16. PROVIDE SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT FOR EACH ITEM ATTACHED TO WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED OR INSTALLED ITEMS.
C.D. CORE DRILL	17. IN ALL WEATHER CONDITIONS, CONTRACTORS WILL PROTECT ALL PARTS OF THEIR WORK FROM WEATHER DAMAGE DUE TO FROST, RAIN, HEAT, ETC. AND WILL MAKE GOOD TO THE SATISFACTION OF THE ARCHITECT ANY PORTION OF THE WORK WHICH MAY HAVE BECOME DAMAGED.
C.G. CERAMIC	17. SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED S.A.I.A. STANDARDS FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT WILL BE HELD HARMLESS (BEMG, ETC.) AS GENERAL CONTRACTOR AND RELATED AWARDED TRADES ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR NOT ACCRUED ON THIS PROPERTY DURING THE PROJECT.
C.J. CONTROL JOINT (COLD JOINT)	18. CONTRACTORS WILL BE RESPONSIBLE FOR REMOVAL AND ACCOUNT FOR QUANTITY OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE MUST KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG WITH A BROOM/VACUUM FINISH AT THE END OF EACH WORKING DAY.
C.L. CEILING	19. TRANSMISSION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. WORK SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOORS TYPICALLY.
CLK. CALKING	20. PAINT ALL WALL SURFACES, DOOR FRAMES, WINDOW FRAMES, BELTLEADS AND CEILING IN ROOMS WHERE FLOOR FINISH SCHEDULE IS PAINTING. PAINT ALL MOVABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELocate THEM. ALL NEW PAINTING SHALL INCLUDE (1) ONE COAT PRIMER AND (2) TWO COATS OF PAINT UNLESS NOTED OTHERWISE.
CLR. CLEAR	21. ALL WEATHER - EXPOSED SURFACES SHALL HAVE A WEATHER RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN AN ADA MANNER AS SHOWN ON THE DRAWINGS.
CMU. CONCRETE MASONRY UNIT	
COL. COLLAR	
CON. CONNECTION	
CONSTR. CONSTRUCTION	
CONST. JT. CONSTRUCTION JOINT	
CONT. CONTINUOUS	
CONTR. CONTRACTOR	
COMP. COMPACTED COMPACTION	
CR. CERAMIC TILE	
DL. DEGREE	
DI. DIAMETER	
DIG. DIGITAL	
DM. DIMENSION	
DS. DOWNSPOUT	
DWG(S). DRAWING(S)	
(E). EXISTING	
EA. EACH	
E.C. ELECTRICAL CONTRACTOR	
E.G. EDGE GRAIN	
EA. EDGE NAIL	
E.E. ELEVATION	
E.E. ELEVATION	
E.O.C. EDGE OF COUNTER / EQUIPMENT	
E.O. EQUAL	
ER. EXISTING RELOCATED	
EXP. EXPANSION	
EXT. EXTERIOR	
FACT. FACTORY	
F.D. FLOOR DRAIN	
FD. FOUNDATION	
F.F. FIRE EXTINGUISHER	
FF. FINISHED FLOOR	
F.F.L. FINISHED FLOOR LEVEL	
F. & E. FINISHED FIXTURES & EQUIPMENT	
FG. FLOOR GLASS	
FL. FLOOR	
FN. FINISH	
F.O.M. FACE OF MASONRY	
F.O.S. FACE OF STUD	
F.R. FIRE RETARDANT	
F.R.P. FIBERGLASS REINFORCED PANEL	
FOOT. FOOTING	
F.T. FOOTING	
FR. FINISH	
G.A. GAUGE (GAUGE)	
G.B. GRAB BAR	
G.C. GYPSUM WALLBOARD	
G.C. GENERAL CONTRACTOR	
GALV. GALVANIZED	
G.I. GALVANIZED IRON	
G.B. GLUE LAMINATED BEAM	
H.B. HOLE BOLT	
H.D. HOLLOW CORE	
H.R. HUR RIB	
HDR. HEADER	
HDR. HOLLOW METAL	
HDR. HANGER	
HGT. OR HT. HEIGHT	
H.M. HOLLOW METAL	
H.S.B. HIGH STRENGTH BOLT	
I.D. INCHES DIAMETER	
IE. IN ANCHOR	
IN. INCH	
INSUL. INSULATION	
INT. INVERTED	
INT. OR INT. JOINT	
JST. JOIST	

GENERAL NOTES

1. ALL CONTRACTORS AND SUBCONTRACTORS WILL THOROUGHLY FAMILIARIZE THEMSELVES WITH THESE CONSTRUCTION DOCUMENTS AND WILL VERIFY EXISTING SITE AND CONDITIONS PRIOR TO SUBMITTING A BID. ALL SUBCONTRACTORS WILL PROVIDE ALL LABOR, SUPERVISION, AND MATERIALS OF EVERY TYPE WHICH MAY BE NECESSARY FOR A SUCCESSFUL COMPLETION. ALL WORK TO BE PERFORMED IN A GOOD AND WORKMANLIKE MANNER ACCORDING TO THE TRUE INTENT AND MEANING OF THE DRAWINGS AND SPECIFICATIONS.

2. HVAC, PLUMBING AND ELECTRICAL DRAWINGS ARE INCLUDED IN, AND NOT SUPPLEMENTARY TO, THE ARCHITECTURAL DRAWINGS. IT SHALL BE THE RESPONSIBILITY OF EACH CONTRACTOR TO CHECK THE ARCHITECTURAL DRAWINGS BEFORE INSTALLATION OF THEIR WORK. ANY DISCREPANCY BETWEEN THE ARCHITECTURAL AND OTHER DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BY THE CONTRACTOR FOR WRITTEN AND GRAPHIC CLARIFICATION.

3. THE CONTRACTOR SHALL FOCUS SPECIAL ATTENTION ON A FIELD REVIEW OF THE EXISTING SITE IN WRITING PRIOR TO CONSTRUCTION. ANY CONDITIONS THAT ARE FOUND TO BE INCONSISTENT WITH THESE DOCUMENTS OR WHERE THE INTENT IS IN DOUBT SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR RESOLUTION PRIOR TO BID SUBMITTAL. CONTRACTOR SHALL NOT RELY UPON ORAL COMMUNICATIONS. ALL COMMUNICATIONS MUST BE IN WRITING OR GRAPHIC FORMAT.

4. CHANGES TO WORK OR PLANS MUST BE APPROVED BY THE CITY AND/OR LOCAL JURISDICTIONS. INSPECTION SERVICES PRIOR TO IMPLEMENTATION ADDITIONS OR CHANGES TO WORK MUST BE AUTHORIZED IN WRITING BY THE ARCHITECT AND OWNER. NO ALTERATIONS WILL BE MADE ON THIS PROJECT EXCEPT UPON WRITTEN ORDER BY USING PREDETERMINED ARCHITECT SUPPLEMENTAL INSTRUCTIONS, CHANGE ORDER OR CONSTRUCTION CHANGE DIRECTIVES.

5. CONTRACTOR IS RESPONSIBLE FOR THE MORE COSTLY AND TIME CONSUMING RESOLUTION ON ALL CONFLICTING INFORMATION PRESENTED ON THE PLANS, OR BETWEEN THE EXISTING CONDITIONS AND THE PLANS.

6. IN THE EVENT OF A CONFLICT OCCURRING BETWEEN THE DRAWINGS AND SPECIFICATIONS, PROMPTLY NOTIFY THE ARCHITECT IN WRITING. AT THAT POINT, A WRITTEN INTERPRETATION WILL BE MADE BY THE ARCHITECT AND SAID WRITTEN DECISION SHALL BE CONSIDERED PART OF THE CONTRACT DOCUMENTS.

7. THIS ARCHITECT WILL NOT HAVE CONTROL OF, AND WILL NOT BE RESPONSIBLE FOR, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, OR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK ON THIS PROJECT OR FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTOR, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK ON THIS SITE, NOR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT THE WORK IN ACCORDANCE WITH THE INTENT OF THE ARCHITECT AND CONSTRUCTION DOCUMENTS.

8. ALL CONTRACTORS WILL PROVIDE ADEQUATE BRACING AND/OR SHORING TO INSURE STRUCTURAL STABILITY OF THE BUILDING AND ALL RELATED BUILDING COMPONENTS, I.E.: STRUCTURAL WALLS, INTERIOR WALL ASSEMBLIES, ETC. DURING THE CONSTRUCTION PHASE OF THIS PROJECT.

9. WORK WILL BE COORDINATED WITH ALL TRADES IN ORDER TO AVOID INTERFERENCE AND AVOID OMISSIONS.

10. UNLESS NOTED OTHERWISE, ALL MATERIALS USED WILL BE NEW AND BEAR UL LABELS WHERE REQUIRED AND MEET APPROPRIATE N.E.M.A. OR OTHER INDUSTRY STANDARDS.

11. LAYOUT ALL PARTITIONS AND CABINETS BEFORE BEGINNING CONSTRUCTION TO PREVENT ERRORS BY DISCREPANCY. ALL DRYWALL PARTITIONS AND CABINETS WILL BE INSTALLED AS NOTED ON THE DRAWINGS. IF APPLICABLE, GENERAL CONTRACTOR MUST OBTAIN RESOLUTION FROM ARCHITECT FOR ANY DISCREPANCIES PRIOR TO CONSTRUCTION OF WALL PARTITIONS AND CABINETS.

12. EACH SUBCONTRACTOR WILL AMEND AND MAKE GOOD AT THEIR OWN COST, ANY DEFECTS OR OTHER FAILURES IN THEIR WORKMANSHIP AND/OR THEIR SUPPLIED MATERIALS.

13. VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO ORDERING, CUTTING AND/OR INSTALLING MATERIAL, PRODUCT OR EQUIPMENT. IN THE EVENT OF ANY DISCREPANCIES, CONTACT THE ARCHITECT FOR WRITTEN AND/OR GRAPHIC DIRECTION PRIOR TO PROCEEDING WITH THAT WORK.

14. CONTRACTOR SHALL NOT SCALE THESE DRAWINGS FOR CONSTRUCTION PURPOSES.

15. IN THE EVENT OF OMISSIONS OR INFORMATION CONFLICTING, CONTRACTOR SHALL NOTIFY THE ARCHITECT, FIELDING AND CALCULATED DIMENSION TAKE PRECEDENCE OVER SCALED MEASUREMENTS. DETAILED DRAWINGS AND LARGER SCALE DRAWINGS TYPICALLY TAKE PRECEDENCE OVER SMALLER SCALE DRAWINGS. VERIFY WITH ARCHITECT. ALL PLAN DETAILS AND WALL SECTIONS ARE ASSUMED TO BE TYPICAL CONDITIONS UNLESS NOTED OTHERWISE.

16. PROVIDE SUFFICIENT BLOCKING IN STUD WALLS TO SUPPORT ALL ITEMS OR EQUIPMENT SHOWN OR SPECIFIED TO BE ATTACHED TO THE WALLS. PROVIDE ADDITIONAL STRUCTURAL SUPPORT FOR EACH ITEM ATTACHED TO WITHIN WALLS WHERE THE WEIGHT OF ATTACHED ITEMS OR EQUIPMENT IS TOO GREAT TO BE SUPPORTED BY METAL STUDS. PROVIDE BLOCKING FOR OWNER FURNISHED OR INSTALLED ITEMS.

17. IN ALL WEATHER CONDITIONS, CONTRACTORS WILL PROTECT ALL PARTS OF THEIR WORK FROM WEATHER DAMAGE DUE TO FROST, RAIN, HEAT, ETC. AND WILL MAKE GOOD TO THE SATISFACTION OF THE ARCHITECT ANY PORTION OF THE WORK WHICH MAY HAVE BECOME DAMAGED.

17. SITE SAFETY: EACH CONTRACTOR WILL ABIDE BY LOCAL AREA STANDARDS AND RELATED S.A.I.A. STANDARDS FOR THE PROTECTION AND SAFETY FOR THEIR EMPLOYEES ON SITE. THIS ARCHITECT WILL BE HELD HARMLESS (BEMG, ETC.) AS GENERAL CONTRACTOR AND RELATED AWARDED TRADES ON THIS PROJECT FOR ACCIDENTS OR INJURIES CAUSED OR NOT ACCRUED ON THIS PROPERTY DURING THE PROJECT.

18. CONTRACTORS WILL BE RESPONSIBLE FOR REMOVAL AND ACCOUNT FOR QUANTITY OF DEBRIS ACCUMULATED BY EACH TRADE. HOWEVER, EACH TRADE MUST KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, ALONG WITH A BROOM/VACUUM FINISH AT THE END OF EACH WORKING DAY.

19. TRANSMISSION OF DIFFERENT FLOORING MATERIALS AT DOORWAYS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT. WORK SHALL BE FLUSH AND OCCUR AT CENTERLINE OF DOORS TYPICALLY.

20. PAINT ALL WALL SURFACES, DOOR FRAMES, WINDOW FRAMES, BELTLEADS AND CEILING IN ROOMS WHERE FLOOR FINISH SCHEDULE IS PAINTING. PAINT ALL MOVABLE ITEMS ADJACENT TO WALLS RECEIVING PAINT AND RELocate THEM. ALL NEW PAINTING SHALL INCLUDE (1) ONE COAT PRIMER AND (2) TWO COATS OF PAINT UNLESS NOTED OTHERWISE.

21. ALL WEATHER - EXPOSED SURFACES SHALL HAVE A WEATHER RESISTANT BARRIER TO PROTECT THE INTERIOR WALL COVERING AND EXTERIOR OPENINGS SHALL BE FLASHED IN AN ADA MANNER AS SHOWN ON THE DRAWINGS.

DESCRIPTIVE SUMMARY OF WORK

THE WORK INCLUDES ALL LABOR, MATERIALS, AND EQUIPMENT TO BUILD FINISH ASPHALTIC QUARRY TILE FLOORING, INTERIOR PLUMBING, ELECTRICAL, AND MECHANICAL WORK. THE WORK SHALL INCLUDE ALL ITEMS REQUIRED AS SHOWN ON THE DRAWINGS. ALL MECHANICAL, PLUMBING EQUIPMENT AND SYSTEMS, ALL ELECTRICAL SYSTEMS, AND EQUIPMENT ARE TO BE INCLUDED FOR A COMPLETE OPERATING SYSTEM WITH COORDINATION AND INSTALLATION INCLUDED.

INTERIOR:
NEW OPEN OFFICE, PRIVATE OFFICES, CONFERENCE ROOM, RESTROOMS, GAME ROOM, BREAK ROOM, KITCHENETTE, NEW EXIT DOOR, STAIRS & LANDINGS, UTILITY STORAGE, SERVER ROOM, I.T. REPAIR SHOP IN THE BASEMENT, NEWA EXISTING LIGHTING FIXTURES/ OUTLETS AND SWITCHES, NEW PAINT.

EXTERIOR:
NEW EXTERIOR EXIT DOORS, CONCRETE ACCESSIBLE RAMP, RE-STRIPE EXISTING ACCESSIBLE PARKING STALLS & EXISTING STANDARD PARKING STALLS.

THE PROJECT IS A REMODEL OF AN EXISTING NON-SPRINKLERED CONSTRUCTION TYPE II-B BUILDING. PREVIOUSLY, THERE WAS A BUSINESS USE ON THE FIRST FLOOR AND AN ENTERTAINMENT / ASSEMBLY USE ON THE BASEMENT FLOOR (INDOOR GO-CART RACEWAY). THE BASEMENT LEVEL WALLS AND CEILING ARE CONCRETE. THE FIRST FLOOR ALSO CONTAINS A MEZZANINE LEVEL. THE FIRST FLOOR'S CONCRETE WALLS AS WELL, WITH THE NEW TRIMMIT, THE BASEMENT AREA PREVIOUSLY USED FOR THE RACEWAY WILL NOT BE USED. OTHER THAN A SMALL AREA FOR REPAIR AND A SERVER ROOM, THE MAJORITY OF THE BASEMENT SPACE WILL BE DOMANT. THE FIRST FLOOR'S OCCUPANCY GROUP AND MEZZANINE LEVEL, I.E. BUSINESS, WILL REMAIN. THERE IS A SMALL (1023 SF) GAME ROOM ON THE FIRST FLOOR FOR EMPLOYEE USE ONLY.

WE WILL CLASSIFY THE BUILDING AS MIXED-OCCUPANCY / SEPARATED USES. WE WILL USE THE ALLOWABLE AREA INCREASE DUE TO HEIGHT.

MIXED OCCUPANCIES PER S04.2 & 3: 2400 SQUARE FEET COMPLIED WITH FOR SEPARATED OCCUPANCIES. SECTION S04.2: IN EACH STORY, THE BUILDING AREA SHALL BE SUCH THAT THE SUM OF THE RATIOS OF THE ACTUAL BUILDING AREA OF EACH OCCUPANCY DIVISION BE THE ALLOWABLE BUILDING AREA OF EACH SEPARATED OCCUPANCY NOT EXCEED (ACTUAL) / ALLOWABLE < OR = 1). NONE OF THE SPACES EXCEED 1. THEREFORE COMPLIES.

AREAS:

- BASEMENT ACTUAL AREA = 17,045 SF
- FIRST FLOOR = 16,690 SF
- MEZZANINE = 982 SF / 19,200 = .051 THEREFORE COMPLIES.
- BASEMENT RATIOS:
 - MIXED / STORAGE = 14,910 SF / 17,500 = .852 THEREFORE COMPLIES.

FIRST FLOOR:

- BUSINESS = 5,793 SF / 19,500 = .297 THEREFORE COMPLIES.
- ASSEMBLY = 1,023 SF / 19,500 = .052 THEREFORE COMPLIES.
- WAREHOUSE / STORAGE = 6,437 SF / 17,500 = .366 THEREFORE COMPLIES.

MEZZANINE (PER S04.2) IS CONSIDERED A PART OF THE STORY BELOW BUT SHALL NOT CONTRIBUTE TO THE BUILDING AREA OR NUMBER OF STORES. IT IS TO BE LESS THAN 1/3 THE AREA THE SPACE THEY ARE LOCATED IN. TOTAL AREA OF 17,045 - 16,690 SF. ALLOWABLE AREA OF MEZZANINE IS 5,363 SF. TOTAL AREA OF MEZZANINE IS 1,740 SF THEREFORE COMPLIES.

TYPE II-B ALLOWABLE

- PER TABLE S04.3, HEIGHT LIMITATION IS 55'. THE EXISTING BUILDING IS LESS THAN 25' TALL (FIELD VERIFY FOR PRECISE MEASUREMENTS) THEREFORE COMPLIES.
- PER TABLE S04.4, FLOOR LIMITATION IS: 3 STORES, EXISTING 62 STORES INCLUSIVE OF A ONE STORY BASEMENT BELOW GRADE PLANE, THEREFORE COMPLIES.
- PER TABLE S08.2, AREA LIMITATION IS: 19,500 SF, WITH INCREASE FOR FRONTAGE, AREA LIMITATION IS 28,500 (B) BUT FOR BUSINESS USE (MOST RESTRICTIVE USE):
 - Aa = (A + 1(N+1) [1])
 - At = 19,000
 - As = 19,000
 - At = 19,500 (PER S04.3.2)
 - As = 128,500 SF

PROJECT INFORMATION

PROPOSED USE: PROPOSED TENANT IMPROVEMENT / ALTERATION CONSTRUCTION FOR AN OFFICE BUILDING.

CURRENT CODES:

- BUILDING CODE: 2019 CALIFORNIA BUILDING CODE (CBC)
- PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE (CPC)
- MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE (CMC)
- ELECTRICAL CODE: 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- ENERGY CODE: 2019 CALIFORNIA ENERGY CODE
- FIRE / LIFE SAFETY CODE: 2019 CALIFORNIA FIRE CODE (FC)
- ACCESSIBILITY CODE: 2019 CALIFORNIA BUILDING CODE (TITLE 24, PART 2)

ACCESSIBILITY: THESE PLANS ARE INTENDED TO COMPLY WITH ALL OF THE PROVISIONS SET FORTH BY CHAPTER 11B OF THE 2019 CBC AND THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

OCCUPANCY COMPLIANCE: B, S, A, 2, II - B (NON-SPRINKLERED PER TABLE S04.4)

OCCUPANCY GROUP: BUSINESS

CONSTRUCTION TYPE: II-B

LEGAL DESCRIPTION: 1/4 SECTION 16, T12N, R12E, S4E, NON-SEPARATED PER TABLE S04.4

ZONING: COMMERCIAL (LIGHT INDUSTRIAL) / B1P BUSINESS MANUFACTURING PARK

ASSASSOR PARCEL NUMBER: 213-000-028

INVESTOR INFORMATION:

BUILDING SUMMARY:

- TENANT IMPROVEMENT AREA: 17,045 SF
- GROSS FLOOR AREA (BASEMENT): 17,848 S.F. (NO NEW S.F. ADDED)
- GROSS FLOOR AREA (1ST FLOOR): 16,690 S.F. (NO NEW S.F. ADDED)
- GROSS FLOOR AREA (MEZZANINE): 1,873 S.F. (NO NEW S.F. ADDED)
- TENANT IMPROVEMENT AREA: 2,022 S.F.

TOTAL BUILDING HEIGHT: 28'-0" (EXISTING ONE STORY W/ MEZZANINE)

PARKING SUMMARY:

SITE AND PARKING: (EXISTING REMAIN UNCHANGED)

SYMBOL AND LEGEND

ELEVATION IDENTIFICATION:

- ELEVATION DESIGNATION
- SHEET REFERENCE NO.

PARTIAL SECTION IDENTIFICATION:

- SECTION DESIGNATION
- SHEET REFERENCE NO.

INTERIOR ELEVATION IDENTIFICATION:

- ELEVATION DESIGNATION
- SECTION / ELEVATION / FLOOR DATA
- DETAIL DESIGNATION
- SHEET REFERENCE NO.

GRID LINE IDENTIFICATION:

- GRID LINE
- FACE OF STUD
- FACE OF MASONRY
- CENTER LINE OF COLUMN

PROJECT SYMBOL IDENTIFICATION:

- DOOR NUMBER
- WINDOW NUMBER
- MATERIAL NAME / FINISH NAME
- WALL TYPE
- FIXTURE / EQUIPMENT TYPE
- GRAPHIC NAME
- PROJECT ANNOTATION IDENTIFICATION
- REVISION / ADDENDUM NUMBER
- KEYNOTE NUMBER

ENLARGED DETAIL IDENTIFICATION:

- DETAIL DESIGNATION
- SHEET REFERENCE NO.

SECTION DETAIL IDENTIFICATION:

- DETAIL DESIGNATION
- SHEET REFERENCE NO.

PROJECT SYMBOL IDENTIFICATION:

- PROJECT SYMBOL IDENTIFICATION
- PROJECT SYMBOL IDENTIFICATION

NEARBY STREETS: 11th Street, 12th Street, 13th Street, 14th Street, 15th Street, 16th Street, 17th Street, 18th Street, 19th Street, 20th Street, 21st Street, 22nd Street, 23rd Street, 24th Street, 25th Street, 26th Street, 27th Street, 28th Street, 29th Street, 30th Street, 31st Street, 32nd Street, 33rd Street, 34th Street, 35th Street, 36th Street, 37th Street, 38th Street, 39th Street, 40th Street, 41st Street, 42nd Street, 43rd Street, 44th Street, 45th Street, 46th Street, 47th Street, 48th Street, 49th Street, 50th Street, 51st Street, 52nd Street, 53rd Street, 54th Street, 55th Street, 56th Street, 57th Street, 58th Street, 59th Street, 60th Street, 61st Street, 62nd Street, 63rd Street, 64th Street, 65th Street, 66th Street, 67th Street, 68th Street, 69th Street, 70th Street, 71st Street, 72nd Street, 73rd Street, 74th Street, 75th Street, 76th Street, 77th Street, 78th Street, 79th Street, 80th Street, 81st Street, 82nd Street, 83rd Street, 84th Street, 85th Street, 86th Street, 87th Street, 88th Street, 89th Street, 90th Street, 91st Street, 92nd Street, 93rd Street, 94th Street, 95th Street, 96th Street, 97th Street, 98th Street, 99th Street, 100th Street.

FIRE DEPARTMENT NOTES

- BUILDING MATERIALS SHALL BE STORED ON SITE IN A MANNER AND LOCATION APPROVED BY BOTH THE FIRE AND PUBLIC WORKS DEPARTMENTS. CITY OF RIVERSIDE (F.D.) REQUIREMENT.
- COMBUSTIBLE SCRAP MATERIALS AND SCRAP LUMBER SHALL BE PICKED UP ON A DAILY BASIS, OR MORE FREQUENTLY, AS REQUIRED BY THE FIRE DEPARTMENT. COMBUSTIBLE DEBRIS SHALL NOT BE ACCUMULATED WITHIN BUILDINGS PER CFC 304.2.
- OPEN BURNING IS PROHIBITED ANYWHERE ON THE SITE DURING CONSTRUCTION, ALTERATION OR DEMOLITION PROJECTS. PER CFC 3304.3.

UNPERMITTED WORK STATEMENT:

UNPERMITTED WORK TO BE DESIGN AS NEW WORK ACCORDANCE WITH 2019 CBC



Riverside Engineering CONSULTING ENGINEERS

MEP ARCHITECTURAL STRUCTURAL ENERGY CONSULTANTS

Voice: 888.401.7483
Email: Info@Riv-Eng.com
www.Riv-Eng.com
11801 Pierce St., Suite 200
Riverside, California 92505
(By Appointment Only)

DMCG, INC. OFFICE REMODELS

3230 VINE STREET, RIVERSIDE, CA 92507

BP-2021-08222

PROJECT PER:

PROFESSIONAL SEAL:

CHARLES A. MITCHELL
No. C-36857
7/31/2025
State of California
Architect

REVISION LIST

- 12-14-23 Blg PC Corrections
- 2-23-23 Blg PC Corrections
- 3-29-24 Elev & Corrections

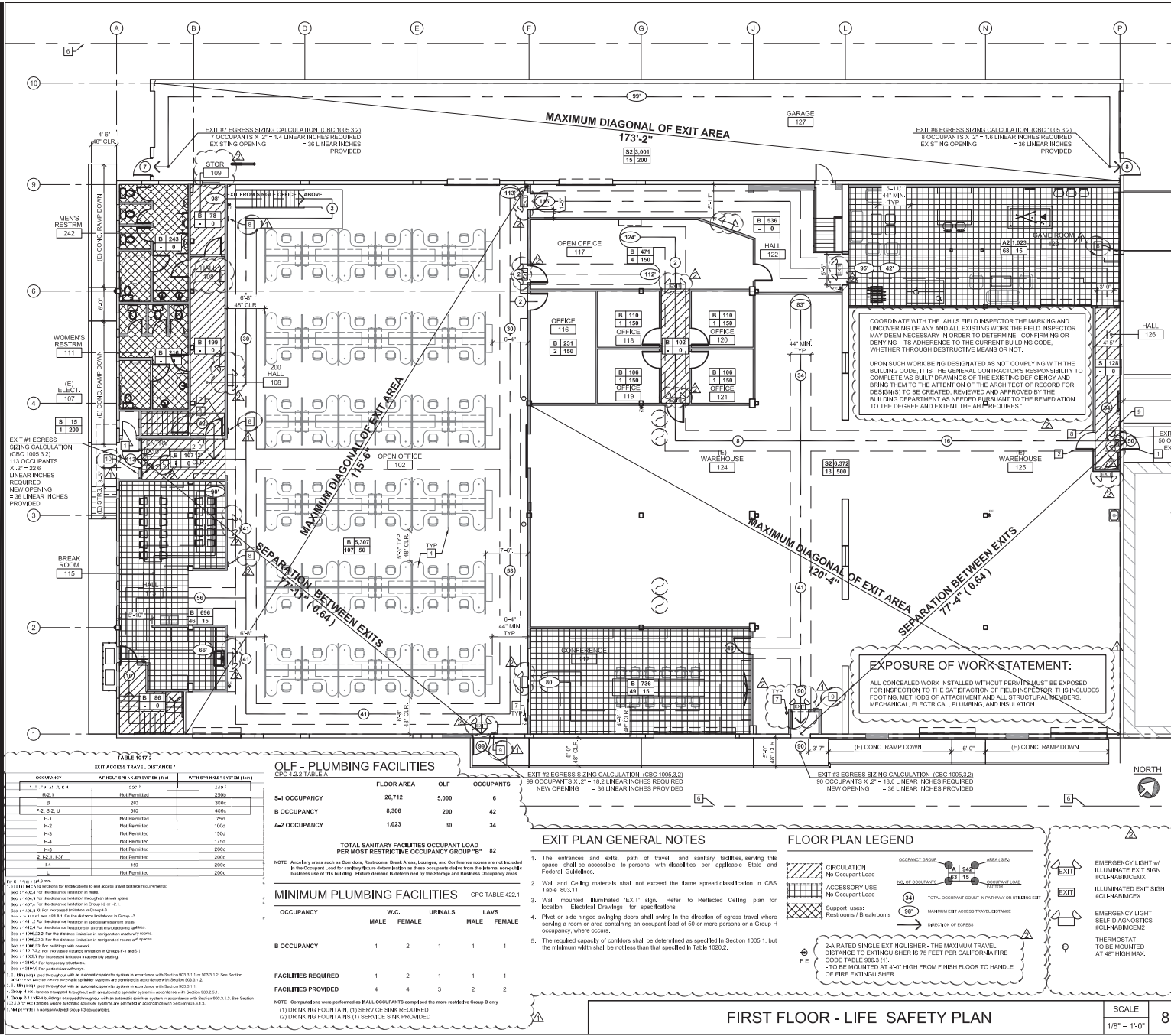
AME-RV200624

CONTACT: Riverside Engineering

SCALE: As Noted

TITLE SHEET, PROJECT INFORMATION & GENERAL NOTES

SHEET T1



OCCUPANT LOAD CALCS.

ROOM NO.	ROOM NAME	AREA (SF)	EGRESS LOAD FACTOR	TYPE OF OCC.	EGRESS OCC.
BASEMENT					
001	HALL	51	-	-	-
002	L.T. REPAIR SHOP	381	100	B-1	4
003	SERVER ROOM	211	-	-	-
004	(E) UTILITY STORAGE #1	2,343	500	S-2	5
005	(E) UTILITY STORAGE #2	5,496	500	S-2	11
006	(E) UTILITY STORAGE #3	1,510	500	S-2	4
007	(E) UTILITY STORAGE #4	2,788	500	S-2	6
008	(E) UTILITY STORAGE #5	2,771	500	S-2	6
009	(E) HALL #1	786	-	-	-
010	(E) HALL #2	684	-	-	-
TOTAL BASEMENT FLOOR		17,306			35

KEYNOTES

- (1) EXIT DOOR TO REMAIN. SEE DOOR SCHEDULE
- (2) (N) DOOR & FRAME. SEE DOOR SCHEDULE
- (3) (E) EXHAUST FAN ABOVE TO REMAIN
- (4) (E) OFFICE FURNITURE
- (5) (E) OR (N) TACTILE EXIT SIGN-EXIT RAMP DOWN
- (6) (E) PROPERTY LINE
- (7) (N) WALL-MOUNTED FIRE EXTINGUISHER UNIT. MOUNT HANDLE AT +5'-0" A.F.F. MAX.
- (8) (E) OR (N) TACTILE EXIT SIGN-EXIT ROUTE
- (9) (E) OR (N) TACTILE EXIT SIGN-EXIT
- (10) (E) INTERNATIONAL ACCESSIBILITY SYMBOL

OCCUPANT LOAD CALCS.

ROOM NO.	ROOM NAME	AREA (SF)	EGRESS LOAD FACTOR	TYPE OF OCC.	EGRESS OCC.
FIRST FLOOR					
101	ENTRY	139	100	B	2
102	OPEN OFFICE	3,302	100	B	33
103	HALL	365	-	-	-
104	HALL	626	-	-	-
105	HALL	607	-	-	-
106	HALL	422	-	-	-
107	(E) ELECT. RM.	51	-	-	-
108	HALL	200	-	-	-
109	STORAGE	76,300	S-2	-	-
110	MENS RESTROOM	242	-	-	-
111	WOMENS RESTRM.	229	-	-	-
112	CONFERENCE	732	15	B	49
113	HALL	188	-	-	-
114	KITCHENETTE	210	100	B	2
115	BREAK ROOM	286	100	B	3
116	OFFICE	231	100	B	2
117	OPEN OFFICE	471	100	B	5
118	OFFICE	110	100	B	1
119	OFFICE	106	100	B	1
120	OFFICE	110	100	B	1
121	OFFICE	106	100	B	1
122	HALL	636	-	-	-
123	GAME ROOM	1,023	15	B	69
124	(E) WAREHOUSE #1	2,802	500	S-2	6
125	(E) WAREHOUSE #2	3,539	500	S-2	8
126	HALL	91	-	-	-
TOTAL FIRST FLOOR		17,847			163
MEZZANINE					
200	STAR HALL	51	-	-	-
201	HALL	673	-	-	-
202	OFFICE	94	100	B	1
203	OFFICE	90	300	B	1
204	OFFICE	91	300	B	1
205	OFFICE	93	300	B	1
206	OFFICE	93	300	B	1
207	OFFICE	93	300	B	1
208	OFFICE	93	300	B	1
209	POWDER ROOM	32	-	-	-
210	CEO OFFICE	337	200	B	2
TOTAL MEZZANINE FLOOR		1,873			9
TOTAL BUILDING OCCUPANCY LOAD		19,724			172

TABLE 1017.2

OCCUPANCY	EXIT ACCESS TRAVEL DISTANCE*
S-1 OCCUPANCY	150'
B OCCUPANCY	100'
A-2 OCCUPANCY	150'

OLF - PLUMBING FACILITIES

FLOOR AREA	OLF	OCCUPANTS
S-1 OCCUPANCY	26,712	5,000
B OCCUPANCY	8,306	250
A-2 OCCUPANCY	1,823	30

TOTAL SANITARY FACILITIES OCCUPANT LOAD PER MOST RESTRICTIVE OCCUPANCY GROUP "B" - 82

NOTE: Facility areas used for Corridors, Restrooms, Break Areas, Lockers, and Conference rooms are not included in the Occupant Load for sanitary fixture determination as these occupancies refer from the Internal rooming business use of this building. Fixture demands is determined by the Storage and Business Occupancy uses.

MINIMUM PLUMBING FACILITIES CFC TABLE 422.1

OCCUPANCY	W.C.	URINALS	LAVS
	MALE	FEMALE	MALE
B OCCUPANCY	1	2	1

FACILITIES PROVIDED

FACILITIES PROVIDED	W.C.	URINALS	LAVS
	MALE	FEMALE	MALE
(1) DRINKING FOUNTAIN	4	4	3
(2) DRINKING FOUNTAIN	1	1	1

NOTE: Computations were performed as ALL OCCUPANTS complied the most restrictive Group only.

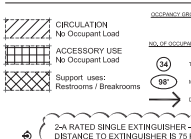
(1) DRINKING FOUNTAIN, (1) SERVICE SINK REQUIRED.

(2) DRINKING FOUNTAIN, (1) SERVICE SINK PROVIDED.

EXIT PLAN GENERAL NOTES

- The entrances and exits, path of travel, and sanitary facilities serving this space shall be accessible to persons with disabilities per applicable State and Federal Guidelines.
- Wall and Ceiling materials shall not exceed the flame spread classification in CBS Table 803.11.
- Wall mounted illuminated "EXIT" signs. Refer to Reflected Ceiling plan for location. Electrical Drawings for specifications.
- Plot or slide-engaged swinging doors shall swing in the direction of egress travel where sending a room or area containing an occupant load of 50 or more persons or a Group II occupancy, where occurs.
- The required capacity of corridors shall be determined as specified in Section 1005.1, but the minimum width shall be not less than that specified in Table 1002.2.

FLOOR PLAN LEGEND



EMERGENCY LIGHT & ILLUMINATED EXIT SIGN

EMERGENCY LIGHT & ILLUMINATED EXIT SIGN, ICL-NABIMCEM

EMERGENCY LIGHT SELF-CONTAINED ICL-NABIMCEM

TERMOSTAT: TO BE MOUNTED AT 4'-0" HIGH FROM FINISH FLOOR TO HANDLE OF FIRE EXTINGUISHER.

FIRST FLOOR - LIFE SAFETY PLAN

SCALE 1/8" = 1'-0"

PER TABLE 1004.1.2 2019 CBC
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT ASSEMBLY WITH SEATED SEATS

Riverside Engineering
CONSULTING ENGINEERS

MAP ARCHITECTURAL STRUCTURAL ENERGY CONSULTANTS

Phone: 958-401-7483
Email: info@Riv-Eng.com
www.Riv-Eng.com
11801 Pierce St., Suite 200
Riverside, California 92505
(By Appointment Only)

Project For: **DMCG, INC.**
OFFICE REMODELS
3230 VINE STREET, RIVERSIDE, CA 92507

Professional Seal: **CHARLES W. HATHORN**
No. C-36857
1/31/2015
STATE OF CALIFORNIA

REVISION LIST

- 12-14-22 Bldg PC Corrections
- 2-23 Bldg PC Corrections

AME-RV200624

CONTACT: Riverside Engineering

SCALE: As Noted

FIRST FLOOR LIFE SAFETY PLAN

SHEET **T2.2**

DATE: 05/24/20



REVISION LIST

1	12-4-22 Bldg PC Corrections
2	2-8-23 Bldg PC Corrections

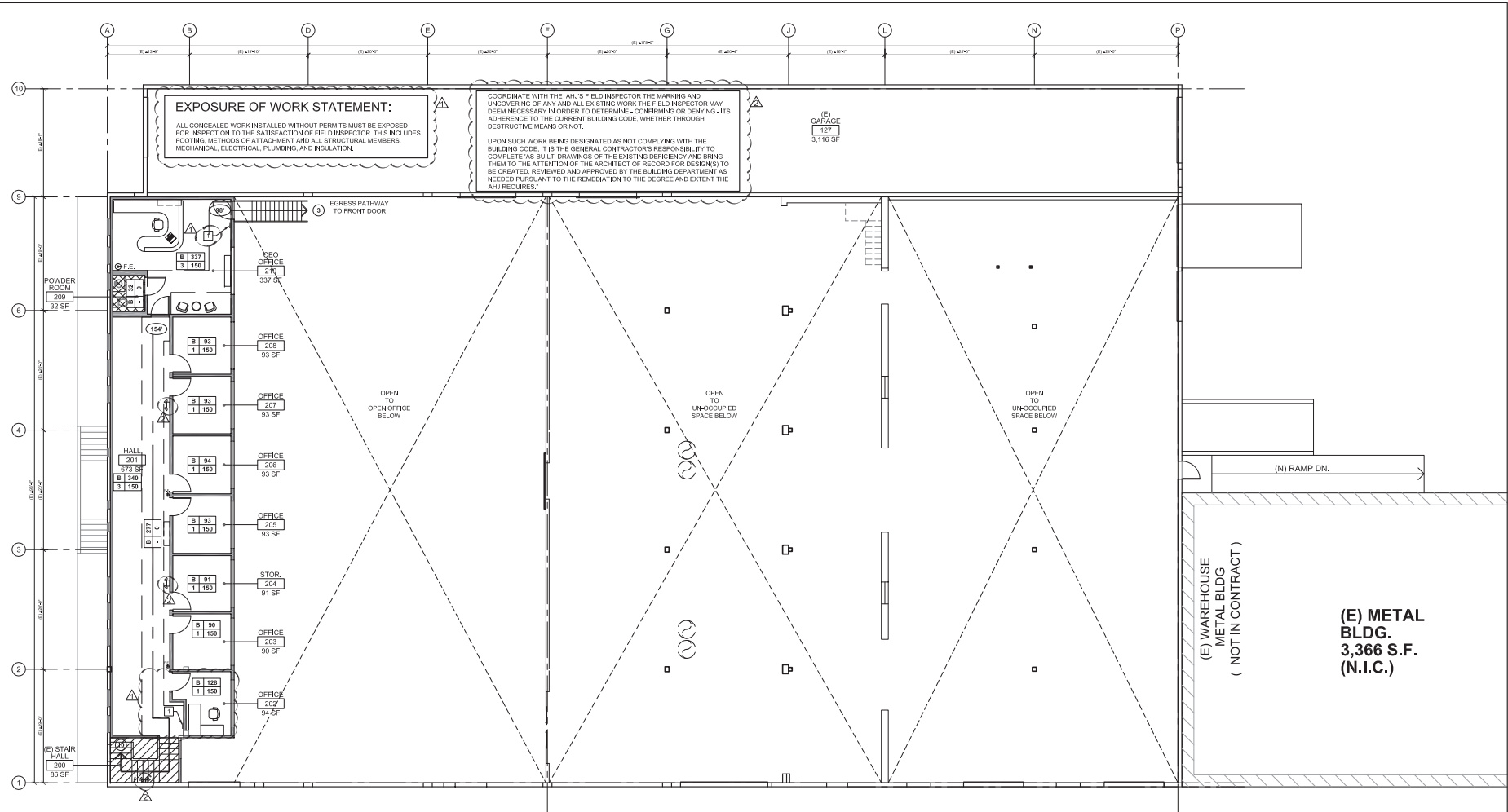
AME-RV200624

CONTACT: Riverside Engineering

SCALE: As Noted

MEZZANINE
LIFE SAFETY PLAN

SHEET
T2.3
DATE: 06/24/20



EXPOSURE OF WORK STATEMENT:
ALL CONCEALED WORK INSTALLED WITHOUT PERMITS MUST BE EXPOSED FOR INSPECTION TO THE SATISFACTION OF FIELD INSPECTOR. THIS INCLUDES FOOTING, METHODS OF ATTACHMENT AND ALL STRUCTURAL MEMBERS, MECHANICAL, ELECTRICAL, PLUMBING, AND INSULATION.

COORDINATE WITH THE AHJ'S FIELD INSPECTOR THE MARKING AND UNCOVERING OF ANY AND ALL EXISTING WORK THE FIELD INSPECTOR MAY DEEM NECESSARY IN ORDER TO DETERMINE, CONFIRM OR DENY ITS ADHERENCE TO THE CURRENT BUILDING CODE, WHETHER THROUGH DESTRUCTIVE MEANS OR NOT.
UPON SUCH WORK BEING DESIGNATED AS NOT COMPLYING WITH THE BUILDING CODE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COMPLETE "AS-BUILT" DRAWINGS OF THE EXISTING DEFICIENCY AND BRING THEM TO THE ATTENTION OF THE ARCHITECT OF RECORD FOR DESIGN(S) TO BE CREATED, REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT AS NEEDED PURSUANT TO THE REMEDIATION TO THE DEGREE AND EXTENT THE AHJ REQUIRES.

(E) GARAGE
127
3,116 SF

MEANS OF EGRESS ILLUMINATION

1008.1 MEANS OF EGRESS ILLUMINATION
ILLUMINATION SHALL BE PROVIDED IN THE MEANS OF EGRESS IN ACCORDANCE WITH SECTION 1008.2 UNDER EMERGENCY POWER. MEANS OF EGRESS ILLUMINATION SHALL COMPLY WITH SECTION 1008.3
1008.2 ILLUMINATION REQUIRED THE MEANS OF EGRESS SERVING A ROOM OR SPACE SHALL BE ILLUMINATED AT ALL TIMES THAT THE ROOM OR SPACE IS OCCUPIED.
1008.2.1 ILLUMINATION LEVEL UNDER NORMAL POWER
THE MEANS OF EGRESS ILLUMINATION LEVEL SHALL BE NOT LESS THAN 1 FOOT-CANDLE (11 LUX) AT THE WALKING SURFACE.
1008.3 EMERGENCY POWER FOR ILLUMINATION
THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY.

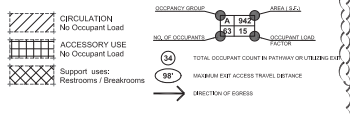
EXIT SIGN ILLUMINATION

1013.3 EXIT SIGNS SHALL BE INTERNALLY OR INTERNALLY ILLUMINATED
1013.5 INTERNALLY ILLUMINATED EXIT SIGNS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 324 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SECTION 1005. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
1013.6 EXTERNALLY ILLUMINATED EXIT SIGNS SHALL COMPLY WITH SECTIONS 1013.6.1 THROUGH 1013.6.3

EXIT PLAN GENERAL NOTES

- The entrances and exits, path of travel, and sanitary facilities serving this space shall be accessible to persons with disabilities per applicable State and Federal Guidelines.
- Wall and Ceiling materials shall not exceed the flame spread classification in CBS Table 903.1.1.
- Wall mounted illuminated EXIT sign. Refer to Reflected Ceiling plan for location. Electrical Drawings for specifications.
- Flood or slide-lidged swinging doors shall swing in the direction of egress travel where serving a room or area containing an occupant load of 50 or more persons or a Group II occupancy, where occur.
- The required capacity of corridors shall be determined as specified in Section 1005.1, but the minimum width shall not be less than that specified in Table 1002.2.

LIFE SAFETY PLAN LEGEND



2-A RATED SINGLE EXTINGUISHER - THE MAXIMUM TRAVEL DISTANCE TO EXTINGUISHER IS 75 FEET PER CALIFORNIA FIRE CODE TABLE 906.3 (1).
- TO BE MOUNTED AT 4'-0" HIGH FROM FINISH FLOOR TO HANDLE OF FIRE EXTINGUISHER
F.E.

KEYNOTES

- (E) OR (N) TACTILE "EXIT STAIR DOWN" SIGN

MEZZANINE - LIFE SAFETY PLAN



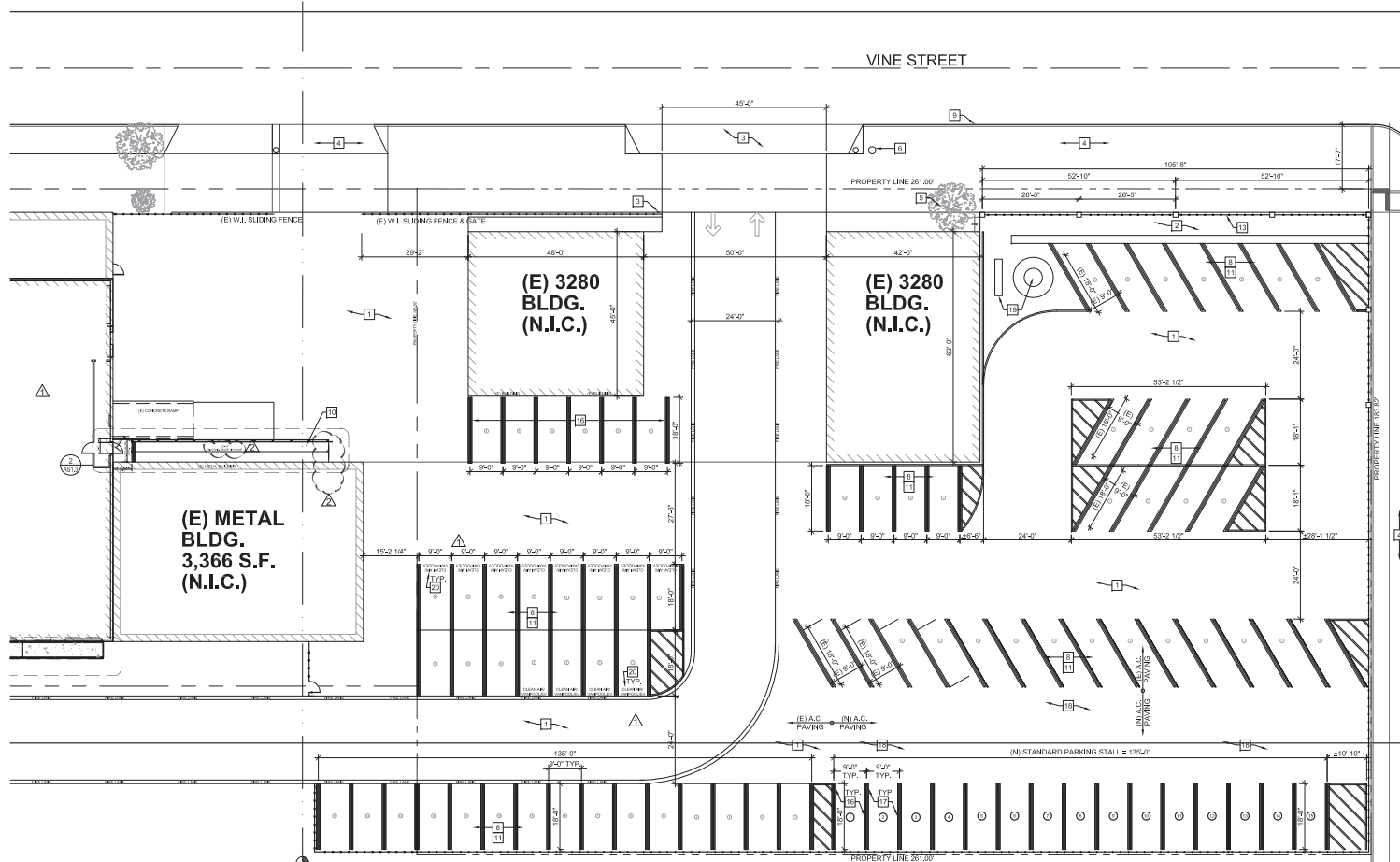
SCALE
1/8" = 1'-0"

8

Filename: 211102023_11200_Plan (Rev. 01) | Title: mezzanine life safety | Revit: 2/16/2024

RIVERSIDE (91) FREEWAY

VINE STREET



MATCHLINE
SEE SHEET AS.1

EXPOSURE OF WORK STATEMENT:
ALL CONCEALED WORK INSTALLED WITHOUT PERMITS MUST BE EXPOSED FOR INSPECTION TO THE SATISFACTION OF FIELD INSPECTOR. THIS INCLUDES FOOTING, METHODS OF ATTACHMENT AND ALL STRUCTURAL MEMBERS, MECHANICAL, ELECTRICAL, PLUMBING, AND INSULATION.

COORDINATE WITH THE A.H.U.'S FIELD INSPECTOR THE MARKING AND UNCOVERING OF ANY AND ALL EXISTING WORK THE FIELD INSPECTOR MAY DEEM NECESSARY IN ORDER TO DETERMINE + CONFIRM OR DENY - ITS ADHERENCE TO THE CURRENT BUILDING CODE, WHETHER THROUGH DESTRUCTIVE MEANS OR NOT.
UPON SUCH WORK BEING DESIGNATED AS NOT COMPLYING WITH THE BUILDING CODE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COMPLETE AS-BUILT DRAWINGS OF THE EXISTING DEFICIENCY AND BRING THEM TO THE ATTENTION OF THE ARCHITECT OF RECORD FOR DESIGN TO BE CREATED, REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT AS NEEDED PURSUANT TO THE REMEDIATION TO THE DEGREE AND EXTENT THE A.H.U. REQUIRES.

PARTIAL SITE PLAN

KEYNOTES

- GENERAL (E) SURFACE DRAINAGE PATTERN INCLUDING (E) ROOF DRAINAGE LOAD TRANSFERRED TO GROUND LEVEL, IS TO REMAIN AS IS.
- THIS IS A CONCEPTUAL SITE PLAN, UNLESS OTHERWISE NOTED, ALL ELEMENTS AND CONDITIONS ARE EXISTING.
- VEHICULAR ACCESS DRIVES MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS AND TRAFFIC CONES PER LOCAL REQUIREMENTS, ACCESS TO DRIVEWAYS TO BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL MATERIALS AND WORKMANSHIP FOR PUBLIC FACILITIES TO CONFORM TO CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL SWEEP ENTIRE SITE OR PORTIONS OF SITE TO BE USED BY THE PUBLIC AND SURROUNDING RIGHT-OF-WAY AREA OF THE STREET PRIOR TO USE BY THE GENERAL PUBLIC.
- THE SITE SHALL BE KEPT FREE OF FIRE HAZARDS FROM THE START OF CONSTRUCTION TO FINAL INSPECTION.
- THE G.C. SHALL IMPLEMENT A BEST MANAGEMENT PRACTICE STORMWATER FOR ALL ACTIVITIES.
- THE G.C. IS RESPONSIBLE TO VERIFY ALL UNDERGROUND UTILITIES PRIOR TO PERFORMING EXTERIOR WORK. CALL 811 BEFORE DIGGING.
- G.C. TO VERIFY ANY ABRUPT CHANGE IN LEVEL EXCEEDING 1/2" EXISTING CONCRETE SUBASPHALT TRANSITION FROM ENTRY TO PUBLIC WAY/ ACCESS. G.C. TO PROVIDE CLEAR PATH OF TRAVEL.
- SITE & PARKING ARE EXISTING TO REMAIN UNCHANGED.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTING WITH THEIR BACKGROUND NUMBERS SHALL BE A MINIMUM OF 6 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
- THE G.C. IS RESPONSIBLE TO FIELD VERIFY AND LOCATE ALL WET AND DRY UTILITIES CONNECTION POINTS PRIOR TO ANY DEMOLITION OR CONSTRUCTION. (E.G. GAS, WATER AND SEWER, CLEANOUTS, ETC.)
- G.C. TO VERIFY ACCESSIBLE PATH OF TRAVEL TO HAVE MAX. 5% IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.

KEYNOTES

- (E) ASPHALT PAVING TO REMAIN
- (E) LANDSCAPING TO REMAIN
- (E) CONCRETE DRIVEWAY APRON
- (E) CONCRETE PUBLIC SIDEWALK
- (E) TREE/ LANDSCAPING TO REMAIN
- (E) POWER UTILITY POLE TO REMAIN
- NOT USED
- (E) PARKING RE-STRIPING SPACE, 9' X 18' TYP.
- (E) 6" CONCRETE CURB
- (N) CONC. RAMP & LANDING
- RE-STRIPING 4" THICK PARKING STALL STRIPING PER CITY STANDARDS
- (E) ACCESSIBLE PARKING RE-STRIPING
- (E) 6" HIGH METAL FENCE/ BARRIER WALL TO REMAIN
- (N) 4" WHITE DIAGONAL (45 DEG) STRIPING AT 30" O.C.
- (N) PATH OF TRAVEL TO ACCESSIBLE ENTRANCE (MAX 5% IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE)
- (N) STANDARD PARKING SPACE, 9' X 18' PER CITY STANDARD, TYP.
- (N) 4" THICK PARKING STALL STRIPING PER CITY STANDARDS
- (N) 3" ASPHALT CONCRETE PAVING OF 6" CLASS II AGGREGATE BASE EXISTING COMPACTED GRADE
- (E) 3" CONCRETE BENCH & SCULPTURE TO REMAIN
- PROVIDE 12 (N) 12" HIGH WHITE LETTERS PAVEMENT MARKING "CLEAN AIR VAN-POOL EV". LOWER EDGE OF THE LAST WORD ALIGNS W/ THE END OF THE STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE

PROPERTY TABULATION

LOT SIZE:	41,459 SQ. FT.
BUILDING FOOTPRINT:	24,354 SQ. FT.
LOT COVERAGE:	58.6 %

PARKING ANALYSIS

BUSINESS (B-1)	
- FIRST FLOOR: 3,202 @ 1/ PER 2,00 SF =	17 STALLS
- MEZZANINE: 1,000 @ 1/ PER 2,00 SF =	6 STALLS
STORAGE (S-1)	
- FIRST FLOOR: 7,363 @ 1/ PER 2,000 SF =	4 STALLS
- BASEMENT: 17,254 @ 1/ PER 2,000 SF =	9 STALLS
WAREHOUSE (W-1)	
- FIRST FLOOR: 2,580 @ 1/ PER 2,000 SF =	2 STALLS
TOTAL REQUIRED PARKING STALLS	= 38 STALLS
(N) 9' X 18' STANDARD PARKINGS	= 15 STALLS
(N) SECURED BICYCLE PARKING RACK	= 1 RACK
(N) DESIGNATED CLEAN AIR PARKING STALLS	= 12 STALLS
TOTAL PARKING STALLS PROVIDED	= 92 STALLS

SCALE
1" = 15'-0"

6

Riverside Engineering
CONSULTING ENGINEERS

MEP
ARCHITECTURAL
STRUCTURAL
ENERGY
CONSULTANTS

Phone: 958-401-7483
Email: info@Riv-Eng.com
www.Riv-Eng.com
11801 Pierce St., Suite 200
Riverside, California 92505
(By Appointment Only)

Project For:

DMCG, INC.
OFFICE REMODELS

3230 VINE STREET, RIVERSIDE, CA 92507

Professional Seal:

REVISION LIST

12-14-22 Bldg PC Corrections
2-8-23 Bldg PC Corrections

AME-RV200624

CONTACT: Riverside Engineering

SCALE: As Noted

PARTIAL
SITE PLAN

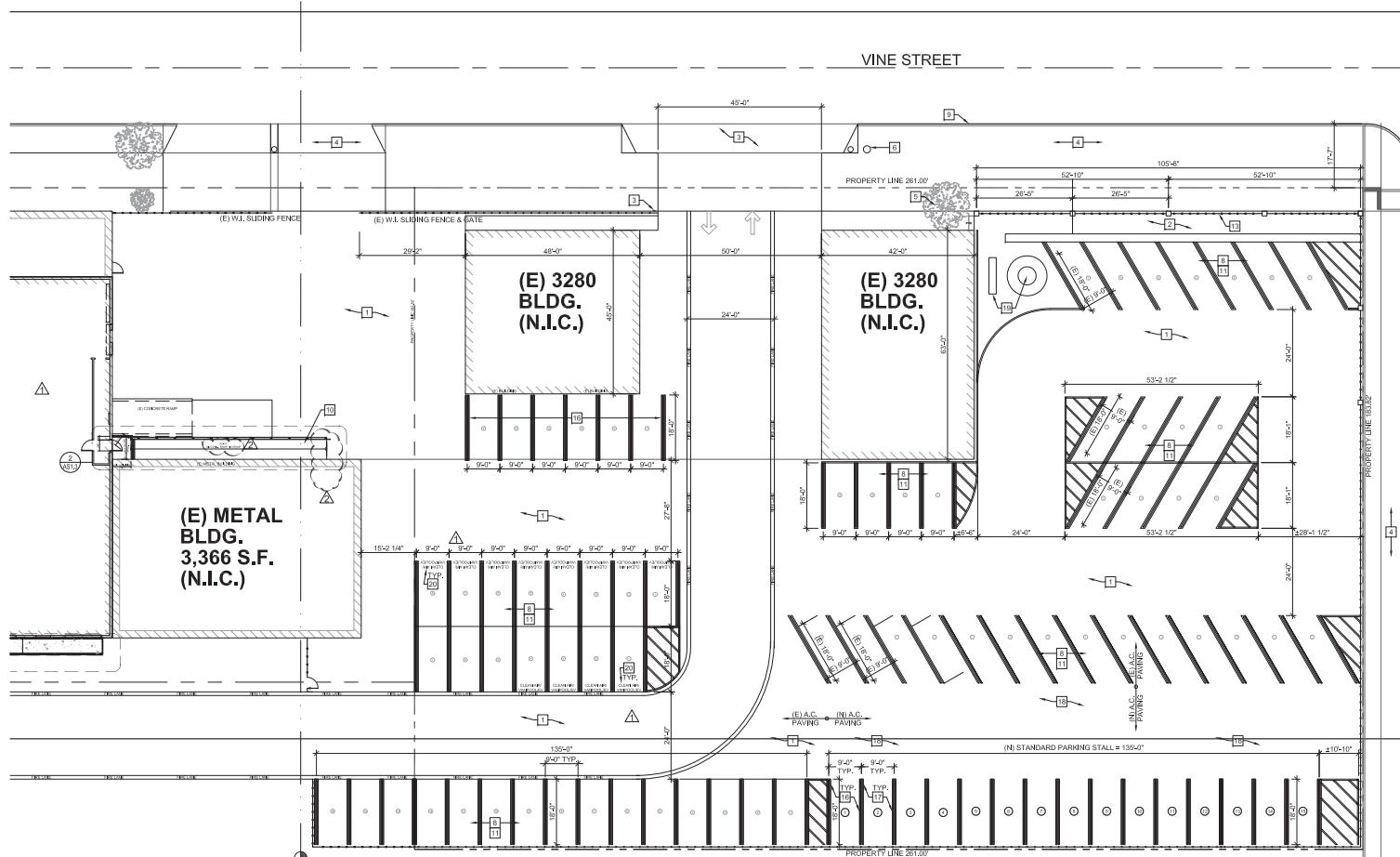
SHEET
AS1.2

DATE: 06/24/20

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RIVERSIDE (91) FREEWAY

VINE STREET



COORDINATE WITH THE AHJ'S FIELD INSPECTOR THE MARKING AND UNCOVERING OF ANY AND ALL EXISTING WORK THE FIELD INSPECTOR MAY DEEM NECESSARY IN ORDER TO DETERMINE + CONFIRM OR DENY - ITS ADHERENCE TO THE CURRENT BUILDING CODE, WHETHER THROUGH DESTRUCTIVE MEANS OR NOT.

UPON SUCH WORK BEING DESIGNATED AS NOT COMPLYING WITH THE BUILDING CODE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COMPLETE AS-BUILT DRAWINGS OF THE EXISTING DEFICIENCY AND BRING THEM TO THE ATTENTION OF THE ARCHITECT OF RECORD FOR DESIGN TO BE CREATED, REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT AS NEEDED PURSUANT TO THE REMEDIATION TO THE DEGREE AND EXTENT THE AHJ REQUIRES.

EXPOSURE OF WORK STATEMENT:

ALL CONCEALED WORK INSTALLED WITHOUT PERMITS MUST BE EXPOSED FOR INSPECTION TO THE SATISFACTION OF FIELD INSPECTOR. THIS INCLUDES FOOTING, METHODS OF ATTACHMENT AND ALL STRUCTURAL MEMBERS, MECHANICAL, ELECTRICAL, PLUMBING, AND INSULATION.

PARTIAL SITE PLAN

KEYNOTES

- GENERAL (E) SURFACE DRAINAGE PATTERN INCLUDING (E) ROOF DRAINAGE LOAD TRANSFERRED TO GROUND LEVEL, IS TO REMAIN AS IS.
- THIS IS A CONCEPTUAL SITE PLAN, UNLESS OTHERWISE NOTED, ALL ELEMENTS AND CONDITIONS ARE EXISTING.
- VEHICULAR ACCESS DRIVES MUST BE PROVIDED AND MAINTAINED SERVICEABLE THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL ERECT AND MAINTAIN BARRICADES, WARNING SIGNS AND TRAFFIC CONES PER LOCAL REQUIREMENTS, ACCESS TO DRIVEWAYS TO BE MAINTAINED AT ALL TIMES. ALL TRAFFIC CONTROL MEASURES SHALL BE APPROVED AND IN PLACE PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL MATERIALS AND WORKMANSHIP FOR PUBLIC FACILITIES TO CONFORM TO CITY STANDARD CONSTRUCTION SPECIFICATIONS.
- CONTRACTOR SHALL SWEEP ENTIRE SITE OR PORTIONS OF SITE TO BE USED BY THE PUBLIC AND SURROUNDING RIGHT-OF-WAY AREA OF THE STREET PRIOR TO USE BY THE GENERAL PUBLIC.
- THE SITE SHALL BE KEPT FREE OF FIRE HAZARDS FROM THE START OF CONSTRUCTION TO FINAL INSPECTION.
- THE G.C. SHALL IMPLEMENT A BEST MANAGEMENT PRACTICE STORMWATER FOR ALL ACTIVITIES.
- THE G.C. IS RESPONSIBLE TO VERIFY ALL UNDERGROUND UTILITIES PRIOR TO PERFORMING EXTERIOR WORK. CALL 811 BEFORE DIGGING.
- G.C. TO VERIFY ANY ABRUPT CHANGE IN LEVEL EXCEEDING 1/2" EXISTING CONCRETE SUBASPHALT TRANSITION FROM ENTRY TO PUBLIC WAY/ ACCESS. G.C. TO PROVIDE CLEAR PATH OF TRAVEL.
- SITE & PARKING ARE EXISTING TO REMAIN UNCHANGED.
- NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTING WITH THEIR BACKGROUND, NUMBERS SHALL BE A MINIMUM OF 6 INCHES HIGH WITH A MINIMUM STROKE OF .5 INCHES. WHERE ACCESS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
- THE G.C. IS RESPONSIBLE TO FIELD VERIFY AND LOCATE ALL WET AND DRY UTILITIES CONNECTION POINTS PRIOR TO ANY DEMOLITION OR CONSTRUCTION. (I.E. GAS, WATER AND SEWER, CLEANOUTS, ETC.).
- G.C. TO VERIFY ACCESSIBLE PATH OF TRAVEL TO HAVE MAX. 5% IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE.

KEYNOTES

- (E) ASPHALT PAVING TO REMAIN
- (E) LANDSCAPING TO REMAIN
- (E) CONCRETE DRIVEWAY APRON
- (E) CONCRETE PUBLIC SIDEWALK
- (E) TREE/ LANDSCAPING TO REMAIN
- (E) POWER UTILITY POLE TO REMAIN
- NOT USED
- (E) PARKING RE-STRIPING SPACE, 9' X 18' TYP.
- (E) 6" CONCRETE CURB
- (N) CONC. RAMP & LANDING
- RE-STRIPING 4" THICK PARKING STALL STRIPING PER CITY STANDARDS
- (E) ACCESSIBLE PARKING RE-STRIP
- (E) 6" HIGH METAL FENCE/ BARRIER WALL TO REMAIN
- (N) 4" WHITE DIAGONAL (45 DEG) STRIPING AT 30" O.C.
- (N) PATH OF TRAVEL TO ACCESSIBLE ENTRANCE (MAX 5% IN DIRECTION OF TRAVEL AND 2% MAX. CROSS SLOPE)
- (N) STANDARD PARKING SPACE, 9' X 18' PER CITY STANDARD, TYP.
- (N) 4" THICK PARKING STALL STRIPING PER CITY STANDARDS
- (N) 3" ASPHALT CONCRETE PAVING OF 6" CLASS II AGGREGATE BASE EXISTING COMPACTED GRADE
- (E) 3" CONCRETE BENCH & SCULPTURE TO REMAIN
- PROVIDE 12 (N) 12" HIGH WHITE LETTERS PAVEMENT MARKING "CLEAN AIR VAN-POOL EV". LOWER EDGE OF THE LAST WORD ALIGNS W/ THE END OF THE STALL STRIPING AND IS VISIBLE BENEATH A PARKED VEHICLE

PROPERTY TABULATION

LOT SIZE:	41,459 SQ. FT.
BUILDING FOOTPRINT:	24,354 SQ. FT.
LOT COVERAGE:	58.6 %

PARKING ANALYSIS

BUSINESS (B-1)	
- FIRST FLOOR: 3,202 @ 1/ PER 2,00 SF =	17 STALLS
- MEZZANINE: 1,200 @ 1/ PER 2,00 SF =	6 STALLS
STORAGE (S-1)	
- FIRST FLOOR: 7,363 @ 1/ PER 2,000 SF =	4 STALLS
- BASEMENT: 17,254 @ 1/ PER 2,000 SF =	9 STALLS
WAREHOUSE (W-1)	
- FIRST FLOOR: 2,580 @ 1/ PER 2,000 SF =	2 STALLS
TOTAL REQUIRED PARKING STALLS	= 38 STALLS
(N) 9' X 18' STANDARD PARKINGS	= 15 STALLS
(N) SECURED BICYCLE PARKING RACK	= 1 RACK
(N) DESIGNATED CLEAN AIR PARKING STALLS	= 12 STALLS
TOTAL PARKING STALLS PROVIDED	= 92 STALLS

SCALE 1" = 15'-0"

Riverside Engineering
CONSULTING ENGINEERS

MEP ARCHITECTURAL STRUCTURAL ENERGY CONSULTANTS

Phone: 958-401-7483
Email: info@riv-eng.com
www.riv-eng.com
11801 Pierce St., Suite 200
Riverside, California 92505
(By Appointment Only)

Project For:

DMCG, INC.
OFFICE REMODELS

3230 VINE STREET, RIVERSIDE, CA 92507

PROFESSIONAL SEAL:

CHARLES A. MATHIAS
No. C-38567
7/31/2015
STATE OF CALIFORNIA

REVISION LIST

12-14-22 Bldg PC Corrections
2-8-23 Bldg PC Corrections

AME-RV200624

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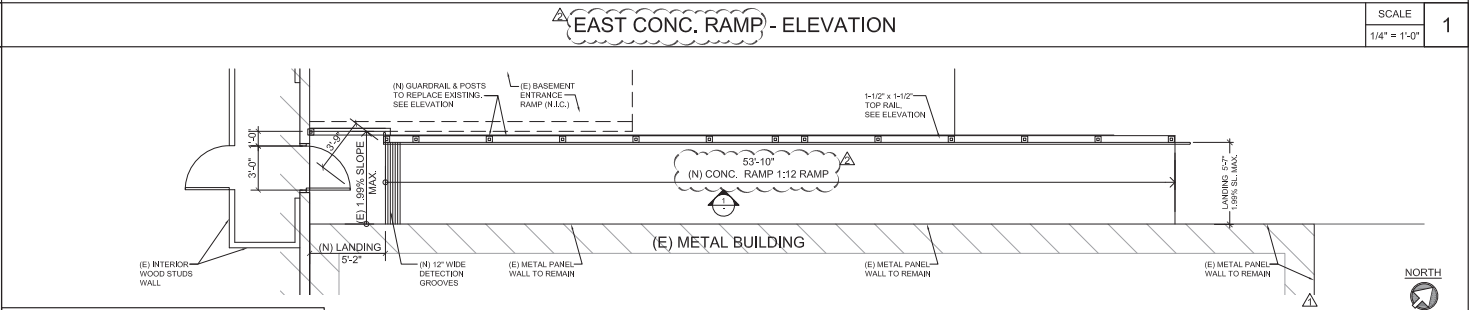
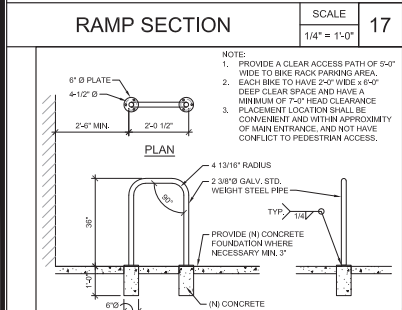
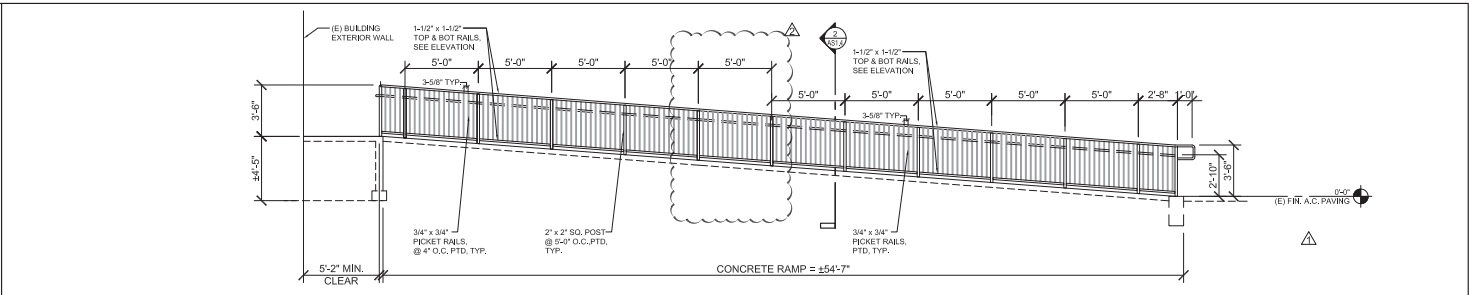
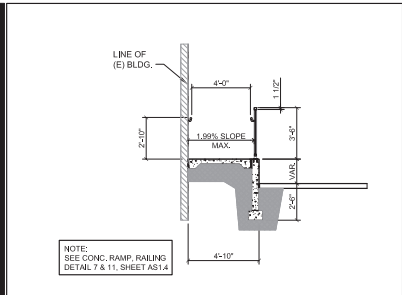
PARTIAL SITE PLAN

SHEET AS1.2

DATE: 06/24/20

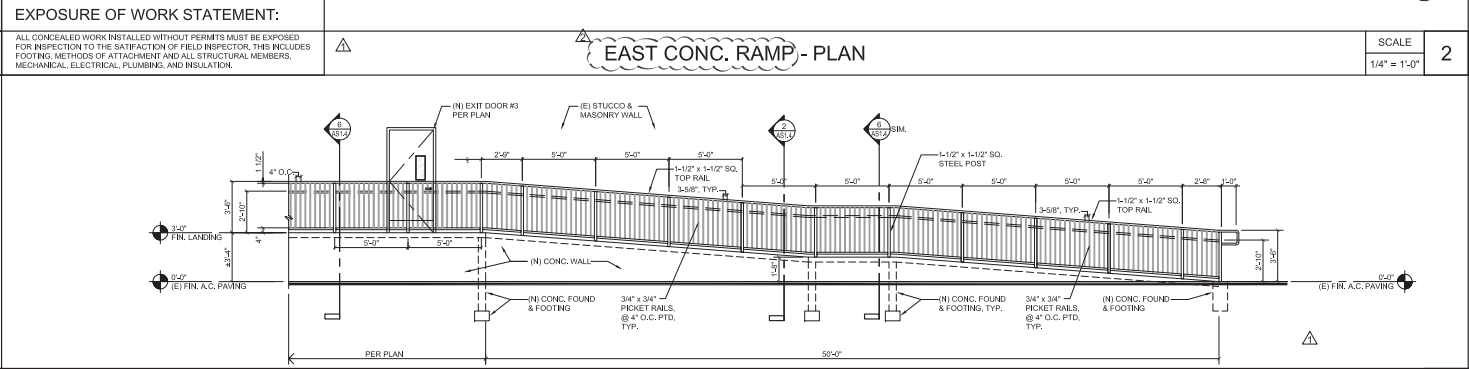
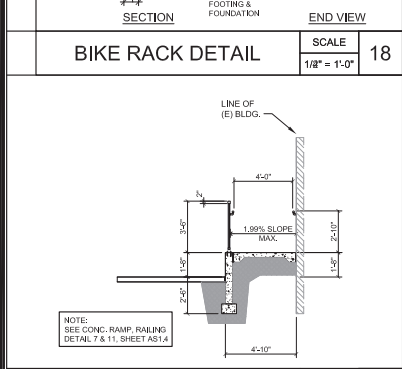
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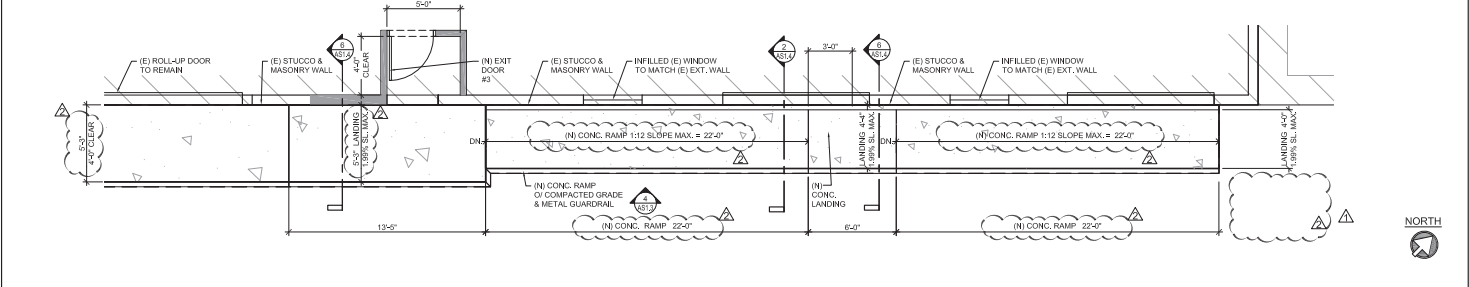


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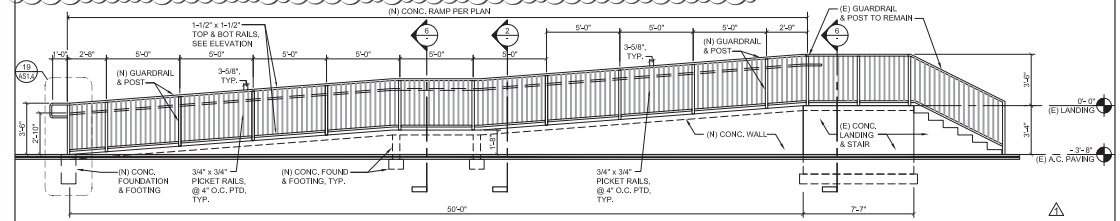
COORDINATE WITH THE AHS FIELD INSPECTOR THE MARKING AND UNCOVERING OF ANY AND ALL EXISTING WORK THE FIELD INSPECTOR MAY DEEM NECESSARY IN ORDER TO DETERMINE - CONFIRMING OR DENYING - ITS ADHERENCE TO THE CURRENT BUILDING CODE, WHETHER THROUGH DESTRUCTIVE MEANS OR NOT.

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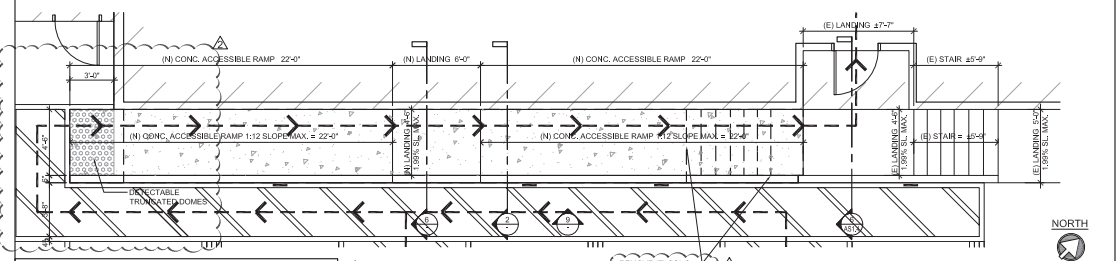
COORDINATE WITH THE A.H.U.'S FIELD INSPECTOR THE MARKING AND UNCOVERING OF ANY AND ALL EXISTING WORK THE FIELD INSPECTOR MAY DEEM NECESSARY IN ORDER TO DETERMINE - CONFIRMING OR DENYING - ITS ADHERENCE TO THE CURRENT BUILDING CODE, WHETHER THROUGH DESTRUCTIVE MEANS OR NOT.

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ACCESSIBLE RAMP - ELEVATION

SCALE 1/4" = 1'-0" 9



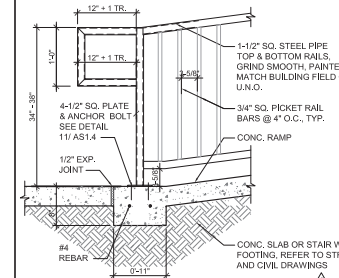
ACCESSIBLE RAMP - PLAN

SCALE 1/4" = 1'-0" 10

EXPOSURE OF WORK STATEMENT:

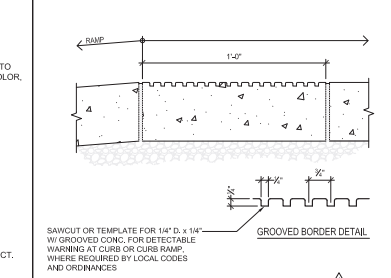
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REMOVE (E) CONC. STAIRS & RAILING FOR (N) RAMP & RAILING



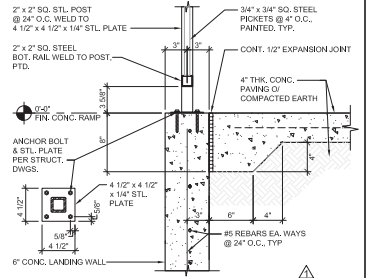
STEEL PIPE HANDRAIL

SCALE 1" = 1'-0" 19



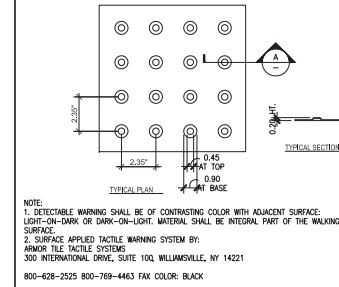
CONCRETE RAMP GROOVED

SCALE 3" = 1'-0" 15



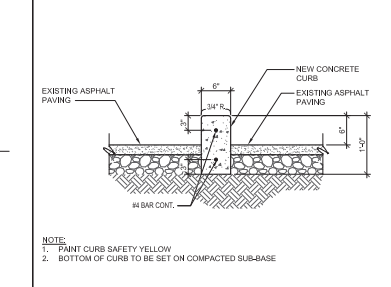
CONC RAMP DETAIL

SCALE 1 1/2" = 1'-0" 11



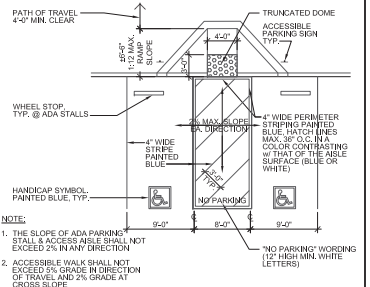
TRUNCATED DOMES

SCALE N.T.S. 20



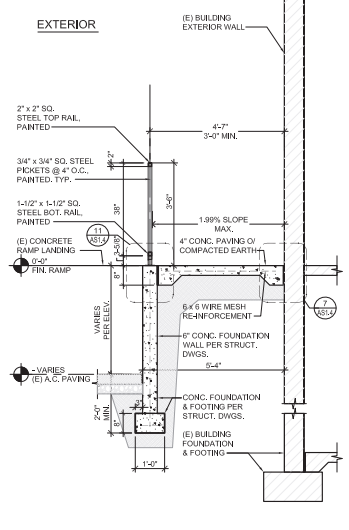
CURB @ LANDSCAPE

SCALE 1" = 1'-0" 16



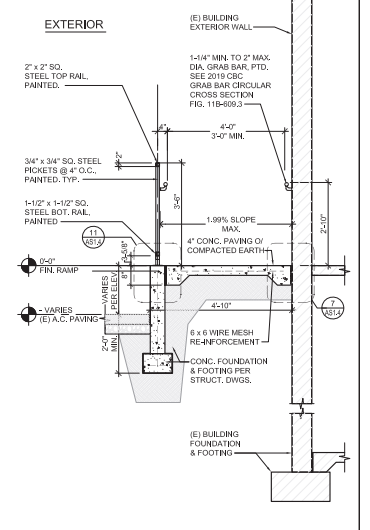
(E) ACCESSIBLE PARKING (FOR REFERENCE ONLY)

SCALE 1/4" = 1'-0" 12



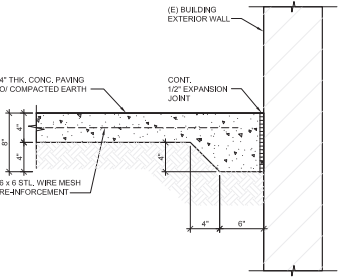
CONCRETE LANDING SECTION

SCALE 1/2" = 1'-0" 6



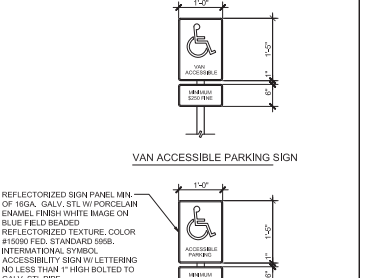
CONCRETE RAMP SECTION

SCALE 1/2" = 1'-0" 2



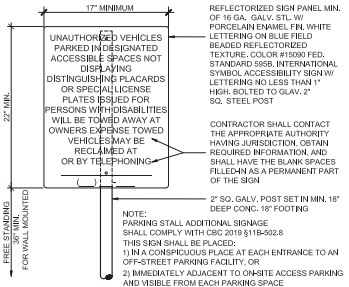
CONC RAMP DETAIL

SCALE 1 1/2" = 1'-0" 7



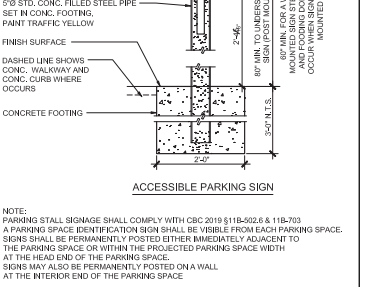
ACCESSIBLE/VAN PARKING SIGN

SCALE N.T.S. 4



(E) TOWED AWAY ENTRANCE SIGN

SCALE 1" = 1'-0" 8



ACCESSIBLE/VAN PARKING SIGN

SCALE N.T.S. 4



Riverside Engineering CONSULTING ENGINEERS
 ARCHITECTURAL STRUCTURAL ENERGY CONSULTANTS
 Voice: 959-401-7483
 Email: info@Riv-Eng.com
 www.Riv-Eng.com
 11801 Pierce St., Suite 200
 Riverside, California 92505
 (By Appointment Only)

Project For:
DMCG, INC.
OFFICE REMODELS
 3230 VINE STREET, RIVERSIDE, CA 92507



REVISION LIST
 12-4-22 Bldg PC Corrections
 2-2-23 Bldg PC Corrections

AME-RV200624
 CONTACT: Riverside Engineering

SCALE: As Noted

SITE DETAILS

SHEET AS1.4
 DATE: 06/24/20

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DEMOLITION - GENERAL NOTES

CODES AND STANDARDS:

- DEMOLITION WORK SHALL BE CONDUCTED IN ACCORDANCE WITH THE LANDLORD, CITY, STATE AND FEDERAL SAFETY REQUIREMENTS.
 - GENERAL CONTRACTOR (G.C.) SHALL PROCURE ALL CITY AND STATE PERMITS AND LICENSES AND PAY ALL CHARGES AND FEES UNLESS SPECIFIED OTHERWISE.
- SITE INVESTIGATION**
- THE G.C. SHALL VISIT THE SITE TO DETERMINE THE FULL EXTENT OF ALL THE WORK AND ANY OTHER MATTERS THAT IN ANY WAY MAY AFFECT THE WORK. FAILURE OF THE G.C. TO FAMILIARIZE THEMSELVES WITH ALL AVAILABLE INFORMATION CONCERNING CONDITIONS WILL NOT RELIEVE THEM FROM FULL RESPONSIBILITY FOR ANY EXCESSIVE COST OF THE WORK. IMMEDIATELY UPON COMPLETION OF DEMOLITION, ALL CONDITIONS AND DIMENSIONS ARE TO BE CHECKED FOR DISCREPANCIES. REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. ANY UNNOTED EXISTING CONDITIONS WHICH MAY CONFLICT WITH THE PROPOSED OF NEW WORK AND MAY REQUIRE MODIFICATION, RE-LOCATION OR REMOVAL SHALL BE IDENTIFIED AND REPORTED TO THE ARCHITECT IMMEDIATELY.

DEMOLITION:

- UNLESS NOTED OTHERWISE, NO ALTERATION OF THE LANDLORD'S BUILDING STRUCTURE IS ALLOWED. OPERATIONAL PROCEDURES SHALL BE OPTIMAL AT THE G.C.'S DISCRETION AS LONG AS THE PROCEDURES DO NOT DELAY THE APPROVED WORK SCHEDULE OR COMPROMISE SALVAGE REQUIREMENTS.
- COORDINATE ANY DEMOLITION REQUIREMENTS AND PROVISIONS WITH THE ARCHITECT IN WRITING PRIOR TO BEGINNING ANY WORK. NOTIFY THE ARCHITECT IN WRITING IMMEDIATELY IF ANY UNFORESEEN HAZARDS ARE DISCOVERED PRIOR TO COMPLETION OF DEMOLITION.
- G.C. SHALL NOT DEMOLISH ANY LOAD BEARING AND SHEAR WALLS AND ANY CONSTRUCTION THAT WILL COMPROMISE THE FULL STRUCTURAL INTEGRITY OF THE EXISTING SPACE AND BUILDING. G.C. IS RESPONSIBLE TO NOTIFY ARCHITECT IMMEDIATELY OF ANY STRUCTURAL CONCERNS DURING DEMOLITION AND CONSTRUCTION.
- REMOVE ALL EXISTING INTERIOR PARTITIONS, DOORS AND DOOR FRAMES DENOTED FOR DEMOLITION. REMOVE ALL MILLWORK, EQUIPMENT, ETC. ATTACHED TO PARTITIONS SCHEDULED FOR DEMOLITION.

- REMOVE ALL FLOOR FINISHES AS SCHEDULED FOR REMOVAL. PREPARE FLOOR FOR INSTALLATION OF NEW FLOORING MATERIAL PER MANUFACTURERS' RECOMMENDATIONS. G.C. MAY NEED TO PERFORM A MOISTURE TEST PRIOR TO ANY DEMOLITION/NEW FLOORING INSTALLATION WHERE REQUIRED.
- REFER TO THE SCOPE OF NEW WORK IN THE DRAWINGS FOR ANY EQUIPMENT, DUCTWORK, REGISTERS, ETC. ENCOUNTERED DURING DEMOLITION NOT SHOWN ON THESE PLANS. NOTIFY ARCHITECT IN WRITING OF ANY ABANDONED AND/OR NOT USED EQUIPMENT, FIXTURES, DUCTWORK, REGISTERS, ETC.
- REMOVE AND DISPOSE OF ALL FIXTURES AND HANGING RAILS UNLESS NOTED TO BE RE-USED. SEE NEW FIXTURE PLAN AND NEW REFLECTED CEILING PLAN FOR ALL EXISTING FIXTURES AND DEVICES DENOTED TO BE RE-USED AND RE-LOCATED.
- REPLACE OR RE-LOCATE, IN ACCORDANCE WITH LOCAL CODES, ALL FIRE SUPPRESSION AND FIRE ALARM EQUIPMENT DISTURBED BY DEMOLITION WORK. MAINTAIN INTEGRITY OF FIRE SUPPRESSION AND FIRE ALARM SYSTEM.

DISCONNECTION OF SERVICES:

- G.C. TO COORDINATE WITH VENDORS TO DISCONNECT AND RECONNECT ANY AND ALL COMPUTER AND PHONE HARDWARE.
- EXISTING SERVICES THAT WILL BE DISRUPTED BY CONSTRUCTION WORK SHALL BE RE-ROUTED AS NECESSARY TO PROVIDE TEMPORARY CONTINUATION OF SERVICE. DISCONNECTED SERVICES SHALL BE PLUGGED AND SEALED IN SAFE AND APPROVED MANNER.
- REMOVE ALL EXISTING SPEAKERS, CAMERA DEVICES AND EQUIPMENT
- RE-USE EXISTING ELECTRICAL DEVICES, OUTLETS, TELEPHONE AND DATA JACKS AND THERMOSTATS; MODIFY EXISTING WIRING AS REQUIRED BY NEW CONSTRUCTION OR, IF NOT REQUIRED, TERMINATE AND CAP OFF AT NEAREST PANEL OR SOURCE ABOVE CEILING.
- THE G.C. IS RESPONSIBLE TO FIELD VERIFY AND LOCATE ALL WET AND DRY UTILITIES CONNECTION POINTS PRIOR TO ANY DEMOLITION OR CONSTRUCTION, (I.E. GAS, WATER AND SEWER, CLEAN OUTS, ETC.

CLEANUP:

- GENERAL CONTRACTOR SHALL LEAVE THE AREA OF WORK AND AREAS AFFECTED BY WORK IN A CLEAN CONDITION, SATISFACTORY TO LOCAL

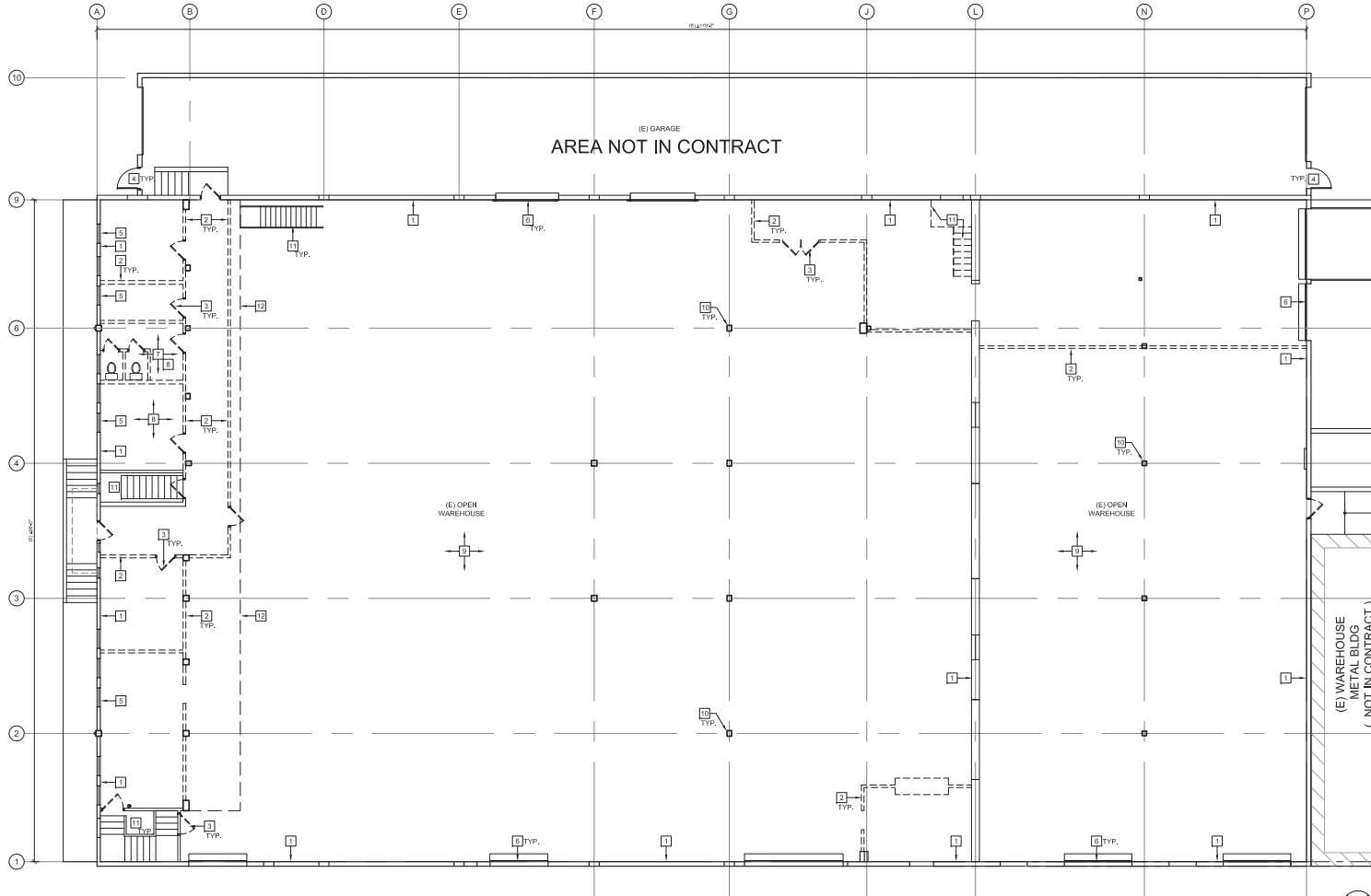
- AUTHORITIES AND THE ARCHITECT. WHERE APPLICABLE, THE G.C. SHALL REPAIR, REPLACE, PATCH AND MATCH ANY ADJACENT TENANT WALL, LOSSY FLOORING, ETC. TO THE SATISFACTION OF INVOLVED PARTIES DAMAGED BY THE DEMOLITION OR CONSTRUCTION PROCESS.
- PROVIDE TRASH CONTAINER AS REQUIRED AT LOCATION TO SUIT REQUIREMENT. REMOVE DEBRIS DAILY AND HAUL AWAY FROM THE SITE AT TIME CONVENIENT TO TENANT.
 - ALL REMOVED MATERIALS, NOT OTHERWISE DESIGNATED, AND ALL DEBRIS BECOME THE PROPERTY OF THE CONTRACTOR, WHO SHALL REMOVE THEM FROM THE SITE AND SALVAGE/RECYCLE ACCORDING TO TENANT PROTOCOLS.
 - PROVIDE A SMOOTH, NEAT, CONTINUOUS APPEARANCE WHERE DEMO WORK MEETS ADJACENT (E) WORK. REMOVE (E) FINISHES AS REQUIRED TO PROVIDE NEAT, STRAIGHT SEAMS AND TRANSITIONS BETWEEN (E) AND MATCHING NEW FINISHES. PREPARE (E) FLOORS, WALLS, AND CEILING ELEMENTS AS REQUIRED FOR NEW FINISHES.

FLOOR PLAN LEGEND - DEMO

- (E) DOOR TO BE REMOVED
- (E) WALL TO BE REMOVED
- (E) FIXTURE TO BE REMOVED/RE-LOCATED
- (E) DOOR TO REMAIN
- (E) EXTERIOR WALL TO REMAIN
- (E) INTERIOR PARTITION TO REMAIN

DEMO FLOOR PLAN - KEYNOTES

- (E) WALL TO REMAIN. PATCH, REPAIR AND PREPARE SURFACE AS REQUIRED TO RECEIVE NEW FINISH
- (E) (NON-BEARING, NON SHEAR) PARTITION WALL TO BE REMOVED
- (E) DOOR AND FRAME TO BE REMOVED
- (E) DOOR TO REMAIN
- (E) WINDOW & FRAME TO REMAIN
- (E) ROLL-UP DOOR TO REMAIN
- (E) RESTROOM PLUMBING FIXTURES AND ACCESSORIES TO BE REMOVED
- REMOVE (E) FLOOR FINISHES AND PREPARE SURFACE AS REQUIRED TO RECEIVE NEW FINISH
- (E) FLOOR FINISHES TO REMAIN. PATCH, REPAIR AND PREPARE SURFACE AS REQUIRED TO LOOK LIKE NEW
- (E) STRUCTURAL COLUMN TO REMAIN. PREPARE SURFACE AS REQUIRED TO RECEIVE NEW FINISH
- (E) STAIRS AND LANDING ABOVE TO ABANDONED MEZZANINE TO REMAIN
- (E) LADGER FROM GROUND LEVEL TO STAIR LANDING TO BE REMOVED. COORDINATE WITH NEW STAIRS AND OPENING FROM BASEMENT LEVEL.
- (E) MEZZANINE ABOVE TO REMAIN



NOTE:
ALL EXISTING MECHANICAL, ELECTRICAL AND PLUMBING TO BE REMOVED AND/OR REROUTED PER NEW FLOOR AND REFLECTED CEILING PLANS.

SCALE
1/8" = 1'-0"

8

DEMOLITION - FIRST FLOOR PLAN

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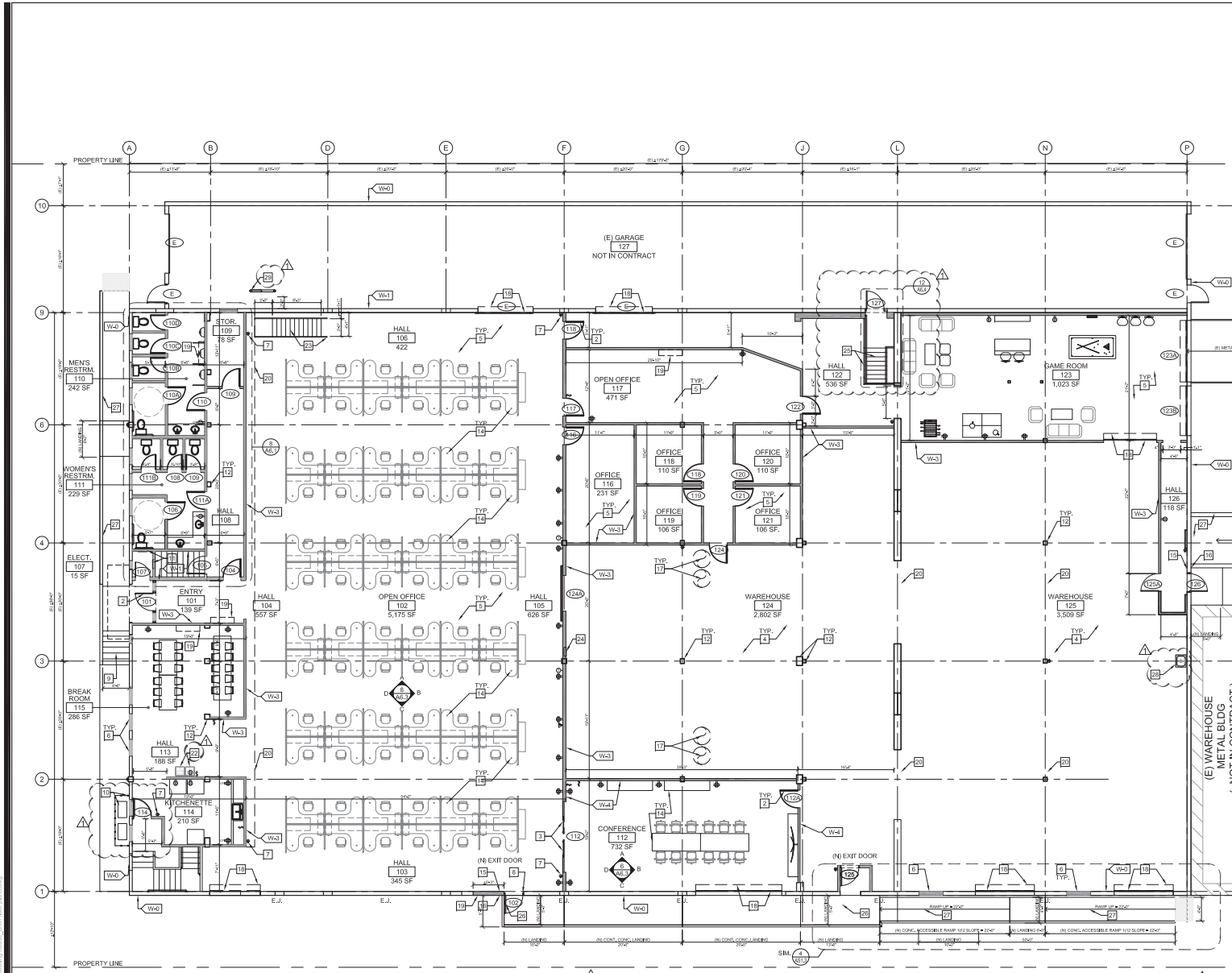
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CONTACT: Riverside Engineering
SCALE: As Noted
DEMOLITION FLOOR PLAN

SHEET
AD1.1
DATE: 06/24/20



EXPOSURE OF WORK STATEMENT:
 ALL CONCEALED WORK INSTALLED WITHOUT PERMITS MUST BE EXPOSED FOR INSPECTION TO THE SATISFACTION OF FIELD INSPECTOR. THIS INCLUDES FOOTING, METHODS OF ATTACHMENT AND ALL STRUCTURAL MEMBERS, MECHANICAL, ELECTRICAL, PLUMBING, AND INSULATION.

COORDINATE WITH THE AHS FIELD INSPECTOR THE MARKING AND UNCOVERING OF ANY AND ALL EXISTING WORK THE FIELD INSPECTOR MAY DEEM NECESSARY IN ORDER TO DETERMINE CONFORMING OR DEVIATING - ITS ADHERENCE TO THE CURRENT BUILDING CODE, WHETHER THROUGH DESTRUCTIVE MEANS OR NOT.

UPON SUCH WORK BEING DESIGNATED AS NOT COMPLYING WITH THE BUILDING CODE, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO COMPLETE REPAIR DRAWINGS OF THE EXISTING DEFICIENCY AND BRING THEM TO THE ATTENTION OF THE ARCHITECT OF RECORD FOR DESIGN(S) TO BE CREATED, REVIEWED AND APPROVED BY THE BUILDING DEPARTMENT AS NEEDED PURSUANT TO THE REMEDIATION TO THE DEGREE AND EXTENT THE AHS REQUIRES.

(N) FIRST FLOOR PLAN

SCALE
 1/8" = 1'-0"

GENERAL NOTES

- SEE EQUIPMENT PLAN AND SCHEDULE FOR EQUIPMENT INFORMATION.
- SEE REFLECTED CEILING PLAN FOR SOFFIT AND LIGHTING INFORMATION. A2.1
- NOTIFY ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH PLANS IN RELATION TO EXISTING FIELD CONDITIONS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE ON THE CONSTRUCTION DOCUMENTS. DO NOT EVER SCALE DRAWINGS.
- DIMENSIONS ARE FROM THE FACE OF FINISHED WALL (GWB) TO FACE OF FINISHED WALL (GWB), UNLESS OTHERWISE NOTED ON PLANS.
- ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, DIRECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS AND/OR INSTRUCTIONS.
- ALL WORK SHALL BE EXECUTED IN A MANNER ACCEPTABLE TO THE ARCHITECT AND OWNER. UNLESS NOTED OTHERWISE, THE GENERAL CONTRACTOR SHALL PROVIDE AND PAY ALL LABOR, MATERIALS, EQUIPMENTS, TOOLS, CONSTRUCTION EQUIPMENT, MACHINERY, TRANSPORTATION AND OTHER SERVICES AND FACILITIES NECESSARY FOR PROPER AND TIMELY EXECUTION OF WORK.
- THE CONTRACTOR WARRANTS TO THE OWNER AND TO THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THE CONTRACT ARE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORKS SHALL BE AS SPECIFIED AND FREE OF DEFECTS.
- ALL OUTSIDE CORNERS AT DRYWALL PARTITION AND FURRINGS TO HAVE METAL CORNER BEADS SPACKLE AND SMOOTH.
- PROVIDE DIAGONAL BRACING TO STRUCTURE ABOVE ALL NEW DOORS, GLAZING HEADS AND JAMBS AS REQUIRED TO MAKE ASSEMBLY RIGID.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE FINAL CLEAN UP OF THE AREA OF WORK AND AREA AFFECTED BY CONSTRUCTION TO INCLUDE BUT NOT LIMITED TO FLOORS, MILLWORK, FIXTURES, ETC. FOLLOWING THE INSTALLATION OF THE MILLWORK.
- THE GENERAL CONTRACTOR SHALL COORDINATE THE LOCATIONS FOR THE WALL MOUNTED TELEVISION AND GRAPHIC SIGNS TO PROVIDE BLOCKING FOR MOUNTING.
- ALL WET PLUMBING WALLS ARE TO BE PROVIDED WITH MOISTURE RESISTANT GYP. BOARD, UNLESS TILE IS TO BE USED, THEN PROVIDE CEMENT BACKER BOARD.
- ALL PLUMBING WALLS ARE TO BE 6" METAL STUD FRAMING. PROVIDE REQUIRED BLOCKING FOR WALL MOUNTED FIXTURES, GRAB BARS, SHELVEING CABINETS, ETC.
- THERE SHALL BE NO PENETRATIONS TO A DEMISING WALL UNLESS OTHERWISE NOTED. IF PENETRATIONS ARE TO BE NOTED, THEN ALL PENETRATIONS INCLUDING CONDUITS, PIPES, DUCTWORK, ETC. SHALL BE UL RATED PER CURRENT CODE REQUIREMENTS.

WALL TYPES

- W-0 (E) EXTERIOR WALL TO REMAIN
 - W-1 (E) INTERIOR WALL TO REMAIN
 - W-2 (E) 2 x WOOD STUD WALL TO REMAIN
 - W-3 (N) 2x WLD. STUDS @ 16" O.C. w/ 5/8" GYP. BD. ON EACH SIDE
 - W-4 (N) 2x WLD. STUDS @ 16" O.C. FULL-HT WALL w/ 5/8" GYP. BD. EA. SIDE
 - W-5 (N) 4" x 20GA. METAL STUDS @ 16" O.C. w/ 5/8" GYP. BD. ON EA. SIDE
- NOTE:
 • ALL EXISTING WALL TO REMAIN, PATCH & REPAIR WALL AS REQUIRED. TYP.
 • PROVIDE 5/8" WATER RESISTANT GYP. BD. WHERE APPLICABLE TO PREVENT MOISTURE.
 • PROVIDE WALL FINISHED PER INTERIOR ELEVATIONS, SHEET A8.2

KEYNOTES

- (D) DOOR TO REMAIN, SEE DOOR SCHEDULE
- (N) DOOR AND FRAME, SEE DOOR SCHEDULE
- (N) TEMPERED GLASS AND FRAME DOOR, SEE DOOR SCHEDULE
- (E) CONCRETE SLAB, PROVIDE CLEAN ROOM CLEAR EPOXY FINISHES
- (E) PLYWOOD FLOOR PER ROOM FINISH PLAN
- (E) SEAL WINDOW TO MATCH ADJACENT EXTERIOR WALL
- (N) WALL-MOUNTED PRE-ENGINEERED SHELF UNIT
- (N) PROVIDE SIGN WITH 1" HIGH LETTERING STATING "THIS DOOR TO REMAIN UN-LOCKED WHEN BUILDING IS OCCUPIED."
- (E) STAR & RAILING TO REMAIN
- (N) MECHANICAL EQUIPMENT & PROTECTIVE CASE, SEE MECH. DRAWINGS
- (E) ELECTRICAL PANEL, SEE ELECTRICAL DRAWING
- (E) STRUCTURAL COLUMN TO REMAIN
- (N) EQUIPMENT
- (N) OFFICE FURNITURE, FURNISHED AND INSTALLED BY OWNER
- (N) TACTILE EXIT SIGN, SEE LIFE & SAFETY PLAN T2.1, T2.2, T2.3
- (N) INTERNATIONAL ACCESSIBILITY SYMBOL
- (E) MECHANICAL DUCTING ABOVE, SEE MECH. DRAWINGS
- (E) TRUCK DOOR & HOUSING ABOVE
- (N) INVERTER UNIT ABOVE, SEE MECH. DRAWINGS
- (N) BEAM/ CANOPY/ SOFFIT ABOVE
- (N) UN-FILLED (E) TRUCK DOOR OPENING, EXTERIOR STUCCO FINISH, COLOR TO MATCH ADJACENT WALL
- (E) PORTABLE DRINKING FOUNTAINS
- (N) METAL STAIR & RAILING, SEE ELEVATION B/A8.4
- (N) ELECTRICAL PANEL, SEE ELECTRICAL DRAWING
- (E) CONCRETE STAIRS & RAILING TO EXIST, GARAGE LEVEL
- (N) EXIT DOOR AND FRAME, SEE DOOR SCHEDULE
- (N) CONC. RAMP/LANDING & RAILING, SEE DETAIL 4/AS1.3
- (E) SERVICE SINK TO REMAIN
- (N) S.S. U-SHAPED BICYCLE RACK ATTACHED TO CONC. PAVING

Riverside Engineering
 CONSULTING ENGINEERS

MEP ARCHITECTURAL STRUCTURAL ENERGY CONSULTANTS

Voice: 958-401-7483
 Email: info@Riv-Eng.com
 www.Riv-Eng.com
 11801 Pierce St., Suite 200
 Riverside, California 92505
 (By Appointment Only)

BP-2021-09222

DMCG, INC.
 OFFICE REMODELS

3230 VINE STREET, RIVERSIDE, CA 92507

Project For:

PROFESSIONAL SEAL:

REVISION LIST

- 12-4-22 Bldg PC Corrections
- 2-8-23 Bldg PC Corrections

AME-RV200624

CONTACT: Riverside Engineering

SCALE: As Noted

(N) FIRST FLOOR PLAN

SHEET
A1.1
 DATE: 06/24/20

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Riverside
Engineering
CONSULTING ENGINEERS

MEP
ARCHITECTURAL
STRUCTURAL
ENERGY
CONSULTANTS
Voice: 888.401.7483
Email: Info@Riv-Eng.com
www.Riv-Eng.com
11801 Pierce St., Suite 200
Riverside, California 92505
(By Appointment Only)

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DMCG, INC.
OFFICE REMODELS
3230 VINE STREET, RIVERSIDE, CA 92507

PROFESSIONAL SEAL:

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- 12-14-22 Bldg PC Corrections
- 2-8-23 Bldg PC Corrections
- 2-28-24 Elev & Corrections

AME-RV200624

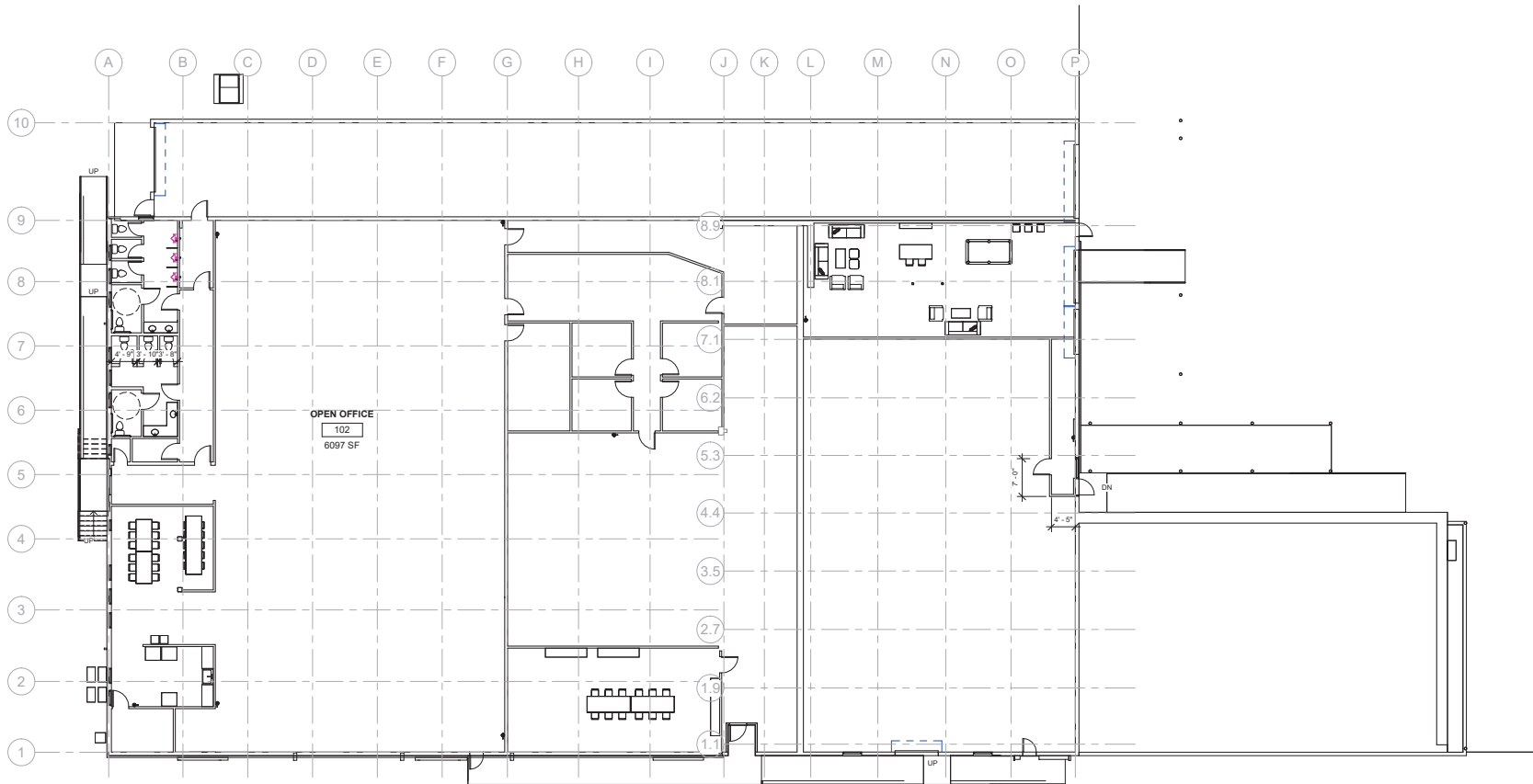
CONTACT : Riverside Engineering

SCALE: As Noted

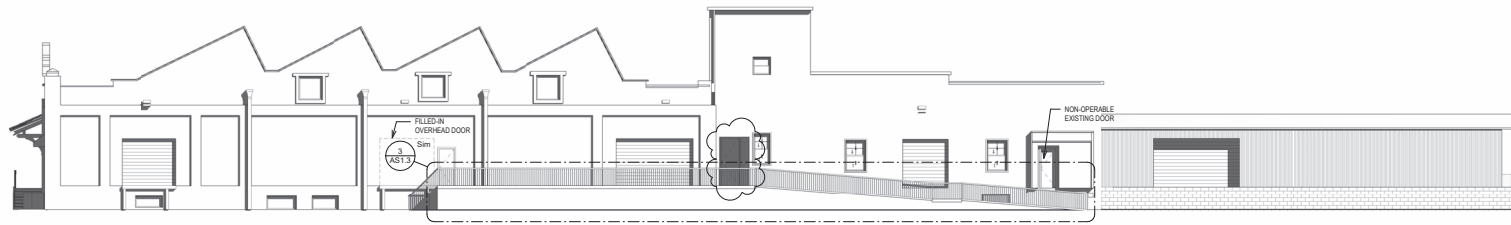
FIRST FLOOR PLAN
SHOWING ELEVATIONS
IMPACT
SHEET

A10.1

DATE: 06/24/20

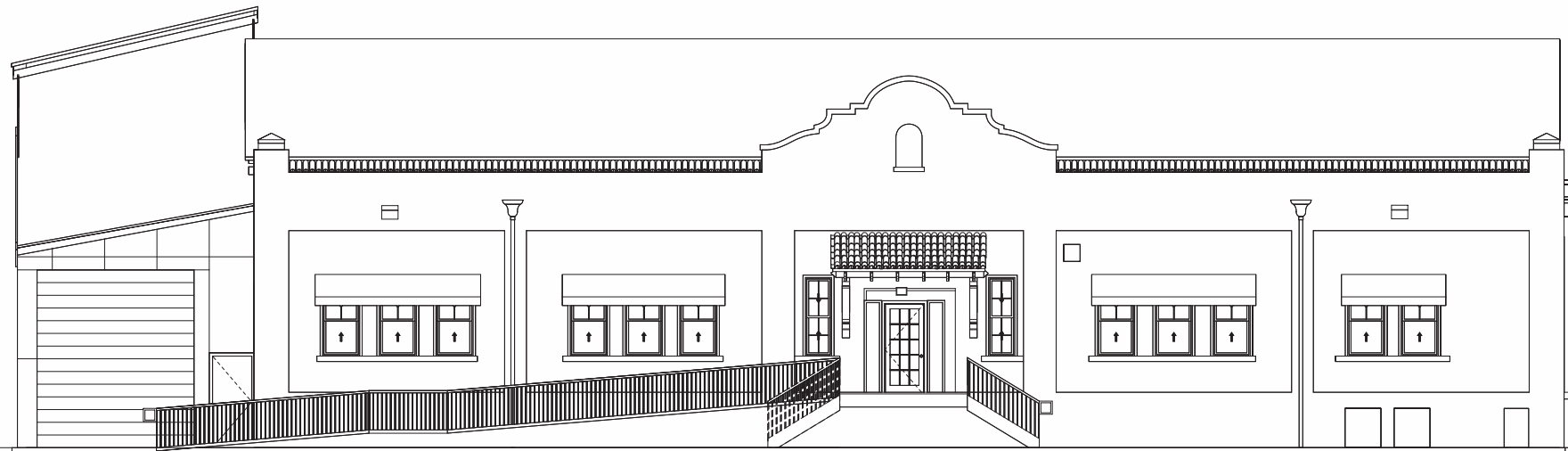


FIRST FLOOR PLAN 1" = 10'-0" 1



① SOUTH ELEVATION
1" = 10'-0"

NOTE: ALL RAILINGS TO BE
PAINTED WHITE TO MATCH
BUILDING.



② WEST ELEVATION
1/4" = 1'-0"



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CONTACT: Riverside Engineering

SCALE: As Noted

ELEVATION VIEWS

SHEET

A10.2

DATE: 06/24/20



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MEP
ARCHITECTURAL
STRUCTURAL
ENERGY
CONSULTANTS
Voice: 888.401.7483
Email: Info@Riv-Eng.com
www.Riv-Eng.com
11801 Pierce St., Suite 200
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Project Ref :
DMCG, INC.
OFFICE REMODELS
3230 VINE STREET, RIVERSIDE, CA 92507

PROFESSIONAL SEAL :



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NO.	DESCRIPTION

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CONTACT : Riverside Engineering

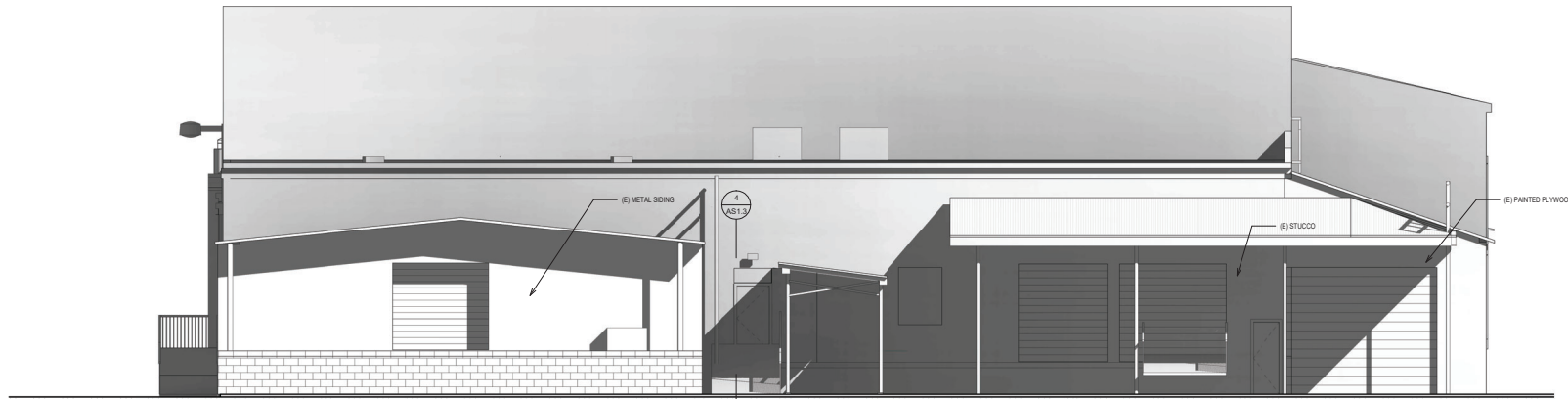
SCALE: As Noted

ELEVATION VIEWS

SHEET

A10.3

DATE: 06/24/20

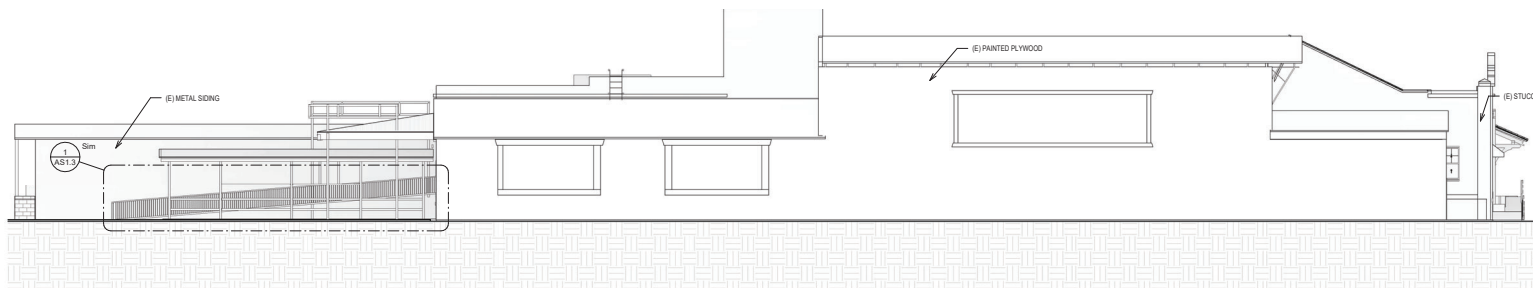


NOTE: ALL RAILINGS TO BE PAINTED WHITE TO MATCH THE BUILDING

EAST ELEVATION

3/16" = 1'-0"

1



NOTE: ALL RAILINGS TO BE PAINTED WHITE TO MATCH THE BUILDING

NORTH ELEVATION

1" = 10'-0"

2